

**VICINITY MAP**

SCALE: N.T.S.

**CODE ANALYSIS**

CONSTRUCTION TYPE: VB WITH FULL SPRINKLER PROTECTION  
 1. EXTERIOR BEARING WALLS WALL ARE NON-COMBUSTIBLE (CMU) AND NON-RATED  
 2. PRIMARY STRUCTURE FRAME IS NON-RATED

FLOOR AREA CALCULATIONS:

SPACE	FLOOR AREA	USE	OCCUPANT LOAD
KITCHEN:	1236 SF.	A-2	PER 200 = 6.18
SEATING:	1340 SF.	A-2	PER SEATING = 121
STORAGE:	564 SF.	A-2	PER 300 = 1.88
OFFICE:	148 SF.	B (ACCESSORY)	PER 100 = 1.48
LOBBY:	626 SF.	A-2	PER 1 = 626
CANOPY PATIO:	142 SF.	A-2	PER SEATING = 495
TOTAL (INTERIOR):	4268 SF.	A-2	226 PEOPLE

ACCESSORY OCCUPANCIES  
 1. B IS LESS THAN 10% OF A-2 AND B IS ACCESSORY TO THE USE

BUILDING AREA LIMITS PER TABLE 503  
 GROUP A-2: 6,000 SF.  
 PROVIDED AREA: 4,268 SF. IS LESS THAN 6,000 SF. = OK

BUILDING HEIGHT ALLOWED: 30'-0"  
 BUILDING HEIGHT PROVIDED: 27'-10" (ONE STORY)

AFN: TO BE DETERMINED  
 PROJECT ZONING: PEP (PLANNED EMPLOYMENT PARK)  
 NET LOT AREA: 52279 SF. (1.20 ACRES)  
 GROSS LOT AREA: 64,103 SF. (1.47 ACRES)  
 LOT COVERAGE F.A.R.: 4268 / 52279 = .0816 OR 8.16%

EGRESS:  
 OCCUPANT LOAD: 226 PEOPLE  
 NUMBER OF EXITS: 3 EXITS  
 REQUIRED: A-2 USE AND 198 OCCUPANTS = 2 EXITS  
 PROVIDED: 3

PLUMBING FIXTURE CALCULATIONS:  
 OCCUPANT COUNTS:

USE	MALE	FEMALE	TOTAL
B 4 8-1	138	138	276

REQUIRED MALE WATER CLOSETS  
 B = (138 / 15) = 9  
 PROVIDED MALE WATER CLOSETS = 1 + 1 URINALS

REQUIRED FEMALE WATER CLOSETS  
 B = (138 / 15) = 9  
 PROVIDED FEMALE WATER CLOSETS = 2

REQUIRED MALE LAVATORIES  
 B = (138 / 200) = 1  
 PROVIDED MALE LAVATORIES = 2

REQUIRED FEMALE LAVATORIES  
 B = (138 / 200) = 1  
 PROVIDED FEMALE LAVATORIES = 2

REQUIRED FEMALE LAVATORIES = 2  
 PROVIDED FEMALE LAVATORIES = 2

REQUIRED DRINKING FOUNTAINS  
 WATER IS PROVIDED FREE AS PART OF BUSINESS OPERATIONS

PARKING REQUIRED:  
 ONE PER 15 SF. 4268 / 15 = 51 SPACES

PARKING PROVIDED:  
 TOTAL: 59 SPACES

H.C. PARKING:  
 REQUIRED: 3 SPACES  
 PROVIDED: 3 SPACES (ALL ARE VAN ACCESSIBLE)

DRIVE THRU STACKING SPACES:  
 REQUIRED: 8 SPACES  
 PROVIDED: 8 SPACES

**ADJACENCIES SITE PLAN**

SCALE: 1" = 40'-0"  
 GRAPHIC SCALE: 1" = 40'-0"

Larson Associates Architects, Inc.  
 3807 North 24th Street, Suite 100  
 Phoenix, AZ 85016  
 602.955.9929 602.954.4790 FAX  
 design@larson-architects.com



CULVER'S  
 LOCATION: SOUTH CRISMON  
 MESA, ARIZONA



Drawing Name:  
 ADJACENCIES SITE-PLAN  
 Revisions:  
 Date: 03/30/2015  
 Project Number:  
 Drawing No:  
 SP1.0

# PROJECT INFORMATION

## PROJECT NARRATIVE

**PROPOSED SITE:**  
THIS LOCATION IS ZONED APPROPRIATELY FOR A RESTAURANT AS THE PLANNED AREA DEVELOPMENT INITIALLY CONSIDERED THE LOT FOR A RESTAURANT.

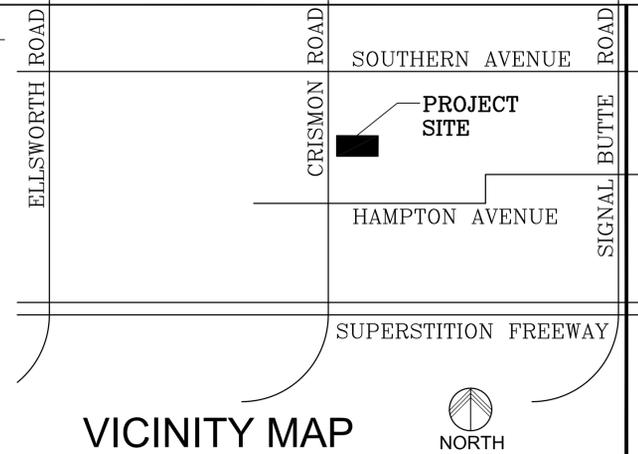
CULVER'S WOULD BE ACCESSIBLE FROM THE SHARED PRIVATE DRIVE OFF OF CRISMON ROAD AND SHARED ACCESS DRIVES FROM THE ADJACENT PROPERTIES. THE PEDESTRIAN ACCESS FROM THE MAIN ENTRY TO THE RESTAURANT WILL BE HANDICAP ACCESSIBLE. ACCESSIBLE PARKING SPACES ARE ALSO BEING DESIGNED ADJACENT TO THE MAIN ENTRY.

THE LANDSCAPING DESIGN USES LOW-WATER, DESERT PLANTS PER THE CC AND R3 ADOPTED FOR THE PROPERTY. THE PARKING SPACES WILL BE SCREENED FROM CRISMON ROAD BY A PARKING SCREEN WALL. THE PROPOSED REFUSE ENCLOSURE FOR THE PROPERTY WILL BE FULLY SCREENED PER THE CITY OF MESA STANDARD REQUIREMENTS AND IS ADJACENT TO THE BACK OF THE BUILDING. ALL OF THE CURB SCREEN WALLS WILL MATCH THE COLOR, TEXTURE, STYLE AND DESIGN PATTERNING OF THE BUILDING ITSELF.

**PROPOSED BUILDING:**  
THE DESIGN OF CULVER'S FEATURES STEPPING BUILDING VOLUMES EXPRESSIVE OF THE ARCHITECTURAL STYLES IN THE NEIGHBORHOOD AND EXPRESSING PART OF THE HIERARCHY OF THE BUILDING ARCHITECTURE. THE BUILDING MATERIALS ARE HIGH QUALITY, DURABLE MATERIALS CONSISTENT WITH THE ARCHITECTURE OF THE NEIGHBORHOOD. THE HIERARCHY OF THE DESIGN CREATES A HUMAN SCALE WITH IDENTIFYING FEATURES FOR ENTRY AND DRIVE THRU. ALL ROOF DRAINAGE WILL BE INTERNAL TO THE BUILDING AND NOT VISIBLE FROM THE EXTERIOR. ALL MECHANICAL UNITS WILL BE FULLY SCREENED BEHIND THE PARAPET WALLS OF THE BUILDING.

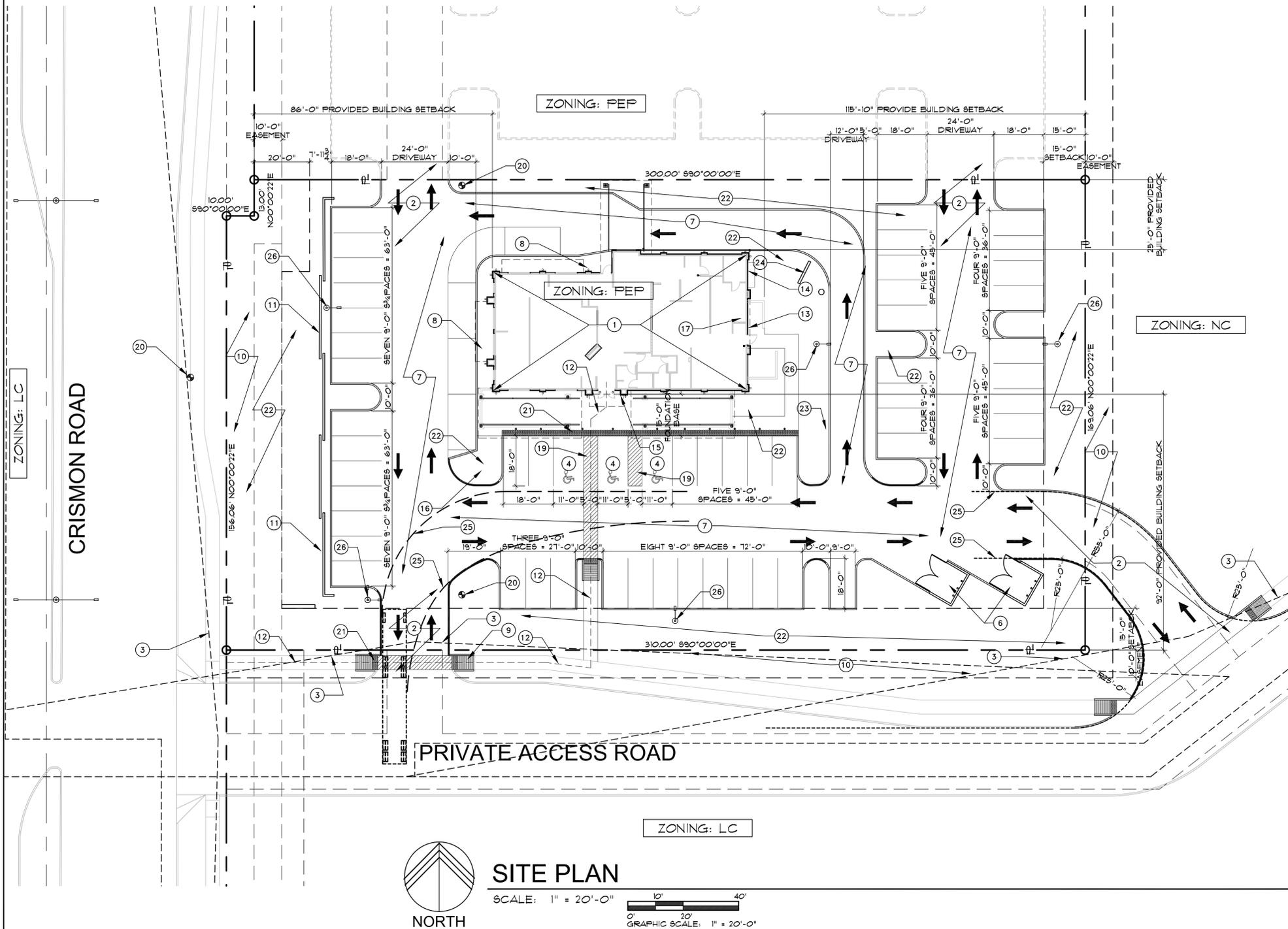
## SITE PLAN KEYNOTES

- 1 NEW GROUND-UP BUILDING - SEE FLOOR PLAN.
- 2 NEW PRIVATE DRIVEWAY ENTRANCE - PER CITY OF MESA STANDARDS.
- 3 SIGHT DISTANCE TRIANGLE PER CITY OF MESA. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 24 INCHES. NO TREES SHALL BE ALLOWED WITHIN THE SAFETY TRIANGLE. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATIONS.
- 4 ADA VAN ACCESSIBLE PARKING SPACES WITH SIGN AND PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY - SEE DETAILS 6 & 7 / SP2.0
- 5 PROPOSED LOCATION OF FUTURE MONUMENT SIGN TO BE PERMITTED AND CONSTRUCTED SEPARATELY.
- 6 REFUSE ENCLOSURE PER THE CITY OF MESA STANDARDS - SEE DETAILS ON SP2.0
- 7 NEW PAVED PARKING LOT AND DRIVEWAY WITH CURB AND GUTTER
- 8 NEW CONCRETE SIDEWALK (MINIMUM 9'-0" WIDE) - RAMPS AND STAIRS AS INDICATED - SEE DETAIL 5 / SP2.0
- 9 NEW ADA ACCESSIBLE RAMP MAXIMUM SLOPE 1:12 AND MAXIMUM RISE OF 6" - SEE DETAIL 1 / SP2.0
- 10 PUBLIC UTILITY EASEMENT AND/OR OTHER EASEMENTS TO REMAIN OR BE CREATED AS REQUIRED (EXACT DESCRIPTION TO BE DETERMINED - SEE CIVIL DRAWINGS).
- 11 MINIMUM 3'-0" AFG. PARKING SCREENING AND RETAINING WALL WALLS TO MATCH BUILDING MATERIALS - SEE DETAIL 3 / SP2.0
- 12 DASHED LINE INDICATES ADA ACCESS TO PUBLIC RIGHT OF WAY
- 13 NEW FDC PER CITY OF MESA STANDARDS - PER DEFERRED SUBMITTAL FIRE PROTECTION PLANS
- 14 SEE PAINTED TO MATCH BUILDING - SEE ELECTRICAL DRAWINGS AND COORDINATE WITH LOCAL UTILITY COMPANY AND PROVIDE CONCRETE PAD AS REQUIRED BY THE LOCAL UTILITY COMPANY
- 15 KNOX BOX PER CITY OF MESA FIRE DEPARTMENT STANDARDS - MUST BE AN APPROVED MODEL USED BY THE MESA FIRE DEPARTMENT
- 16 BICYCLE PARKING FOR (6) BIKES PER CITY OF MESA STANDARDS - SEE DETAIL 4 / SP2.0
- 17 FIRE RISER ROOM - SEE FLOOR PLANS, CIVIL PLANS, AND DEFERRED SUBMITTAL FIRE PROTECTION PLANS
- 18 EXTERIOR WALL MOUNTED LIGHT - SEE EXTERIOR ELEVATIONS
- 19 4" PARKING LOT STRIPING - SEE DETAIL 2 / SP2.0
- 20 FIRE HYDRANT PER MAG STANDARD DETAILS
- 21 2'-0" WIDE STRIP OF DETECTABLE WARNING TRUNCATED DOMED PAVERS
- 22 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 23 MAXIMUM VEHICLE HEIGHT WARNING BAR - TO BE PERMITTED AND CONSTRUCTED SEPARATELY
- 24 DRIVE THRU MENU BOARD AND ORDERING STATION - TO BE PERMITTED AND CONSTRUCTED SEPARATELY
- 25 FIRE TRUCK TURNING RADIUS PER CITY OF MESA FIRE DEPARTMENT STANDARDS
- 26 PARKING LOT LIGHT - SEE SP12 FOR PHOTO-METRIC STUDY AND DETAIL 1/SP23



## VICINITY MAP

SCALE: N.T.S.



