



Board of Adjustment

Staff Report

CASE NUMBER: BA15-013
LOCATION/ADDRESS: 610 W. Jerome
COUNCIL DISTRICT: District 3
PLANNER: Lisa Davis
OWNER: Hacienda Healthcare
APPLICANT: SmithCraft- Alissa Felker

REQUEST: Requesting a Special Use Permit for a Comprehensive Sign Plan in the LI-BIZ zoning district. (PLN2015-00116)

SUMMARY OF APPLICANT'S REQUEST

This request is for approval of a Special Use Permit for a Comprehensive Sign Plan for the Hacienda Children's Hospital. The Hacienda Children's Hospital is a facility for chronically ill and medically fragile children specializing in acute and sub-acute care for premature infants, multiple babies, children, and teens. It is intended to offer a lower cost alternative for inpatient medical care, rehabilitation, and respiratory equipment training and education of family members. The proposed Comprehensive Sign Plan (CSP) consists of a total of three signs, two attached and one detached. One of the two proposed attached signs, Sign A, is proposed to exceed the allowed maximum of 160 square feet (SF) of allowed sign area. Sign A is proposed to be located at the east side of the building.

STAFF RECOMMENDATION

Staff recommends **approval** of case BA15-013, *conditioned upon the following:*

1. *Compliance with the Comprehensive Sign Plan submitted.*
2. *Compliance with all requirements of the Development Services Division.*

SITE CONTEXT

CASE SITE: Hospital under construction, zoned LI-BIZ
NORTH: Existing industrial use – zoned LI
EAST: Existing City of Mesa retention basin- Zoned LI
SOUTH: Existing industrial use – zoned LI
SOUTHEAST: Existing grocery store and group commercial center –zoned GC
WEST: Existing industrial use – zoned LI

STAFF SUMMARY AND ANALYSIS:

Building size: 20,900 SF
Lot size: 1.8± acre

The two-story Hacienda Children's Hospital is currently under construction. The 1.8± acre site is located north of Baseline Road just west of Country Club Drive, lot 2 of East Gate Business Park. Council approved the modification to the LI-BIZ zoning and site plan for the specialty hospital on July 1, 2014 (Z14-026).

The proposed Comprehensive Sign Plan (CSP) is for the Hacienda Children's Hospital. The CSP proposes two attached, signs A & B, and one detached sign, sign C. Sign A is proposed as the largest attached sign at 240 SF and is proposed to be placed at the east side of the building. This sign exceeds the maximum allowed area of 160 SF for a single sign. Sign B is proposed to meet the maximum allowable area of 160 SF. Based on the overall frontage of the hospital structure at 224' along Jerome, this project would be allowed a maximum of three attached signs with a maximum size of 160 SF each, totaling 480 SF. Therefore the proposed overall attached sign area, 400 SF, is below what is allowed per the zoning ordinance. The Zoning Ordinance allows for the establishment of sign criteria that is tailored to a specific development to provide for flexible sign criteria to promote superior design. This project is clearly of superior design.

Sign B is proposed to be located at the west elevation and will not exceed the allowed 160 SF of sign area. Both signs A and B are proposed to be face illuminated letters with no exposed raceways. Sign A will have perforated vinyl on the letters which allows the letter color to be visible during the day and at night the letters will light as white.

See examples below from Banner Hospital:



The design of the monument structure for Sign C, the detached sign, is consistent in color and materials to the building. Placement of the monument structure is proposed at the eastern portion of the street frontage along Jerome Avenue. The structure is proposed to have a 14.8 SF sign on each side which is considered one sign. Based on the width of the street frontage at 376 feet, the maximum detached sign would be allowed at 80 SF with a maximum height of 12'. The proposed monument structure height is less than 8' and the detached sign will total less than 15 SF. This is much less than is allowed by Code.

Attached Signs

Sign description	Number allowed	Number Proposed	Area Allowed	Area Proposed
Sign A and B	3	2	480 SF	400 SF

Total Proposed Attached Sign Area: 400 square-feet

Detached Signs

Sign description	Number Proposed	Proposed Height	Ordinance Allowed Height	Proposed total area	Area Allowed
Sign C	1	8'	12'	14.8 SF	80 SF

Total Proposed Detached Sign Area: 14.8 square-feet

FINDINGS:

- 1.1 The Zoning Code would allow an aggregate total of 480 square feet of sign area for each of the three attached signs based on the 224' of frontage of the building. An aggregate total of 400 square feet of attached sign area is proposed with two signs. The aggregate sign area is less than is allowed by code;
- 1.2 The Zoning Code would allow an aggregate total of three attached signs, the applicant is proposing two attached signs. The number of signs proposed is less than is allowed by Code;
- 1.3 The scale and placement of the two attached signs is proportional and works well with the overall architectural design of the building. The project is of superior design and requires specific sign criteria tailored to meet the needs of the development;
- 1.4 No detached sign will exceed 12 feet in height or 80 square feet in sign area. The applicant is proposing a monument structure that is less than 8' in height and the sign total less than 15 SF. The detached sign area and height are much less than would be allowed by Code. Based on all of the findings listed above, the additional attached sign area for the project is justified.

ORDINANCE REQUIREMENTS:

Zoning Ordinance, Section 11-41-8 (D) – Supplemental Provisions:

11. Residential subdivisions may display permanent entry identification signs provided such signs:
 - a. Are limited to one (1) wall-mounted sign on each side of said entry; and
 - b. Shall not exceed 12 square feet in area per sign; and
 - c. Shall consist of low-maintenance materials such as metal or ceramic tile; and
 - d. Shall be located on private property, not within the public right-of-way.

13. A Comprehensive Sign Plan for a proposed or existing development/building may be approved by the Zoning Administrator/Board of Adjustment in conjunction with the granting of a Special Use Permit under Title 11, Administration and Procedures Chapter of the Mesa City Code. The purpose of a Comprehensive Sign Plan is to provide for the establishment of signage criteria that are tailored to a specific development or location, and which may vary from specific Ordinance provisions. The intent is to provide for flexible sign criteria that promote superior design through architectural integration of the site, buildings and signs.

A Comprehensive Sign Plan shall include the location, size, height, construction material, color, and type of illumination and orientation of all proposed signs, either permanent or temporary.

A Comprehensive Sign Plan containing elements which exceed the permitted height, area and number of signs specified in this Chapter may be approved by the Zoning Administrator/Board of Adjustment only upon a finding that:

- (a) The development site contains unique or unusual physical conditions, such as topography, proportion, size or relation to a public street that would limit or restrict normal sign visibility; or
- (b) The proposed or existing development exhibits unique characteristics of land use, architectural style, site location, physical scale, historical interest or other distinguishing features that represent a clear variation from conventional development; or
- (c) The proposed signage incorporates special design features such as logos, emblems, murals or statuary that are integrated with the building architecture.

The construction and placement of individual signs contained in the approved Comprehensive Sign Plan shall be subject to the issuance of sign permits in accordance with 11-19-8(E).

Hacienda

Children's Hospital c.s.p.

MARCH 201

Hacienda Children's Hospital Comprehensive Sign Plan Narrative

Introduction

Contained within this document are the location, size, and materials for the Hacienda Children's Hospital exterior signage. Every attempt has been made to ensure a unified and consistent appearance for the entire project and will not be detrimental to surrounding properties. All signage within this project will be subject to review and approval by Hacienda Healthcare and will be permitted as required by the City of Mesa.