## CODE ANALYSIS

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SEATING:	1340 SF.	A-2	PER SEATING = 121
STORAGE:	564 SF.	A-2	PER 300 = 188
OFFICE:	148 SF.	B (ACCESSORY)	PER 100 = 148
LOBBY:	626 SF.	A-2	PER 1 = 29.43
CANOPY PATIO:	142 SF.	A-2	PER SEATING = 495
TOTAL (INTERIOR):	4268 SF.	A-2	226 PEOPLE

ACCESSORY OCCUPANCIES  
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PROVIDED AREA: 4,268 SF. IS LESS THAN 6,000 SF. = OK

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BUILDING HEIGHT PROVIDED: 27'-10" (ONE STORY)

AFN: TO BE DETERMINED  
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NET LOT AREA: 52279 SF. (120 ACRES)  
GROSS LOT AREA: 64,103 SF. (1.41 ACRES)  
LOT COVERAGE F.A.R.: 4268 / 52279 = 0.816 OR 8.16%  
EGRESS:

OCCUPANT LOAD: 226 PEOPLE  
NUMBER OF EXITS: 3 EXITS  
REQUIRED: A-2 USE AND 198 OCCUPANTS = 2 EXITS  
PROVIDED: 3

PLUMBING FIXTURE CALCULATIONS:  
OCCUPANT COUNTS:  
USE MALE FEMALE TOTAL  
B 4 8-1 138 138 276  
REQUIRED MALE WATER CLOSETS  
B = (138 / 15) = 2  
PROVIDED MALE WATER CLOSETS = 1 + 1 URINALS  
REQUIRED FEMALE WATER CLOSETS  
B = (138 / 15) = 2  
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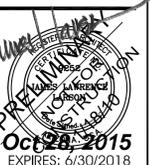
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Larson

CULVER'S  
LOCATION: SOUTH CRISMON  
MESA, ARIZONA



Drawing Name:

Revisions

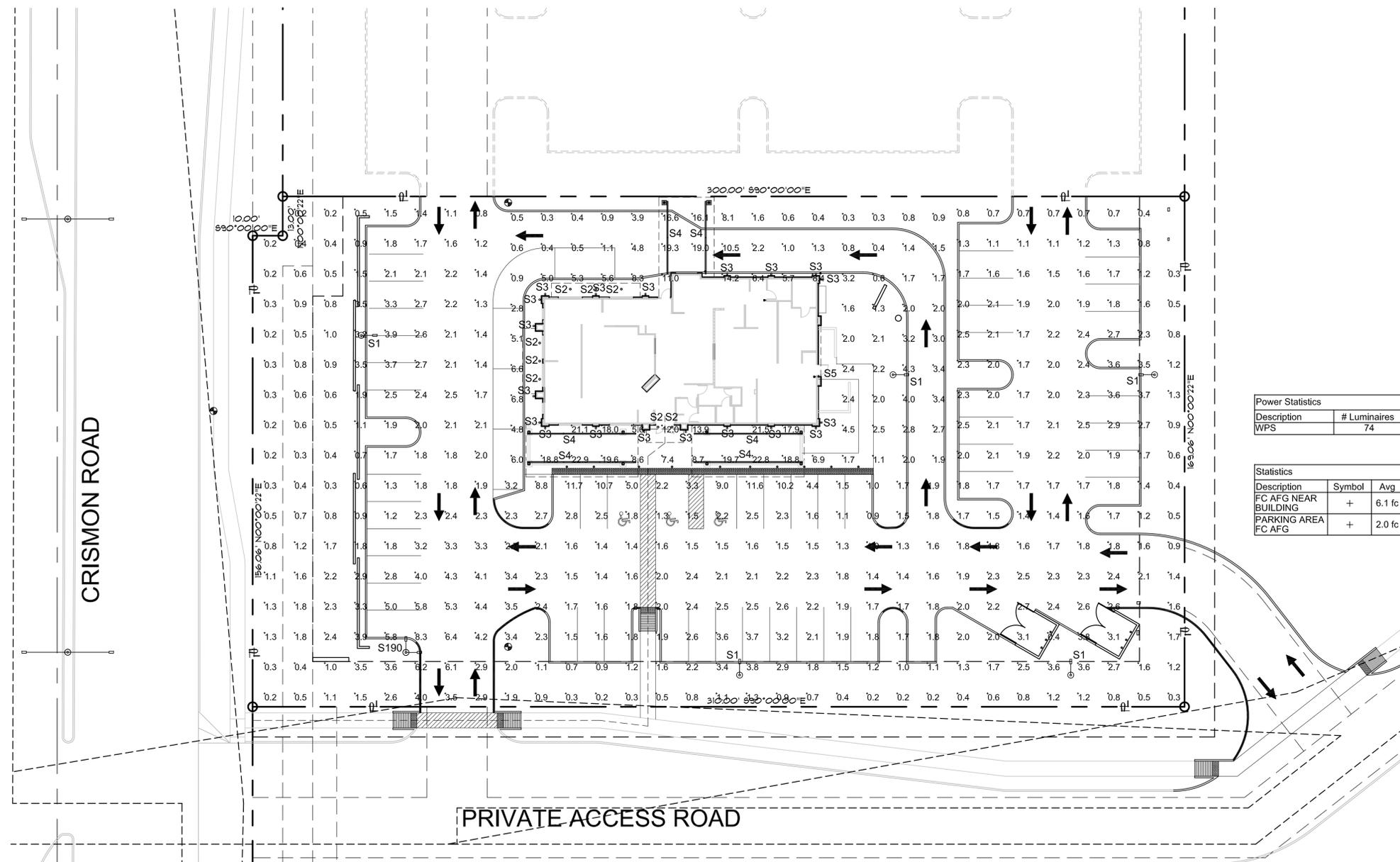
Date: 10/30/2015

Project Number:

Drawing No:

SP1.1

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⊙	S1	5	Lithonia Lighting	DSX1 LED 40C 1000 40K T3M MVOLT	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA	LED	1	DSX1_LED_40C_1000_40K_T3M_MVOLT.ies	13388	0.9	138.16
⊙	S190	1	Lithonia Lighting	DSX1 LED 40C 1000 40K T3M MVOLT	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA	LED	1	DSX1_LED_40C_1000_40K_T3M_MVOLT.ies	13388	0.9	276.32
•	S2	6	Lithonia Lighting	LDN6 40/10 LO6AR	1000LM 80CRI 4000K 6" LED COMMERCIAL DOWNLIGHT	LED	1	LDN6_40_10_LO6AR.ies	1127	0.9	17.97
•	S5	1	Lithonia Lighting	WST LED 2 10A700/40K SR2 MVOLT ELCW	WST LED WITH 2 MODULES, 10 LED's, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 2 LENS, Operating in emergency mode	LED	1	WST_LED_2_10A700_40K_SR2_MVOLT_ELCW.ies	1970	0.9	49.3
•	S3	19	Luminis Canada Inc.	SY600-L1W12r1-R45	(1 Bridgelux BXRC-40E4000-F Round LED Array ) White 12W SSL, c/w Thomas Research Driver LED40W-036-C-1050-M-D @ 120.00V	LED	1	SY600-L1W12r1-R45.ies	1143	0.9	12.2
—	S4	40	ALIGHT		D54LH40US	LED 0.185W Nichia Warm White LED (100mA)	4	D34LH40US.ies	671	0.5	38



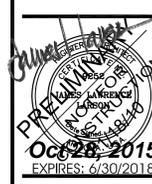
Power Statistics				
Description	# Luminaires	Total Watts	Area	Density
WPS	74	2912.0 W	48160.7 ft <sup>2</sup>	0.1 W/ft <sup>2</sup>

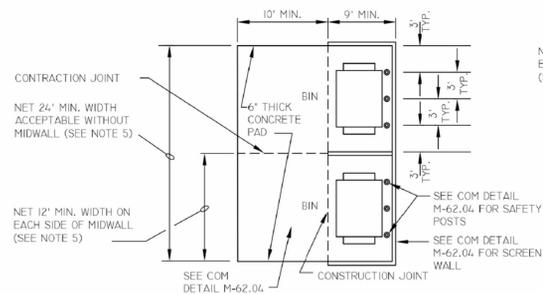
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC AFG NEAR BUILDING	+	6.1 fc	22.9 fc	0.3 fc	76.3:1	20.3:1
PARKING AREA FC AFG	+	2.0 fc	11.7 fc	0.2 fc	58.5:1	10.0:1



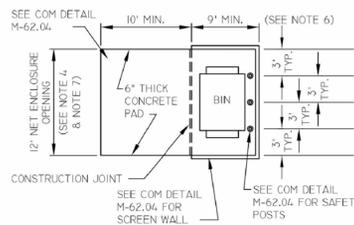
### SITE PLAN PHOTOMETRICS

SCALE: 1" = 20'-0"  
 0' 10' 20' 40'  
 GRAPHIC SCALE: 1" = 20'-0"

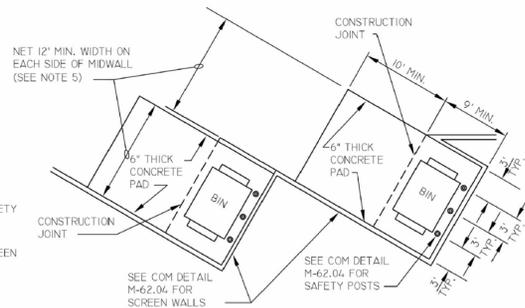




DOUBLE-WIDE BIN ENCLOSURE CONFIGURATIONS



SINGLE-WIDE BIN ENCLOSURE CONFIGURATION



SEE M-62.02.2 FOR REFERENCED NOTES

NOT TO SCALE

REV. 11/31/14



SINGLE AND DOUBLE-WIDE BIN ENCLOSURES

DETAIL NO. M-62.02.1

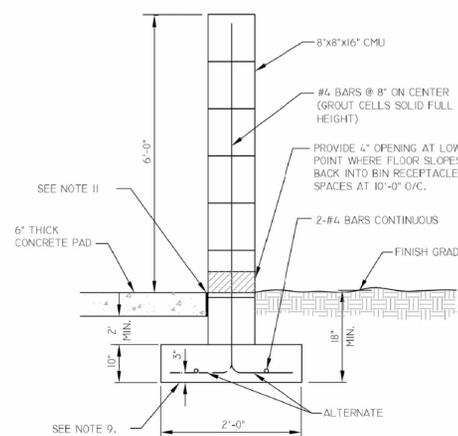
NOTES

- ALL COMMERCIAL PROPERTIES SHALL BE DESIGNED WITH ENCLOSURES TO ACCOMMODATE (I) REFUSE AND (I) RECYCLING ENCLOSURE FOR EVERY 20,000 SQUARE FEET OF BUILDING SPACE. RESTAURANTS WHICH ARE DESIGNED ON A SINGLE PAD SHALL HAVE A MINIMUM (I) REFUSE AND (I) RECYCLING ENCLOSURE. THE ENCLOSURES CAN BE SET UP AS DOUBLES OR SINGLES TO MAXIMIZE THE USE OF THE PROPERTY.
- MULTI-UNIT RESIDENTIAL DEVELOPMENTS SHALL BE DESIGNED WITH EITHER SINGLE OR DOUBLE-WIDE ENCLOSURES FOR TRASH AND AT LEAST ONE TRIPLE-WIDE ENCLOSURE FOR RECYCLING.
- COMPACTORS CAN BE USED IN DEVELOPMENTS WHERE THE EMPLOYEES LOAD AND ACTIVATE THE COMPACTING EQUIPMENT. DEVELOPMENTS THAT ALLOW CUSTOMERS OR RESIDENTS ACCESS TO THE COMPACTING EQUIPMENT WILL NOT BE APPROVED. MARICOPA COUNTY REGULATIONS (MARICOPA COUNTY ENVIRONMENTAL HEALTH CODE CHAPTER 2, SECTION 5, REGULATION 4 (A)) REQUIRE TWICE PER WEEK COLLECTION IF FOOD WASTE IS PLACED INTO CONTAINERS.
- THE NUMBER OF BIN ENCLOSURES NEEDED DEPENDS ON THE SIZE OF THE DEVELOPMENT. TYPICALLY, TOTAL VOLUME NEEDS CAN BE CALCULATED BASED ON ONE HALF-CUBIC YARD PER LIVING UNIT PER WEEK. FOR EXAMPLE, A DEVELOPMENT WITH 240 UNITS X .5 YARDS = 120 YARDS PER WEEK OR 10 TRASH BINS (6 YARD) SERVICED TWO TIMES PER WEEK (10 X 6 X 2 = 120 YARDS).
- SINGLE-WIDE BIN ENCLOSURES SHALL HAVE A NET ENCLOSURE OPENING OF 12 FEET.
- DOUBLE-WIDE BIN ENCLOSURES SHALL HAVE A NET ENCLOSURE OPENING OF 24 FEET WITHOUT MIDWALLS. ALTHOUGH NOT PREFERRED, DOUBLE WIDE BIN ENCLOSURES CAN BE DESIGNED WITH MIDWALLS WITH A NET ENCLOSURE OPENING OF 12 FEET ON EACH SIDE OF MIDWALL.
- GATES, HINGES, SAFETY POSTS, & MOUNTING HARDWARE SHALL BE INSTALLED SO THERE IS A MIN. 9 FOOT DEPTH CREATED WITHIN EACH ENCLOSURE.
- GATES, HINGES AND MOUNTING HARDWARE SHALL NOT INTRUDE UPON MINIMUM NET ENCLOSURE OPENING SO THERE IS A MINIMUM 12' WIDTH WITHIN EACH ENCLOSURE. DOUBLE ENCLOSURE GATES MUST BE ABLE TO OPEN SIMULTANEOUSLY.
- BIN ENCLOSURES ARE TO BE ANGLED NO MORE THAN 30 DEGREES FROM THE CENTER LINE OF THE SOLID WASTE COLLECTION VEHICLE ROUTE.
- BINS THAT ARE VISIBLE FROM A PUBLIC ROADWAY SHALL HAVE ENCLOSURE GATES THAT SCREEN THE BINS FROM PUBLIC VIEW.
- BIN ENCLOSURES TO BE A MINIMUM OF 3 FEET FROM ANY NON-COMBUSTIBLE PLANNED OR EXISTING STRUCTURE AT ITS CLOSEST POINT; 5 FEET FROM ANY COMBUSTIBLE PLANNED OR EXISTING STRUCTURE AT ITS CLOSEST POINT (PER UNIFORM FIRE CODE 1103.2.2).
- STANDARDS FOR SOLID WASTE VEHICLE ACCESS ARE ADDRESSED IN COM DETAIL M-62.01.
- STANDARDS FOR TRIPLE WIDE ENCLOSURES ARE ADDRESSED IN COM DETAIL M-62.03.
- STANDARDS FOR BIN ENCLOSURE SCREEN WALLS, SAFETY POSTS, AND GATES ARE ADDRESSED IN COM DETAIL M-62.04.
- STANDARDS FOR PROPERTIES APPROVED FOR BARREL SERVICE ARE ADDRESSED IN COM DETAIL M-62.05.
- RESTAURANTS MUST PROVIDE A SEPARATE ENCLOSED AREA TO ACCOMMODATE THEIR GREASE TRAP. THIS DESIGNATED AREA MUST NOT INTERFERE WITH THE TRASH/RECYCLING COLLECTION.
- SOLID WASTE ENCLOSURES MAY INCLUDE WATER CONNECTIONS & DRAINS TO FACILITATE CLEANING OF DUMPSTERS. THESE SHOULD BE LOCATED TO NOT IMPEDE THE ENCLOSURE OPENING (AND GATING IF REQUIRED). ADDITIONAL ITEMS SUCH AS LANDSCAPING CONTROL BOXES AND LIGHTING MAY BE POSITIONED ON THE OUTSIDE OF THE ENCLOSURE WALLS.
- TREE PLANTING SHOULD NOT TAKE PLACE WITHIN TEN (10) FEET OF THE BIN ENCLOSURE AND SHOULD BE SPACED SO AS NOT TO CREATE AN AERIAL OBSTRUCTION FOR THE BIN DUMPING AT THE FINAL FULL GROWTH DIMENSIONS.

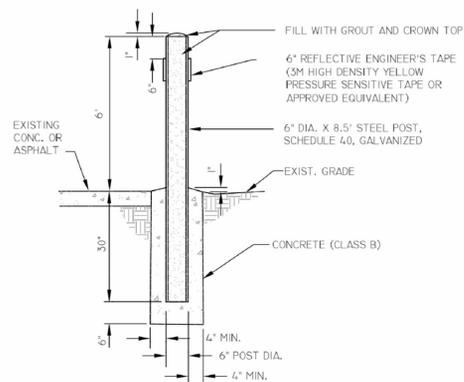


SINGLE AND DOUBLE-WIDE BIN ENCLOSURES - NOTES

DETAIL NO. M-62.02.2



6-FOOT MASONRY SCREEN WALL



SAFETY POST

SEE M-62.04.2 FOR REFERENCED NOTES

NOT TO SCALE

REV. 01/31/14



BIN ENCLOSURE SCREEN WALL, SAFETY POST AND GATE STANDARDS

DETAIL NO. M-62.04.1

NOTES

- TRASH AND RECYCLING BIN AREA SHALL BE SCREENED WITH A SIX FOOT (6') MASONRY WALL PER COM DETAIL M-62.04.1.
- BIN ENCLOSURE TO BE A MINIMUM OF 3 FEET FROM ANY NON-COMBUSTIBLE PLANNED OR EXISTING STRUCTURE AT ITS CLOSEST POINT, AND 5 FEET FROM ANY COMBUSTIBLE PLANNED OR EXISTING STRUCTURE AT ITS CLOSEST POINT (PER UNIFORM FIRE CODE 1103.2.2).
- BINS THAT ARE VISIBLE FROM A PUBLIC ROADWAY SHALL HAVE ENCLOSURE GATES THAT SCREEN THE BINS FROM PUBLIC VIEW.
- GATES SHALL BE INSTALLED SO THERE IS A NET BIN ENCLOSURE OPENING OF 12 FEET PER BIN. GATES, HINGES, AND MOUNTING HARDWARE SHALL NOT INTRUDE UPON MINIMUM NET ENCLOSURE OPENING.
- GATES, HINGES, SAFETY POSTS, AND MOUNTING HARDWARE SHALL BE INSTALLED SO THERE IS A MINIMUM 9 FOOT DEPTH CREATED WITHIN EACH ENCLOSURE.
- EACH ENCLOSURE GATE SHALL HAVE DROP PINS INSTALLED AND HOLES DRILLED IN THE CONCRETE AT BOTH THE OPEN AND CLOSED POSITIONS TO PREVENT GATES FROM CLOSING INTO THE COLLECTION VEHICLE.
- BIN ENCLOSURES SHALL HAVE (3) 6" DIAMETER STEEL SAFETY POSTS INSTALLED IN THE BACK OF THE ENCLOSURE ONLY PER COM DETAIL M-62.04.1.
- SAFETY POSTS SHALL HAVE A HEIGHT OF 6 FEET OR BE EQUAL TO THE HEIGHT OF THE BACK SCREEN WALL OF THE ENCLOSURE. SAFETY POSTS SHALL BE PLACED A MINIMUM OF 4" FROM THE WALL.
- USE CLASS "A" CONCRETE AS PER SECTION 725 EXCEPT AS NOTED IN SAFETY POST DETAIL ON COM DETAIL M-62.04.1.
- STEEL REINFORCEMENT SHALL BE GRADE 40.
- EXPANSION JOINT FILLER SHALL BE 1/2" BITUMINOUS TYPE PREFORMED EXPANSION JOINT FILLER ASTM D-1751.
- EXTERIOR FINISH OF 6 FOOT MASONRY SCREEN WALLS SHALL BE COORDINATED ARCHITECTURALLY WITH PRIMARY BUILDING FINISHES.
- SOIL BELOW THE WALL FOOTER AND CONCRETE PAD SHALL BE COMPACTED TO A DEPTH OF 6 INCHES AND TO A MINIMUM DRY DENSITY OF 90% IN ACCORDANCE WITH ASTM D-2922 AND D-3017, AFTER ADJUSTMENT FOR ROCK CORRECTION.
- STANDARDS FOR SOLID WASTE VEHICLE ACCESS ARE ADDRESSED IN COM DETAIL M-62.01.
- STANDARDS FOR SINGLE, DOUBLE, AND TRIPLE-WIDE BIN ENCLOSURES ARE ADDRESSED IN COM DETAILS M-62.02 AND M-62.03.

SEE M-62.04.1 FOR REFERENCED NOTES



BIN ENCLOSURE SCREEN WALL SAFETY POST AND GATE STANDARDS - NOTES

DETAIL NO. M-62.04.2



Drawing Name:

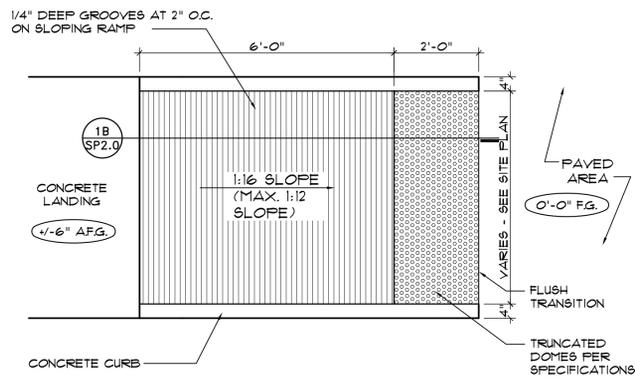
SITE DETAILS  
Revisions

Date: 10/30/2015

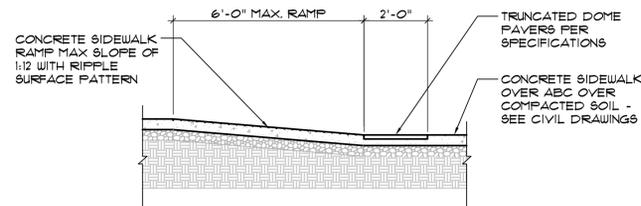
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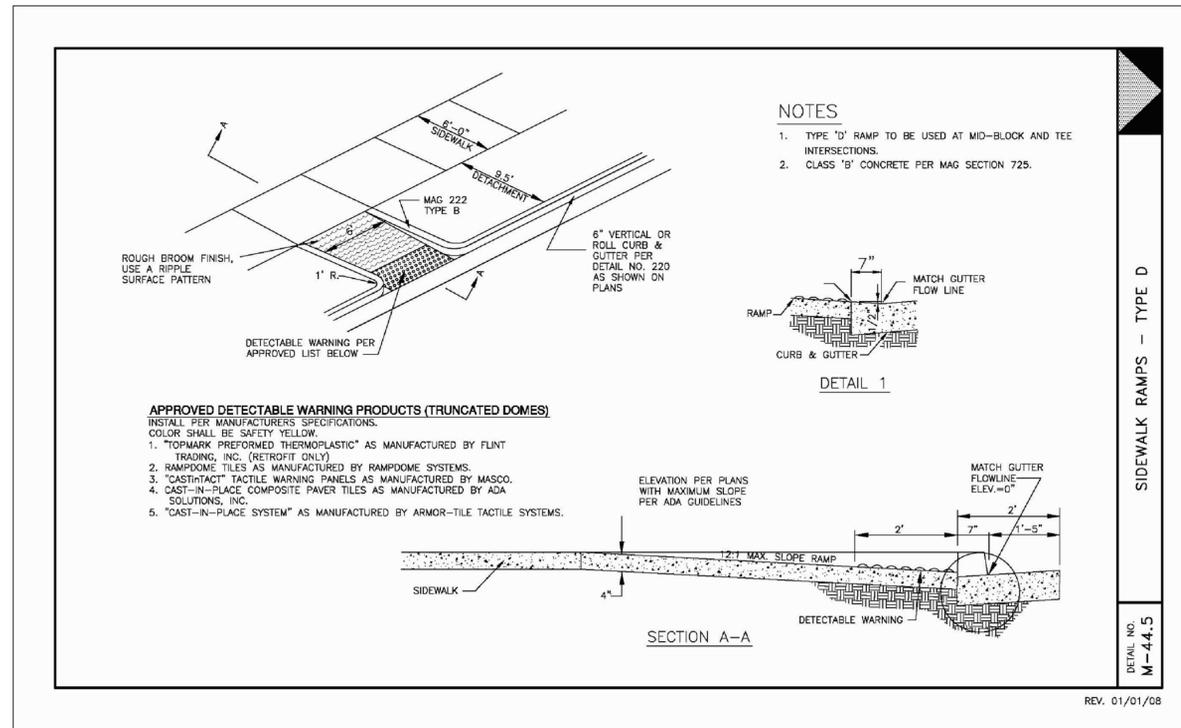
SP2.1



**A ACCESSIBLE RAMP PLAN**  
SCALE: 1/2"=1'-0"

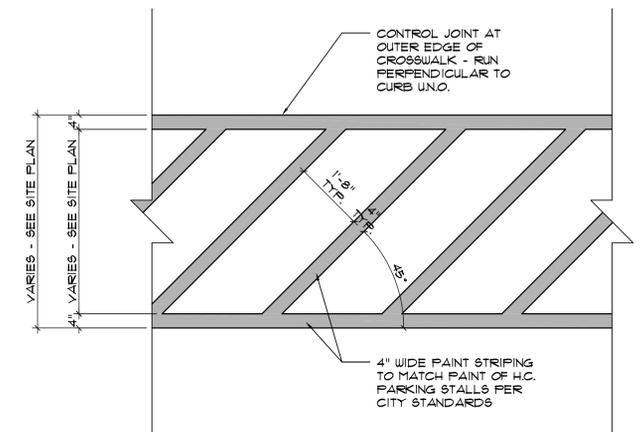


**B ACCESSIBLE RAMP SECTION**  
SCALE: 3/8"=1'-0"

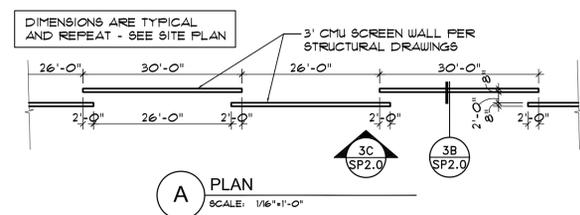


**C ACCESSIBLE RAMP MESA DETAIL**  
SCALE: 3/8"=1'-0"

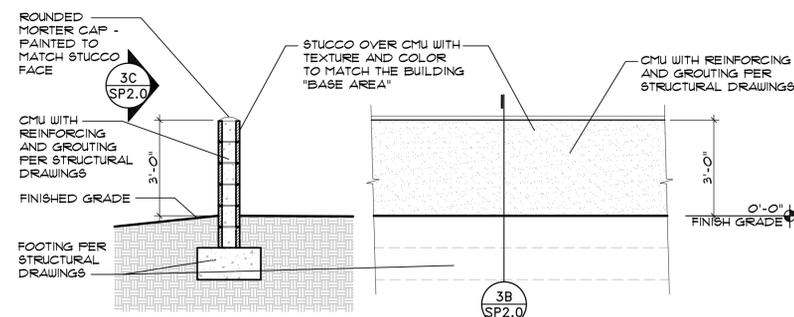
**1 ACCESSIBLE SIDEWALK RAMPS**  
SCALE: 1/4"=1'-0"



**2 PAVING PAINT STRIPING DETAIL**  
SCALE: 1/2"=1'-0"



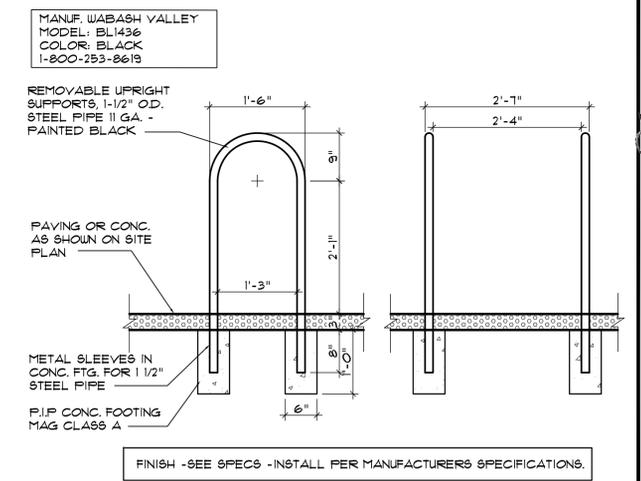
**A PLAN**  
SCALE: 1/16"=1'-0"



**B SECTION**  
SCALE: 3/8"=1'-0"

**C ELEVATION**  
SCALE: 3/8"=1'-0"

**3 LOW SITE WALL DETAILS**  
SCALE: 3/8"=1'-0"



**4 BIKE RACKS**  
SCALE: 3/4"=1'-0"



Oct 28, 2015  
EXPIRES: 6/30/2018

Drawing Name:

SITE DETAILS  
Revisions

Date: 10/30/2015

Project Number:

Drawing No:

SP2.0

**KEYED NOTES**

- 1. NEW SURFACE RETENTION
- 2. NEW UNDERGROUND RETENTION
- 3. EXISTING CITY STORM DRAIN
- 4. NEW STORM BLEED LINE AND VALVE
- 5. EXISTING 8" WATER
- 6. NEW 8" WATER IN EASEMENT
- 7. NEW FIRE HYDRANT
- 8. NEW METER SERVICE
- 9. EXISTING DRIVEWAY
- 10. FUTURE DEVELOPMENT
- 11. NEW PRIVATE CROSS ACCESS
- 12. EXISTING ONSITE (MOUNTAIN VISTA MEDICAL CENTER) ONSITE DRIVE
- 13. RECENTLY INSTALLED PUBLIC SEWER
- 14. NEW ONSITE STORM DRAIN AND INLETS
- 15. SEWER CONNECTION
- 16. NEW 20' ESMT BY SEPARATE INSTRUMENT
- 17. 2007 EASEMENT TO BE VACATED

# PRELIMINARY G/D PLAN CULVER'S SOUTH CRISMON

SEC OF E. SOUTHERN AND S. CRISMON, MESA, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 35,  
TOWNSHIP 1 NORTH, RANGE 7 EAST  
OF THE GILA AND SALT RIVER BASE  
AND MERIDIAN, MARICOPA COUNTY, ARIZONA

FEMA CLASSIFICATION: ZONE X; 04013C2240E  
GROSS / NET LAND AREA: 2.93 ACRES

NARRATIVE:  
PROJECT IS THE DEVELOPMENT OF A DRIVE THRU RESTAURANT BUILDING INCLUDING SITEWORK,  
PARKING AND ONSITE RETENTION.

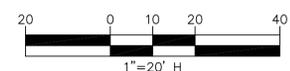
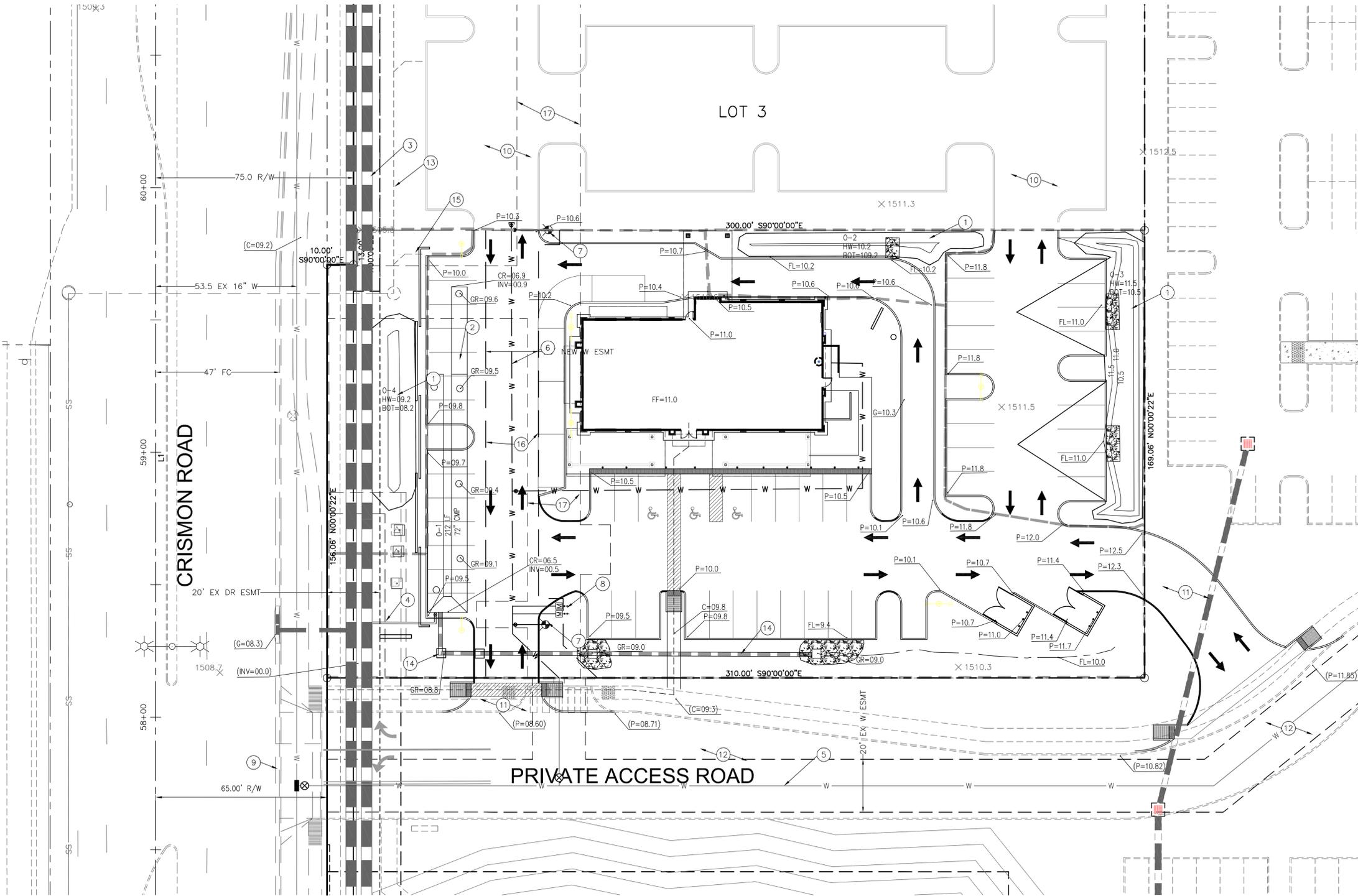
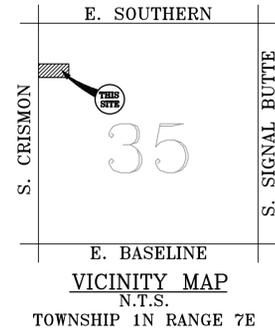
THIS LOT WILL SELF RETAIN THE 100 YEAR 2 HOUR EVENT. OFFSITE ROADWAYS ARE  
CURRENTLY HANDLED BY DEVELOPED ROADWAYS AND STORM DRAIN.

FINISH FLOOR IS SET ABOVE THE LOW OUTFALL AT THE SOUTHWEST CORNER OF THE SITE.

LOW OUTFALL IS THE SOUTHWEST CORNER OF THE SITE.

SITE IS LOCATED IN FEMA ZONE X (SHADED)

NAME	AREA	C FACTOR	100YR 2HR DEPTH	VOL REQ	VOL PROV
0-1	35500	0.90	2.2	5858	5994 (UG)
0-2	2512	0.90	2.2	414	423 (SURFACE)
0-3	8100	0.90	2.2	1337	1485 (SURFACE)
0-4	4700	0.70	2.2	603	644 (SURFACE)



CLIENT:  
Larson Associates  
Architects, Inc.  
3807 N. 24th Street, #100  
Phoenix, AZ 85016  
602-955-9929



**Helix Engineering, LLC**  
Engineering / Surveying / Consulting  
3240 E Union Hills  
Suite 112  
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(PH) 602-788-2616  
www.hxeng.com

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1-800-782-5348  
BLUE STAKE CENTER

RELEASE	
DATE	BY
10-29-15	PRELIM ENGR

REVISIONS	
NO.	DATE

PROJECT NAME: **Culver's Crismon**

PROJECT LOCATION: \_\_\_\_\_

PROJECT: \_\_\_\_\_

HELIX JOB NUMBER: **203**

IN HOUSE:  DRAWN BY: HXE  
CHECKED BY: SB

SHEET TITLE: \_\_\_\_\_

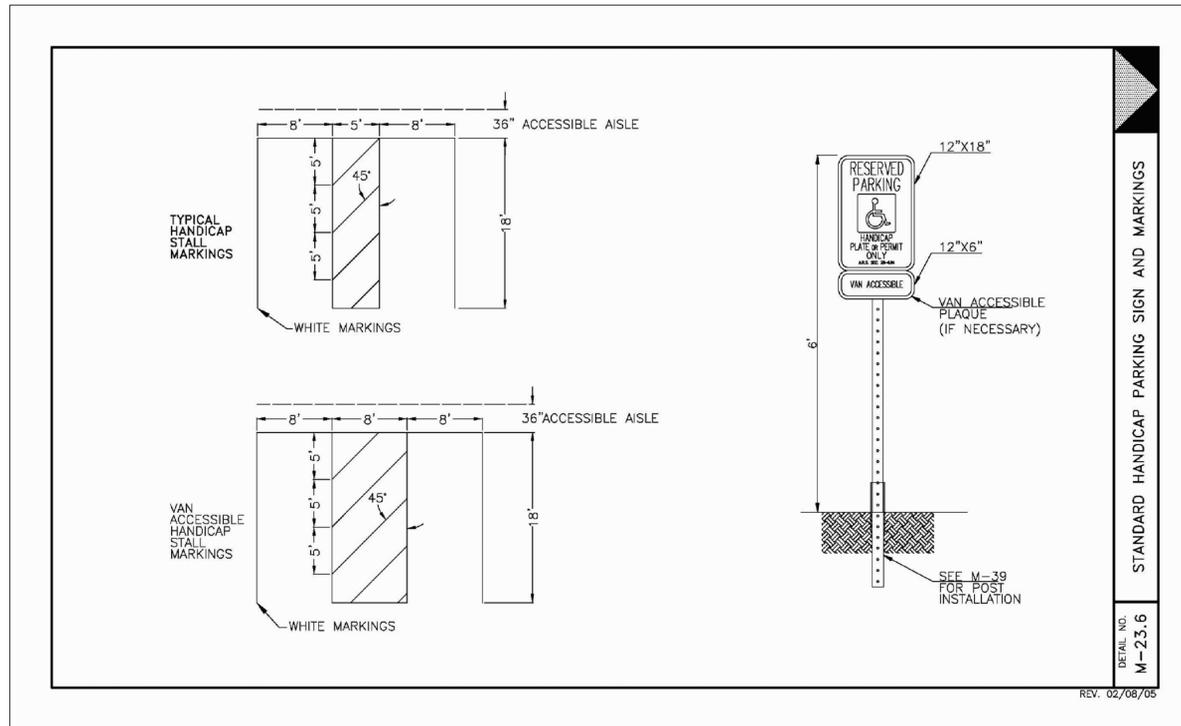
**PRELIM GD PLAN**

SHEET: **GD-1** PAGE: **1 OF 1**

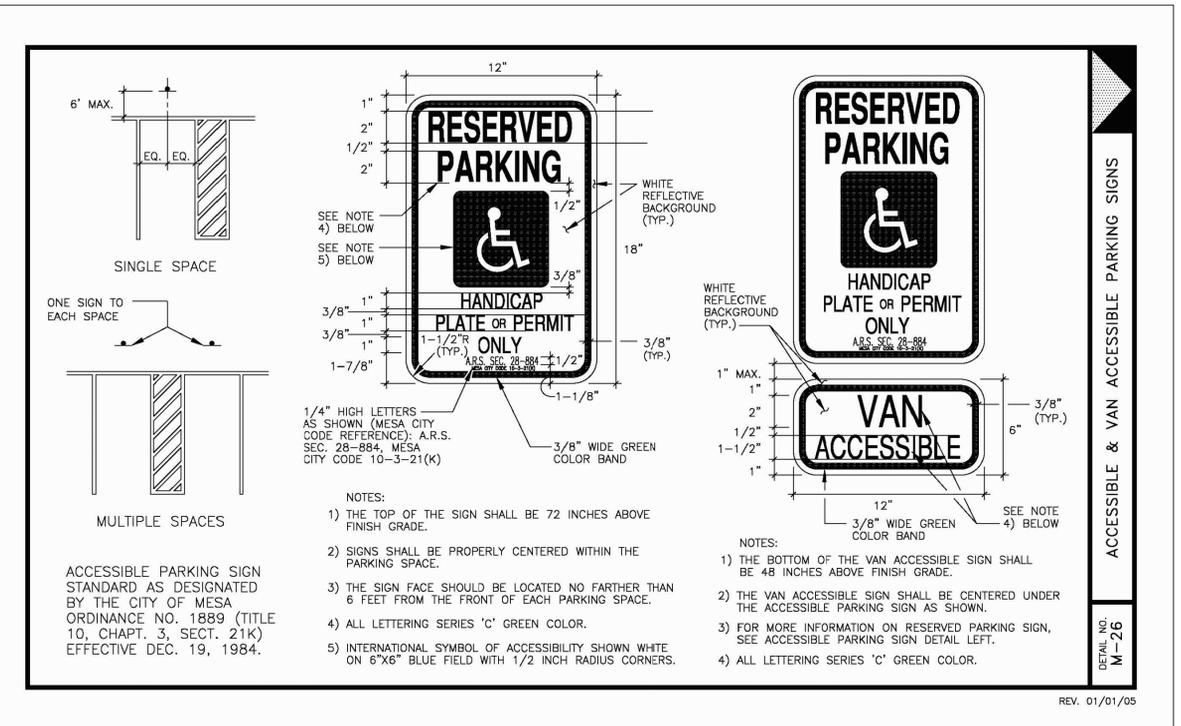
PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"

Oct 29, 2015 - 10:42am  
C:\Users\203\Culver's Crismon\DWG\PRE\_G&D\203 Prelim GD.dwg

COM LOG

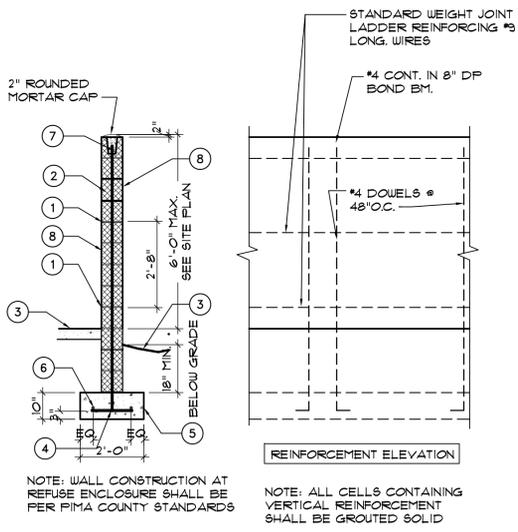


6 ACCESSIBLE PARKING SPACES  
SCALE: 1/4"=1'-0"

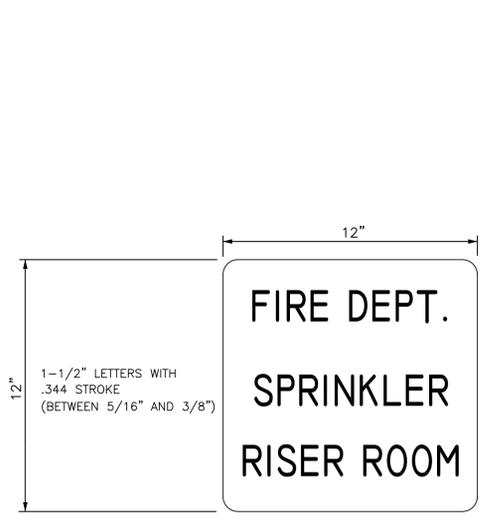


7 ACCESSIBLE PARKING SIGN  
SCALE: 1-1/2"=1'-0"

- NOTES:
- STANDARD WEIGHT JOINT LADDER REINFORCING #3 LONG WIRES
  - STANDARD 8" CMU MASONRY WALL WITH #5 VERTS AT 40" O.C. GROUT SOLID ALL CELLS
  - FINISHED GRADE OR CONCRETE SLAB ON GRADE AS OCCURS
  - DOUELS TO MATCH AND LAP VERTICAL WALL REINFORCING PER G.S.N. - ALTERNATE BENDS.
  - CONCRETE FOOTING
  - 2 #4 CONTINUOUS
  - #5 CONT. IN 8" DP. BOND BM.
  - STUCCO OVER CMU TO MATCH BUILDING "BASE AREA" STUCCO
- MINIMUM APPROVED MATERIALS:
- |             |                  |
|-------------|------------------|
| CONCRETE    | F'C = 2000 PSI   |
| REINFORCING | F'Y = 40,000 PSI |
| CMU         | F'N = 1950 PSI   |
| MORTAR      | ASTM TYPE S      |
| GROUT       | F'C = 2000 PSI   |
| DUROWALL    | F'Y = 80,000 PSI |

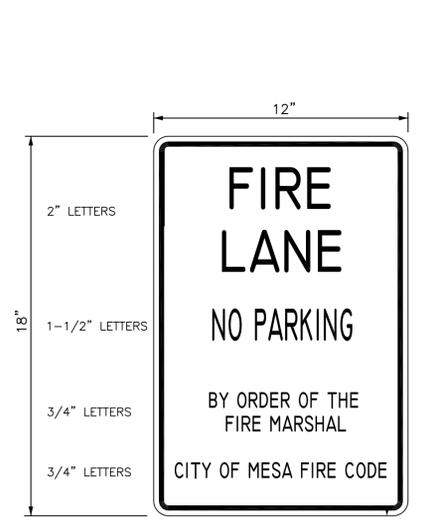


8 BACK AREA SCREEN WALL  
SCALE: 3/8"=1'-0"



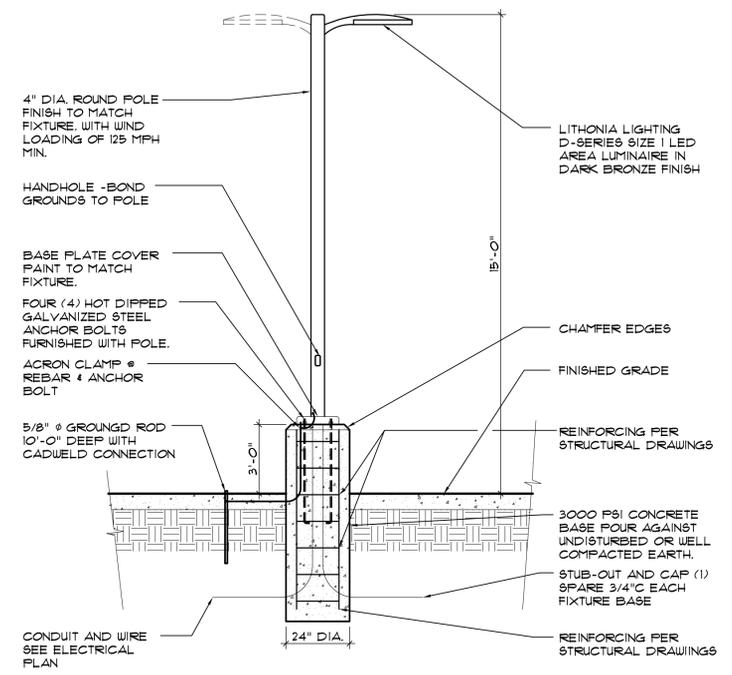
9 FIRE RISER ROOM SIGN  
SCALE: 3"=1'-0"

- NOTES:
- THE SIGN FACE SHALL BE 12" x 12" AND FABRICATED FROM .080 ALUMINUM SHEET WITH 1-1/2" RADIUS CORNERS.
  - FONT STYLE USED IS HANDEL GOTHIC BT CAPITAL FONTS
  - THE SIGN FACE SHALL HAVE A WHITE 3M DIAMOND GRADE REFLECTIVE SHEETING (DG3 4090 SERIES OR EQUAL) APPLIED AS A BACKGROUND TO THE ALUMINUM PLATES.
  - LETTERING GRAPHICS SHALL BE DONE ONE OF THE FOLLOWING WAYS:
    - 3M SCOTCHLITE ACRYLIC, TRANSPARENT, ELECTRONIC CUTTABLE FILM (3M 1170 SERIES) INVERSE CUT TO ALLOW WHITE REFLECTIVE BACKGROUND TO SHOW THROUGH.
    - ALL SIGN PRINTED USING 3M 8801 OR 880-00 SERIES TRAFFIC SIGN RED TRANSLUCENT INK. BOTH PROCESSES (A OR B) WILL ACCOMPLISH A RED FIELD WITH WHITE COPY.
  - ALL SIGN IMAGING SHALL BE IN COMPLIANCE WITH THE REFLECTIVE SHEETING MANUFACTURERS MATCH COMPONENT SYSTEM.
  - REQUIRES PRE-APPROVAL BY FIRE PREVENTION EMERGENCY ACCESS OFFICER.



10 FIRE LANE SIGN  
SCALE: 3"=1'-0"

- NOTES:
- THE SIGN FACE SHALL BE 12" x 18" AND FABRICATED FROM .080 ALUMINUM SHEET WITH 1-1/2" RADIUS CORNERS. (SEE IFC FIGURE 5-4)
  - THE SIGN FACE SHALL HAVE A WHITE 3M DIAMOND GRADE REFLECTIVE SHEETING (DG3 4090 SERIES OR EQUAL) APPLIED AS A BACKGROUND TO THE ALUMINUM PLATES.
  - LETTERING GRAPHICS SHALL BE DARK CONTRASTING, 3M SCOTCHLITE ACRYLIC, TRANSPARENT, ELECTRONIC CUTTABLE FILM (3M 1170 SERIES) INVERSE CUT TO ALLOW WHITE REFLECTIVE BACKGROUND TO SHOW THROUGH.
  - ALL SIGN IMAGING SHALL BE IN COMPLIANCE WITH THE REFLECTIVE SHEETING MANUFACTURERS MATCH COMPONENT SYSTEM.
  - TO FORM A GRAFFITI BARRIER 3M 1160 PROTECTION OVERLAY FILM MAYBE APPLIED OVER SIGN.



NOTE: REBAR SIZE AND FOOTING DEPTH SHALL BE  
VERIFIED BY STRUCTURAL ENGINEER.

NOTE: EPA, RATING AND SOIL CONDITIONS SHALL BE  
COORDINATED WITH POLE AND FIXTURE ASSEMBLY

11 PARKING LOT LIGHT POLE  
SCALE: 3/8"=1'-0"



CULVER'S  
LOCATION: SOUTH CRISMON  
MESA, ARIZONA



Oct 28, 2015  
EXPIRES: 6/30/2018

Drawing Name:  
SITE  
DETAILS

Revisions


Date: 10/30/2015

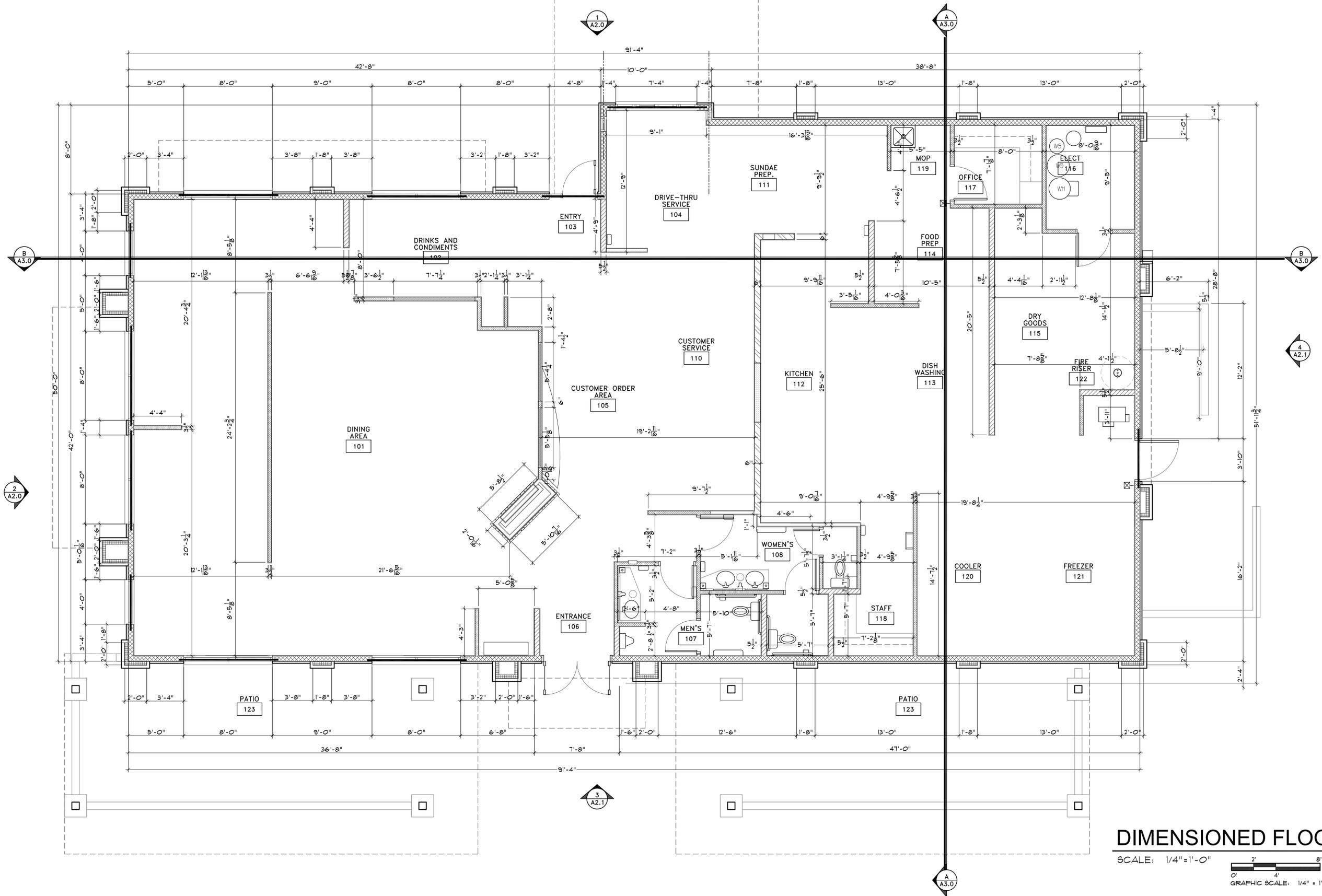
Project Number:

Drawing No:

SP2.3







**DIMENSIONED FLOOR PLAN**

SCALE: 1/4" = 1'-0" PLN2



Drawing Name:  
FIRST FLOOR PLAN

Revisions

Date: 10/30/2015

Project Number:

Drawing No:

A1.0

CULVER'S  
LOCATION: SOUTH CRISMON  
MESA, ARIZONA



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**SYMBOLS LEGEND:**

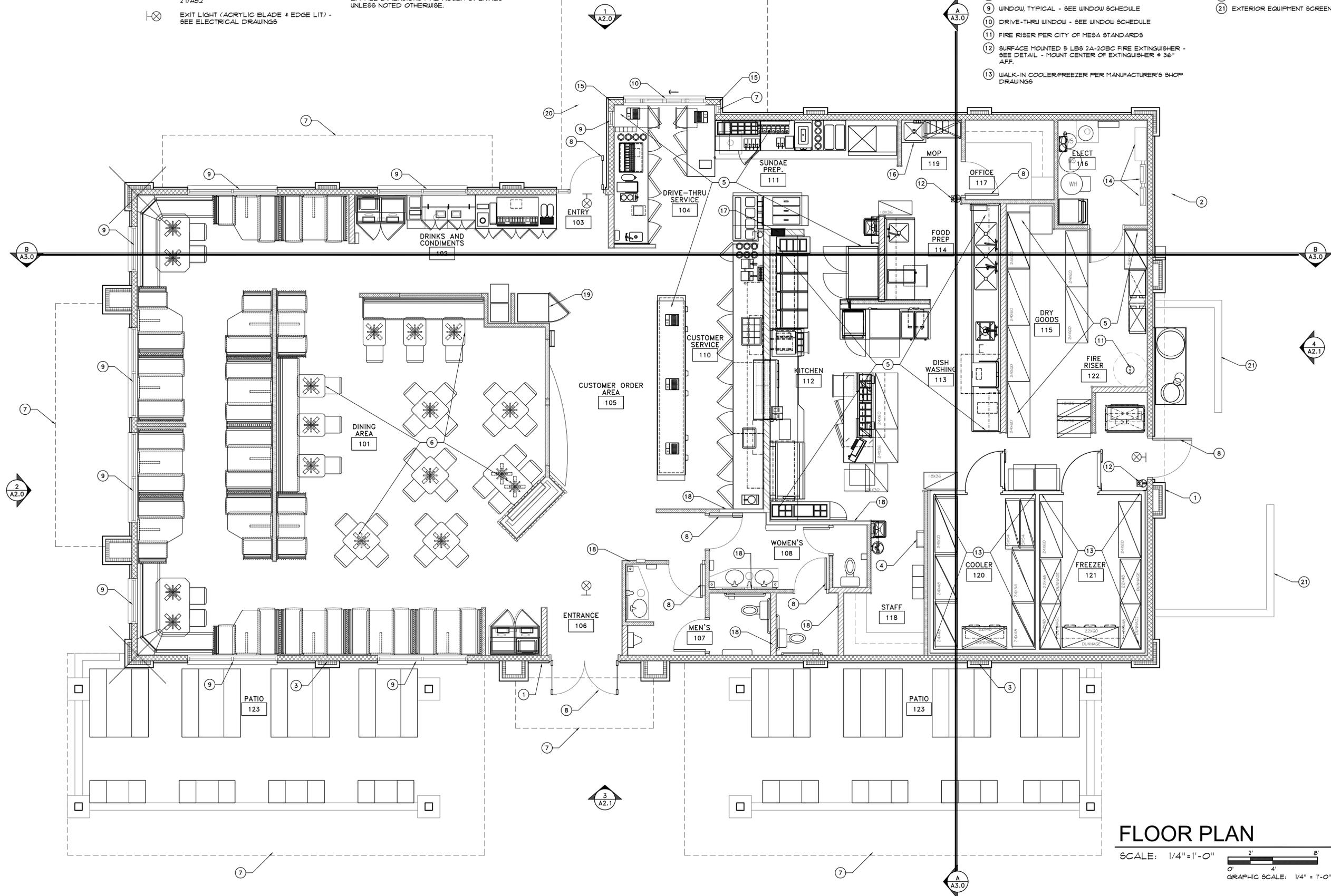
- NAME  
### INDICATES ROOM NAME AND NUMBER  
(SEE FINISH SCHEDULE ON SHEET A6.0)
- DOOR# INDICATES DOOR NUMBER  
(SEE DOOR SCHEDULE ON SHEET A6.1)
- X INDICATES WINDOW TYPE  
(SEE WINDOW SCHEDULE ON SHEET A6.2)
- ⊠ WALL CABINET WITH 5 LBS. 2A-10B.C FIRE EXTINGUISHER - BY G.C. - SEE 26 AND 27/A5.2
- ⊠ EXIT LIGHT (ACRYLIC BLADE 4 EDGE LIT) - SEE ELECTRICAL DRAWINGS

**FLOOR PLAN GENERAL NOTES**

- A.) ALL DIMENSIONS GIVEN ARE TO FACE OF STUD TO FACE OF STUD BASED ON NOMINAL STUD SIZING UNLESS NOTED OTHERWISE.
- B.) ALL DOORS TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR SURFACE TO FINISH OPENING - U.N.O.
- C.) PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED MILLWORK SUPPLIED AND INSTALLED BY CONTRACTOR.
- D.) ALL OWNER FURNISHED EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH G.C.
- E.) ALL DIMENSIONS ARE ROUGH OPENINGS UNLESS NOTED OTHERWISE.

**FLOOR PLAN KEYNOTES**

- 1 KNOX BOX PER CITY OF MESA STANDARDS
- 2 SERVICE ENTRY SECTION - SEE ELECTRICAL DRAWINGS
- 3 ROOF DRAIN AND OVERFLOW - SEE PLUMBING DRAWINGS
- 4 ROOF ACCESS LADDER - SEE DETAILS
- 5 FOOD SERVICE EQUIPMENT, TYPICAL - SEE FOOD SERVICE 'FS' DRAWINGS
- 6 NON-FIXED FURNITURE BY OWNER
- 7 SHADE STRUCTURE/CANOPY ABOVE
- 8 DOOR TYPICAL - SEE DOOR SCHEDULE
- 9 WINDOW, TYPICAL - SEE WINDOW SCHEDULE
- 10 DRIVE-THRU WINDOW - SEE WINDOW SCHEDULE
- 11 FIRE RISER PER CITY OF MESA STANDARDS
- 12 SURFACE MOUNTED 5 LBS 2A-20BC FIRE EXTINGUISHER - SEE DETAIL - MOUNT CENTER OF EXTINGUISHER @ 36" AFF.
- 13 WALK-IN COOLER/FREEZER PER MANUFACTURER'S SHOP DRAWINGS
- 14 ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS
- 15 COLUMNS - SEE STRUCTURAL DRAWINGS
- 16 BUILT-IN MOP SINK WITH TRENCH DRAIN AND TILE FINISH
- 17 STUD SPACE FOR REFRIGERATION CASE
- 18 ACOUSTICAL INSULATION IN STUD CAVITIES (ALL RESTROOM WALLS)
- 19 CUSTARD CASE - SEE MILLWORK DETAILS
- 20 DRIVE WAY GUARD RAIL - SEE DETAILS
- 21 EXTERIOR EQUIPMENT SCREEN WALL



**FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8'  
 GRAPHIC SCALE: 1/4" = 1'-0"



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 Phoenix, AZ 85016  
 602.955.9929 602.954.4790 FAX  
 design@larson-architects.com



**CULVER'S**  
 LOCATION: SOUTH CRISMON  
 MESA, ARIZONA



Oct 28, 2015  
 EXPIRES: 6/30/2018

Drawing Name:  
 FIRST FLOOR PLAN

Revisions

Date: 10/30/2015

Project Number:

Drawing No:

A11

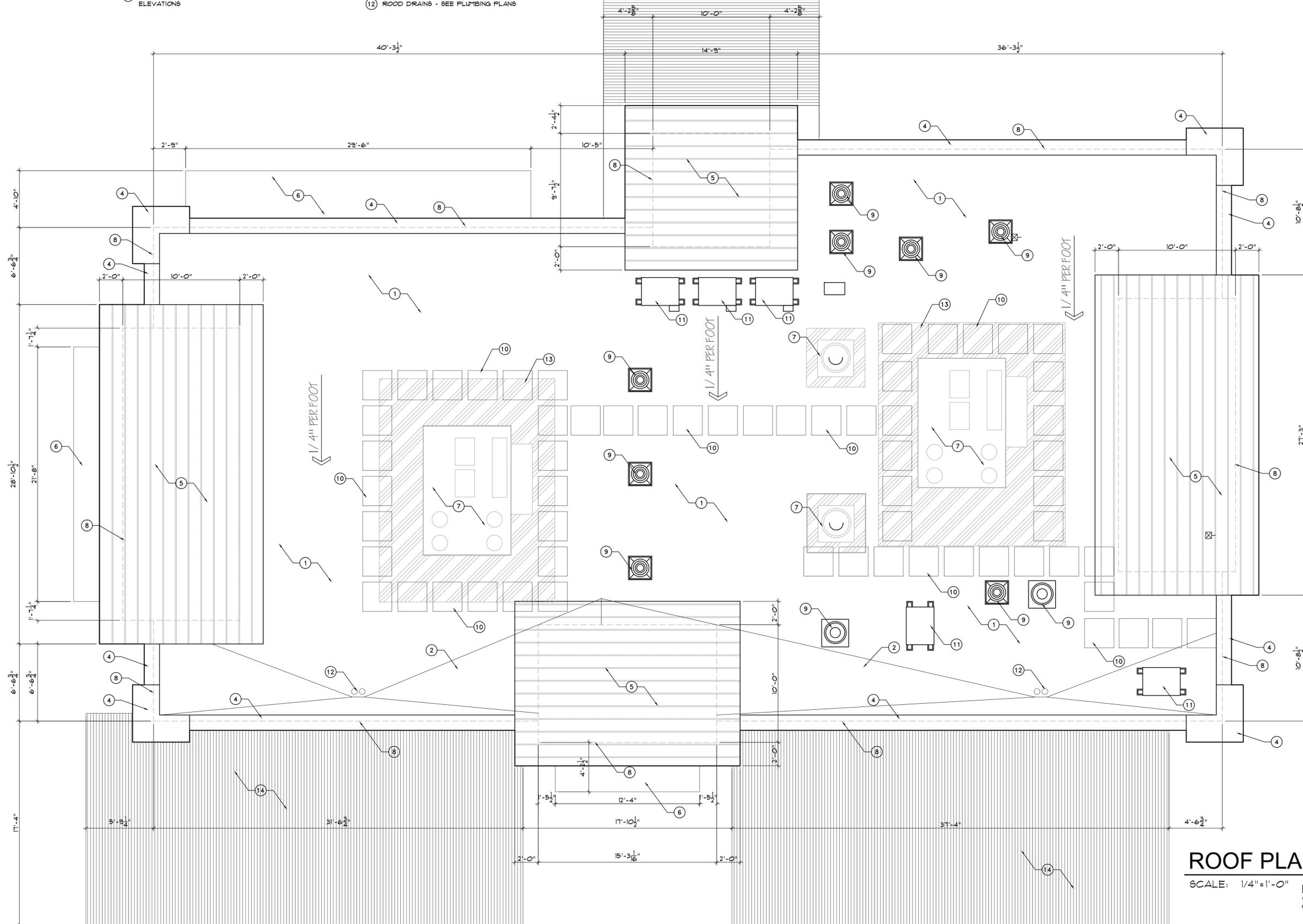
PLN2

**ROOF PLAN KEYNOTES**

- ① SINGLE PLY .050 (MINIMUM) WHITE GREASE RESISTANT PVC MEMBRANE FULLY ADHERED ON TWO 2" EXTRUDED POLYISOCYANURATE INSULATION SYSTEM WITH A 6 MIL POLY VAPOR BARRIER ON WARM SIDE OF INSULATION OVER ROOF SHEATHING PER STRUCTURAL DRAWINGS - RUN ROOFING MEMBRANE VERTICAL UP INSIDE OF PARAPET WALLS.
- ② TAPERED CRICKET PROVIDING 1/4" PER FOOT ROOF SLOPE (MINIMUM) CRICKETS TO BE BUILT UP FROM RIGID FOAM INSULATION OR CONTRACTORS OPTION TO PROVIDE 2x4 FRAMING AT 16" O.C. WITH 3/4" EXTERIOR GRADE FLYWOOD SHEATHING.
- ③ ROOF ACCESS HATCH - SEE DETAILS
- ④ PARAPET WALL CAP - SEE DETAILS AND EXTERIOR ELEVATIONS
- ⑤ STANDING SEAM METAL ROOFING - SEE EXTERIOR ELEVATIONS
- ⑥ STEEL WINDOW CANOPIES BELOW - SEE DETAILS
- ⑦ MECHANICAL UNITS - SEE MECHANICAL PLANS
- ⑧ LINE OF BUILDING BELOW
- ⑨ EXHAUST VENT - SEE MECHANICAL PLANS
- ⑩ ROOF WALK PADS AS REQUIRED PER THE ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS.
- ⑪ REFRIGERATION CONDENSER/COMPRESSOR - SEE MECHANICAL DRAWINGS
- ⑫ ROOF DRAINS - SEE PLUMBING PLANS

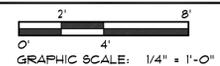
**ROOF PLAN KEYNOTES (CONTINUED)**

- ⑬ HATCHED AREA INDICATES 10'-0" (MINIMUM) CLEAR AREA AROUND EXHAUST UNITS TO NEAR ALLOWED AIR INTAKE FOR HVAC SYSTEM
- ⑭ STEEL TRELLIS CANOPY OVER PATIO / DRIVE-THRU PER EXTERIOR ELEVATIONS

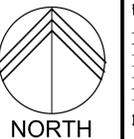


**ROOF PLAN**

SCALE: 1/4" = 1'-0"



PLN2



Oct 28, 2015  
 EXPIRES: 6/30/2018  
 Drawing Name:  
 ROOF PLAN

Revisions


Date: 10/30/2015  
 Project Number:  
 Drawing No:  
**A15**



1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

X-ELEV



2 WEST ELEVATION  
SCALE: 1/4"=1'-0"

X-ELEV

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CULVER'S  
LOCATION: SOUTH CRISMON  
MESA, ARIZONA



Drawing Name:  
EXTERIOR  
BUILDING ELEVATIONS

Revisions

Date: 9/23/2015

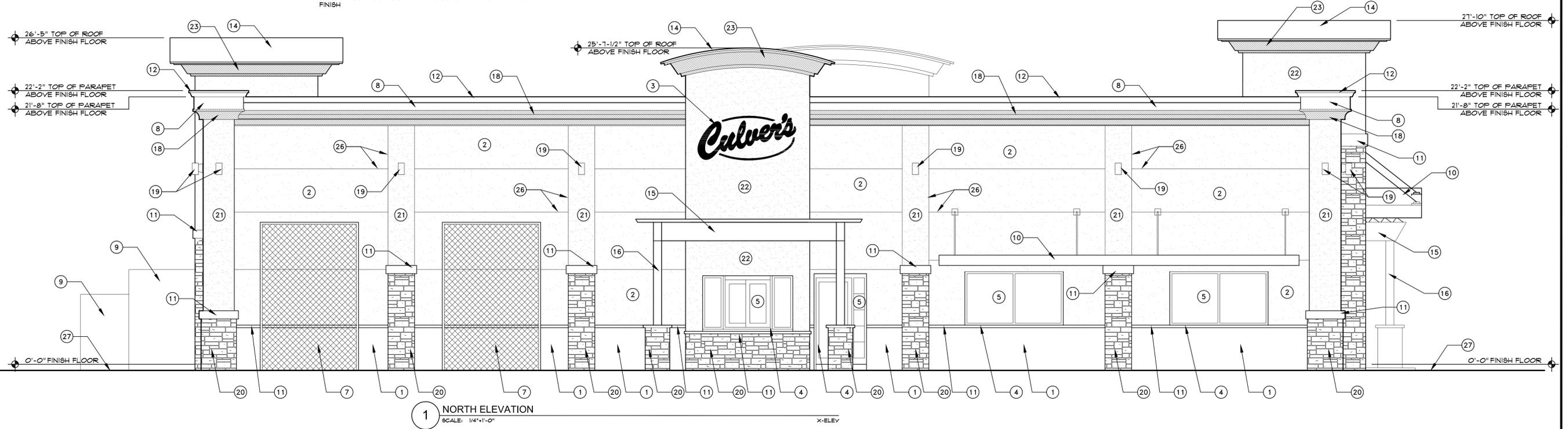
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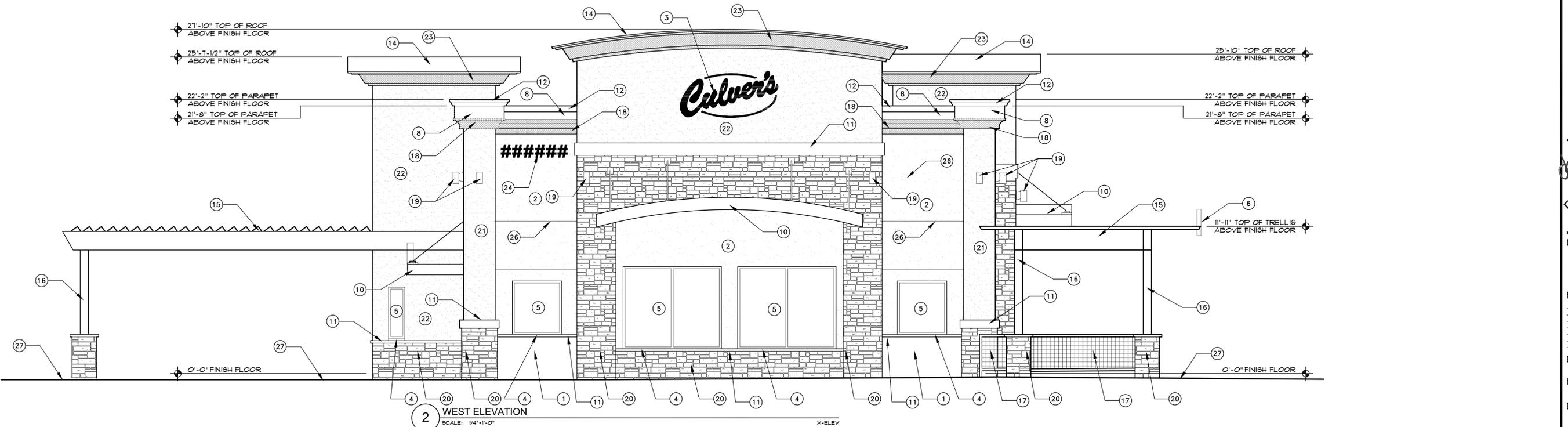
A2.0

ELEVATION KEYNOTES

- 1 BUILDING "BASE AREA" STUCCO AREA TO BE DUNN EDWARDS DEA163 "RODEO" WITH A LIGHT SAND FINISH
- 2 BUILDING "MAIN WALL AREA" STUCCO TO BE DUNN EDWARDS DE5324 "FINE SAND" WITH A LIGHT SAND FINISH
- 3 CULVER'S SIGNAGE BY SPRINGFIELD SIGN AND NEON - TO BE PERMITTED UNDER A SEPARATE SUBMITTAL AND PROCESS, SHOWN FOR REFERENCE ONLY.
- 4 HOLLOW METAL WINDOW AND DOOR FRAMES - TO BE FACTORY FINISHED IN CLEAR ANODIZED ALUMINUM
- 5 GRAY TINTED WINDOW GLAZING (MINIMUM 50% TINTING)
- 6 BRUSHED ALUMINUM FONT LETTERING - TO BE PERMITTED UNDER A SEPARATE SUBMITTAL AND PROCESS, SHOWN FOR REFERENCE ONLY.
- 7 WELDED WIRE LATTICE IN STEEL FRAME GREEN WALL TO BE POWDER COATED TO MATCH DUNN EDWARDS DEA163 "RODEO"
- 8 STUCCO "BLUE ACCENT STRIPE" BELOW PARAPET CAP TO BE DUNN EDWARDS DE5839 "THE BLUES" WITH LIGHT SAND FINISH
- 9 STUCCO FINISH OVER CMU EQUIPMENT SCREEN WALL TO BE DUNN EDWARDS DEA163 "RODEO" WITH LIGHT SAND FINISH
- 10 STEEL WINDOW CANOPIES AND SUPPORT RODS TO BE PAINTED DUNN EDWARDS DE5839 "THE BLUES"
- 11 WALL SILL / CAP DETAIL TO BE DUNN EDWARDS DECT11 "CLIFF BROWN" WITH LIGHT SAND FINISH
- 12 BREAK METAL PARAPET CAP TO BE FACTORY FINISHED TO MATCH ATAS INTERNATIONAL'S COPPERTONE (23)
- 13 MECHANICAL EQUIPMENT BEYOND TO BE FULLY SCREENED BY PARAPET - EQUIPMENT SHOWN IS FOR REPRESENTATION PURPOSE ONLY, EXACT LOCATION, NUMBER OF UNITS AND SIZE YET TO BE DETERMINED
- 14 ROOFING TO BE STANDING SEAM METAL ROOFING - TO BE FACTORY FINISHED TO MATCH ATAS INTERNATIONAL'S COPPERTONE 23
- 15 STEEL BUILDING CANOPY (EATING PATIO AND DRIVE-THRU SHADE) TO BE PAINTED DUNN EDWARDS DE5839 "THE BLUES"
- 16 STEEL CANOPY COLUMN WITH POWDER COAT FINISH TO MATCH ATAS INTERNATIONAL'S COPPERTONE (23)
- 17 SEATING AREA RAILING AND WELDED WIRE MESH CONTAINMENT TO BE POWDER FINISHED TO MATCH DUNN EDWARDS DEA163 "RODEO"
- 18 STUCCO PARAPET CAP DETAILING TO BE FINISHED TO MATCH DUNN EDWARDS DECT18 "CLIFF BROWN"
- 19 NEW WALL MOUNTED LIGHT FIXTURE TO BE LUMINIS SY600 SERIES SYR105 LED DOWN LIGHT WITH THE "CHAMPAGNE" FINISH
- 20 "COLUMN" BASES OF THICK SET VENEER STONE TO BE ENVIRONMENTAL STONEWORKS TUSCAN LEDGE IN MANZANITA COLOR BLEND WITH "NO DRYSTACK" MORTAR JOINTS
- 21 BUILDING "COLUMN" STUCCO ACCENTS TO MATCH DUNN EDWARDS DECT18 "CLIFF BROWN" WITH LIGHT SAND FINISH
- 22 BUILDING "ACCESS AREA" STUCCO TO MATCH DUNN EDWARDS DECT18 "CLIFF BROWN" WITH LIGHT SAND FINISH
- 23 "ROOF TRIM" STUCCO TO MATCH DUNN EDWARDS DECT11 "CLIFF BROWN" WITH LIGHT SAND FINISH
- 24 ADDRESS NUMBERS, THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS AND BUILDING NUMBERS SHALL BE A MINIMUM OF 12 INCHES (305 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 2.0 INCH (51 MM). ADDRESS NUMBERS SHALL BE MAINTAINED, FIELD VERIFY EXACT LOCATION WITH THE FIRE MARSHALL.
- 25 METAL ROOF OVERFLOW LEADER WITH BRASS FINISH (MAIN ROOF DRAIN TO CONNECT UNDERGROUND TO THE UNDERGROUND STORM DRAIN RETENTION PER CIVIL DRAWINGS) FROM ROOF DRAIN LINE INTERNAL TO BUILDING
- 26 V-REVEAL STUCCO JOINTS
- 27 ADJACENT GRADE OR PAVING TO SLOPE AWAY FROM THE BUILDING - SEE SITE PLAN, LANDSCAPE DRAWINGS AND CIVIL DRAWINGS



1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



2 WEST ELEVATION  
SCALE: 1/4"=1'-0"



Oct 28, 2015  
EXPIRES: 6/30/2018

Drawing Name:  
EXTERIOR  
BUILDING ELEVATIONS

Revisions

Date: 10/30/2015

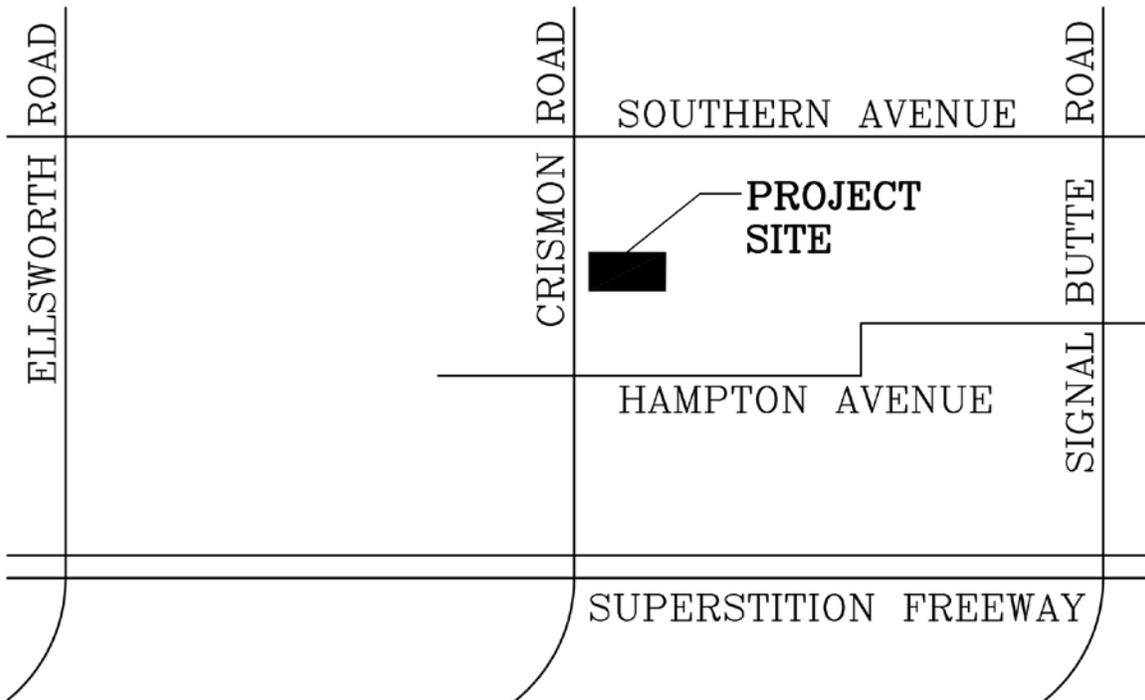
Project Number:

Drawing No:

A2.0



**Project Narrative**  
**Culver's – South Crismon**  
**Between I-10 and Southern Ave. on Crismon Road**  
**Address (To Be Assigned)**  
**Mesa, AZ**  
**APN: To Be Determined with Lot Split of #220-81-745**  
**City of Mesa Tracking Number (To Be Assigned)**



# VICINITY MAP



SCALE: N.T.S.

**Description of Request:**

The project will be a new, ground-up Culver's Restaurant with all associated off-site improvements, including but not limited to; parking lot, landscaping, signage, pedestrian connections, exterior covered patio and other improvements as further described herein and in the attached graphic documents. The project does not include any phased construction.

**Proposed Site:**

This location is zoned appropriately for a restaurant as the property is zoned LC, Limited Commercial. The properties to the south and east have been developed as a hospital and the retention basin for the hospital. One lot across Crismon Road has been developed as a church. The remaining lots across Crismon Road and to the north have not been developed. The proposed restaurant would be complimentary to the proposed uses of the undeveloped parcels.

Culver's would be accessible from the shared private drive off of Crismon Road and shared drives from the adjacent parcels. Accessible parking spaces are also being designed adjacent to the main entry.

The landscaping design follows the Design Guidelines of the CC&Rs adopted for this parcel. Additionally, the landscaping design uses low-water, desert plants. The parking spaces will be screened from Crismon Road by a parking screen wall. The proposed refuse enclosure for the property will be fully screened per the City of Mesa standard requirements and is adjacent to the back of the building. This will lessen any visual impact should trash be spilled when the refuse is carried from the building to the enclosure. All of the cmu screen walls will match the color, texture, style and design patterns of the building itself.

Water and Sewer utilities for the project will be connected to the taps being provided by the master plan community under their current improvement project. Police and Fire protection will be provided by the City of Mesa Police and Fire Departments. As part of the master plan community, the project will have a positive impact on the local schools, parks and other community infrastructure.

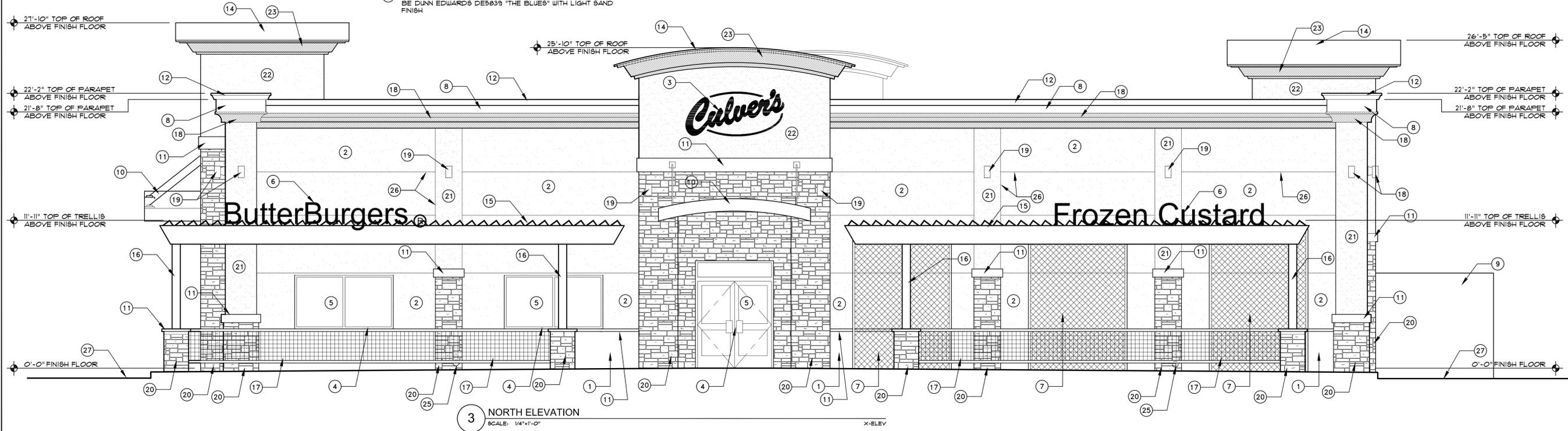
**Proposed Building:**

The proposed building would total approximately 4,200 square feet including the covered exterior dining patio. The net lot area for the property is approximately 52,279 square feet for lot coverage of 8.05%. The proposed building height is 27'-10" which is less than the allowed 30'-0".

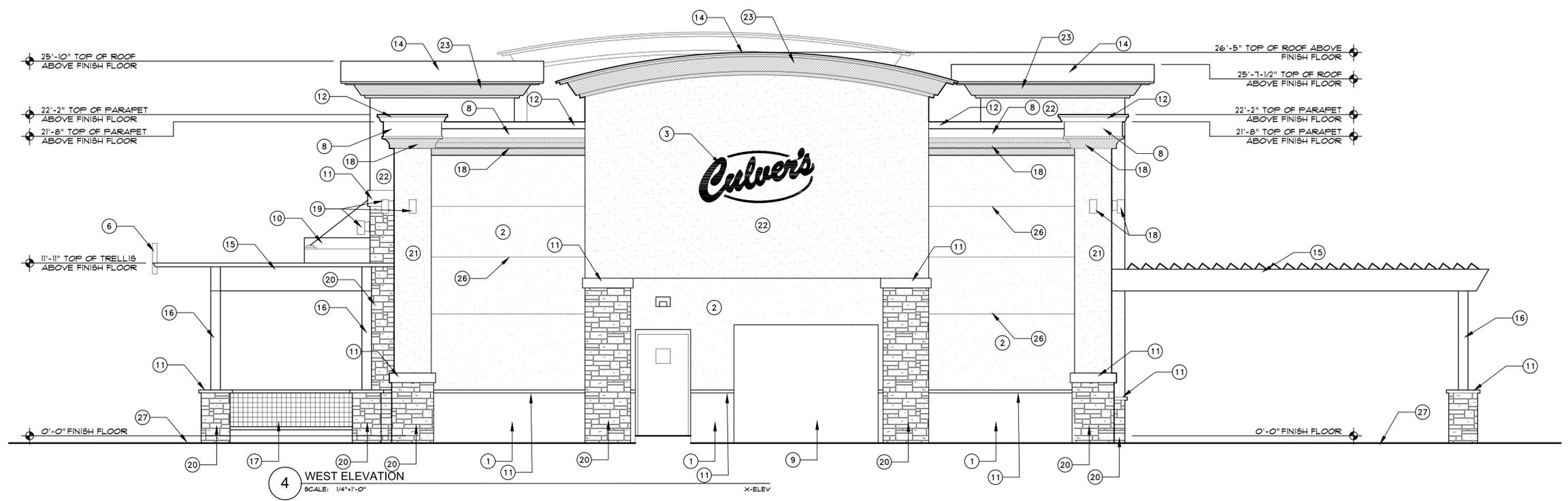
The design of culver's features stepping building volumes expressive of the architectural styles in the neighborhood and expressing part of the hierarchy of the building architecture. The building materials are high quality, durable materials consistent with the architecture of the neighborhood. The hierarchy of the design creates a human scale with identifying features for entry and drive thru. All roof drainage will be internal to the building and not visible from the exterior. All mechanical units will be fully screened behind the parapet walls of the building.

**ELEVATION KEYNOTES**

- 1 BUILDING "BASE AREA" STUCCO AREA TO BE DUNN EDWARDS DEA163 "RODEO" WITH A LIGHT SAND FINISH
- 2 BUILDING "MAIN WALL AREA" STUCCO TO BE DUNN EDWARDS DEB324 "FINE SAND" WITH A LIGHT SAND FINISH
- 3 CULVER'S SIGNAGE BY SPRINGFIELD SIGN AND NEON - TO BE PERMITTED UNDER A SEPARATE SUBMITTAL AND PROCESS, SHOWN FOR REFERENCE ONLY.
- 4 HOLLOW METAL WINDOW AND DOOR FRAMES - TO BE FACTORY FINISHED IN CLEAR ANODIZED ALUMINUM
- 5 GRAY TINTED WINDOW GLAZING (MINIMUM 50% TINTING)
- 6 BRUSHED ALUMINUM FONT LETTERING - TO BE PERMITTED UNDER A SEPARATE SUBMITTAL AND PROCESS, SHOWN FOR REFERENCE ONLY.
- 7 WELDED WIRE LATTICE IN STEEL FRAME GREEN WALL TO BE POWDER COATED TO MATCH DUNN EDWARDS DEA163 "RODEO"
- 8 STUCCO "BLUE ACCENT STRIPE" BELOW PARAPET CAP TO BE DUNN EDWARDS DEB889 "THE BLUES" WITH LIGHT SAND FINISH
- 9 STUCCO FINISH OVER CMU EQUIPMENT SCREEN WALL TO BE DUNN EDWARDS DEA163 "RODEO" WITH LIGHT SAND FINISH
- 10 STEEL WINDOW CANOPIES AND SUPPORT RODS TO BE PAINTED DUNN EDWARDS DEB889 "THE BLUES"
- 11 WALL SILL / GAP DETAIL TO BE DUNN EDWARDS DEC111 "CLIFF BROWN" WITH LIGHT SAND FINISH
- 12 BREAK METAL PARAPET CAP TO BE FACTORY FINISHED TO MATCH ATAS INTERNATIONAL'S COFFERTONE (23)
- 13 MECHANICAL EQUIPMENT BEYOND TO BE FULLY SCREENED BY PARAPET - EQUIPMENT SHOWN IS FOR REPRESENTATION PURPOSE ONLY, EXACT LOCATION, NUMBER OF UNITS AND SIZE YET TO BE DETERMINED
- 14 ROOFING TO BE STANDING SEAM METAL ROOFING - TO BE FACTORY FINISHED TO MATCH ATAS INTERNATIONAL'S COFFERTONE 23
- 15 STEEL BUILDING CANOPY (EATING PATIO AND DRIVE-THRU SHADE) TO BE PAINTED DUNN EDWARDS DEB889 "THE BLUES"
- 16 STEEL CANOPY COLUMN WITH POWDER COAT FINISH TO MATCH ATAS INTERNATIONAL'S COFFERTONE (23)
- 17 SEATING AREA RAILING AND WELDED WIRE MESH CONTAINMENT TO BE POWDER FINISHED TO MATCH DUNN EDWARDS DEA163 "RODEO"
- 18 STUCCO PARAPET CAP DETAILING TO BE FINISHED TO MATCH DUNN EDWARDS DEC111 "CLIFF BROWN"
- 19 NEW WALL MOUNTED LIGHT FIXTURE TO BE LUMINIS SY600 SERIES SYR103 LED DOWN LIGHT WITH THE "CHAMPAGNE" FINISH
- 20 "COLUMN" BASES OF THICK SET VENEER STONE TO BE ENVIRONMENTAL STONEWORKS TUSCAN LEDGE IN MANZANITA COLOR BLEND WITH "NO DRYSTACK" MORTAR JOINTS
- 21 BUILDING "COLUMN" STUCCO ACCENTS TO MATCH DUNN EDWARDS DEC118 "MESA TAN" WITH LIGHT SAND FINISH
- 22 BUILDING "ACCESS AREA" STUCCO TO MATCH DUNN EDWARDS DEC "MESA TAN" WITH LIGHT SAND FINISH
- 23 "ROOF TRIM" STUCCO TO MATCH DUNN EDWARDS DEC111 "CLIFF BROWN" WITH LIGHT SAND FINISH
- 24 ADDRESS NUMBERS, THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS AND BUILDING NUMBERS SHALL BE A MINIMUM OF 12 INCHES (305 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 2.0 INCH (51 MM). ADDRESS NUMBERS SHALL BE MAINTAINED, FIELD VERIFY EXACT LOCATION WITH THE FIRE MARSHALL.
- 25 METAL ROOF OVERFLOW LEADER WITH BRASS FINISH (MAIN ROOF DRAIN TO CONNECT UNDERGROUND TO THE UNDERGROUND STORM DRAIN RETENTION PER CIVIL DRAWINGS) FROM ROOF DRAIN LINE INTERNAL TO BUILDING
- 26 V-REVEAL STUCCO JOINTS
- 27 ADJACENT GRADE OR PAVING TO SLOPE AWAY FROM THE BUILDING - SEE SITE PLAN, LANDSCAPE DRAWINGS AND CIVIL DRAWINGS



**3 NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4"=1'-0"



EXPIRES: 6/30/2018

Drawing Name:  
EXTERIOR BUILDING ELEVATIONS

Revisions

Date: 0/30/2015

Project Number:

Drawing No:

A2.1



3 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

X-ELEV



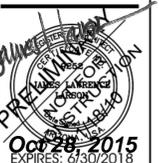
4 WEST ELEVATION  
SCALE: 1/4"=1'-0"

X-ELEV

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CULVER'S  
LOCATION: SOUTH CRISMON  
MESA, ARIZONA



Drawing Name:  
EXTERIOR  
BUILDING ELEVATIONS

Revisions

Date: 9/23/2015

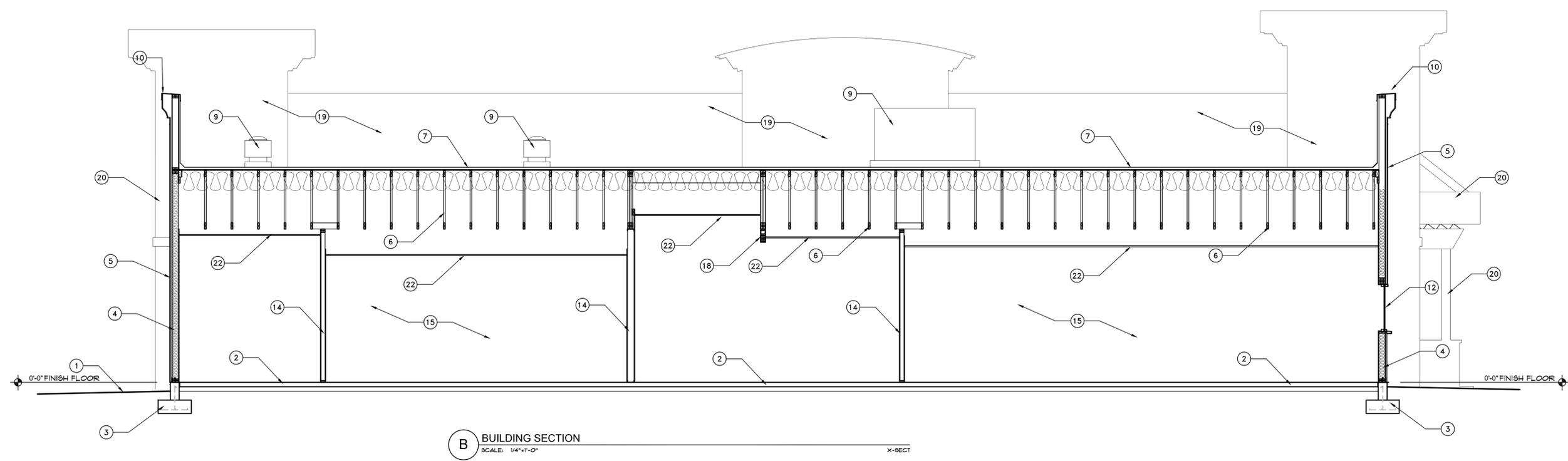
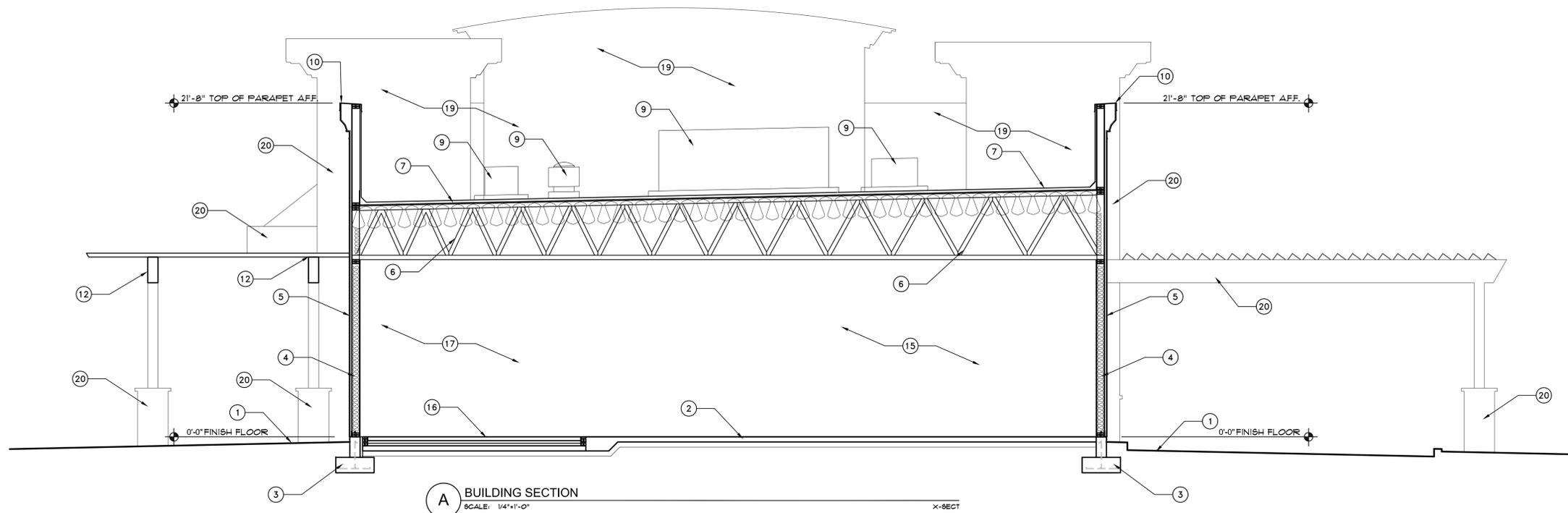
Project Number:

Drawing No:

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SECTION KEYNOTES

- 1 ADJACENT GRADE OR PAVING AS OCCURS PER THE CIVIL AND LANDSCAPE PLANS - SLOPE DOWN AWAY FROM THE BUILDING
- 2 CONCRETE BUILDING SLAB OVER ABC OVER COMPACTED SOILS PER THE STRUCTURAL DRAWINGS AND GEOTECHNICAL REPORT
- 3 CONCRETE FOOTING WITH REINFORCING PER THE STRUCTURAL DRAWINGS
- 4 WOOD STUD WALL PER THE FLOOR PLAN, WALL LEGEND AND STRUCTURAL DRAWINGS
- 5 EXTERIOR FINISH MATERIAL PER THE EXTERIOR ELEVATIONS
- 6 WOOD TRUSSES PER THE STRUCTURAL ENGINEERING DRAWINGS
- 7 ROOFING MATERIAL OVER INSULATION OVER PLYWOOD DECKING OVER WOOD TRUSSES PER THE ROOF PLAN AND STRUCTURAL DRAWINGS
- 8 STANDING SEAM METAL ROOFING OVER INSULATION OVER PLYWOOD SHEATHING OVER STRUCTURAL TRUSSES PER THE EXTERIOR ELEVATIONS, ROOF PLAN AND STRUCTURAL DRAWINGS
- 9 MECHANICAL UNITS AND ROOFING CURBS PER THE ROOF PLAN, MECHANICAL PLAN AND DETAILS
- 10 GALVANIZED METAL WALL CAPS FINISHED PER THE EXTERIOR ELEVATIONS - SEE WALL SECTIONS AND DETAILS
- 11 STEEL WINDOW CANOPIES WITH FINISH PER THE EXTERIOR ELEVATIONS - SEE STRUCTURAL DRAWINGS AND DETAILS
- 12 WINDOWS PER THE WINDOW SCHEDULE ON A6.
- 13 DOOR PER THE DOOR SCHEDULE ON A6.
- 14 INTERIOR WALL PER THE FLOOR PLAN, WALL LEGEND, WALL SHEATHING SCHEDULE, WALL FINISH PLAN AND WALL SECTIONS
- 15 INTERIOR ELEVATION BEYOND
- 16 DEPRESSED CONCRETE SLAB AND WALK-IN COOLER AND FREEZER - SEE STRUCTURAL DRAWINGS AND DETAILS
- 17 WALK-IN COOLER/FREEZER - SEE KITCHEN EQUIPMENT DRAWINGS
- 18 GYPSUM BOARD OVER WOOD STUD BULKHEAD - SEE DETAILS
- 19 BACKSIDE OF PARAPET WALL BEYOND
- 20 EXTERIOR ELEVATION BEYOND
- 21 METAL PATIO / DRIVE THRU CANOPY - SEE DETAILS AND STRUCTURAL DRAWINGS
- 22 SCHEDULED CEILING - SEE REFLECTED CEILING PLAN



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CULVER'S  
 LOCATION: SOUTH CRISMON  
 MESA, ARIZONA

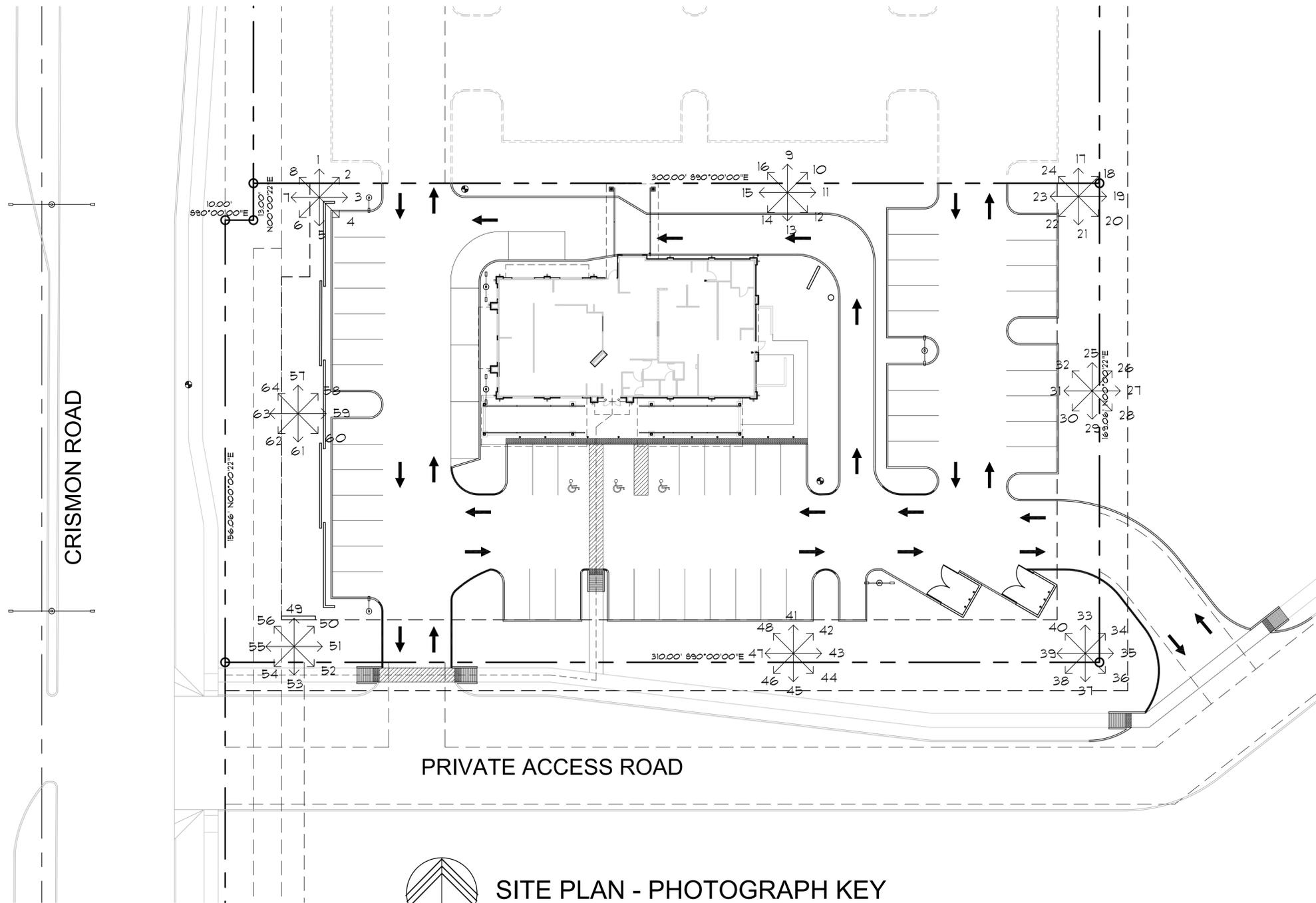


Drawing Name:  
 BUILDING SECTIONS

Revisions  
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Date: 10/30/2015  
 Project Number:  
 Drawing No:

A3.0



CRISMON ROAD

PRIVATE ACCESS ROAD



**SITE PLAN - PHOTOGRAPH KEY**

SCALE: 1" = 20'-0"  
 GRAPHIC SCALE: 1" = 20'-0"

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CULVER'S  
 LOCATION: SOUTH CRISMON  
 MESA, ARIZONA



Drawing Name:

SITE PLAN PHOTOGRAPH KEY  
 Revisions

Date: 03/30/2015

Project Number:

Drawing No:

SP-PK



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



VIEW OF MAIN ENTRY



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

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CULVER'S  
 LOCATION: SOUTH CRISMON  
 MESA, ARIZONA



Drawing Name:  
 RENDERINGS

Revisions

Date: 9/23/2015

Project Number:

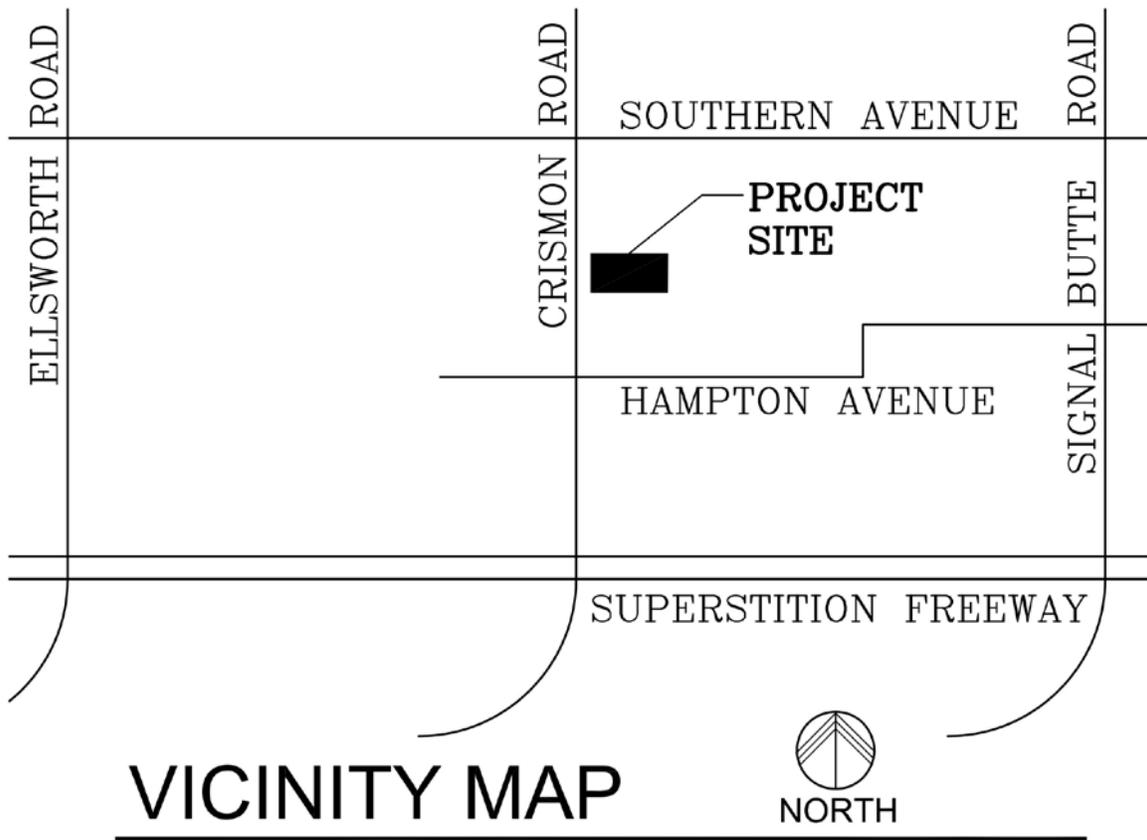
Drawing No:

A-70



**Photographic Exhibit of Existing Site Conditions  
Culver's – South Crismon  
Between I-10 and Southern Ave. on Crismon Road  
Address (To Be Assigned)  
Mesa, AZ**

**APN: To Be Determined with Lot Split of #220-81-745  
City of Mesa Tracking Number (To Be Assigned)**



**VICINITY MAP**

SCALE: N.T.S.

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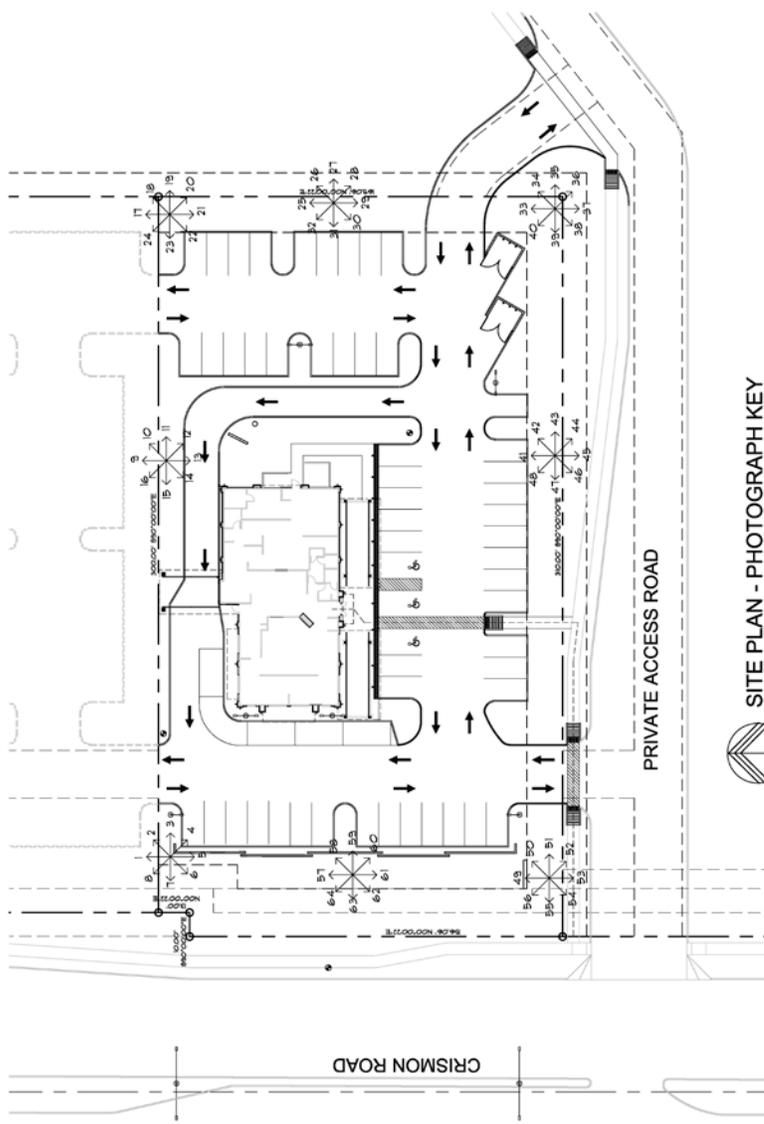
CULYER'S  
 LOCATION: SOUTH CRISMON  
 MESA, ARIZONA



ADDRESS: 1307 NORTH 24TH STREET, SUITE 100, PHOENIX, AZ 85016  
 DRAWING NUMBER: SP-PK  
 DATE: 9/23/08  
 PROJECT NUMBER:  
 DRAWING NO:

DATE: 9/23/08  
 PROJECT NUMBER:  
 DRAWING NO:

SP-PK



**SITE PLAN - PHOTOGRAPH KEY**  
 SCALE: 1" = 20'-0"  
 GRAPHIC SCALE: 1" = 20'-0"



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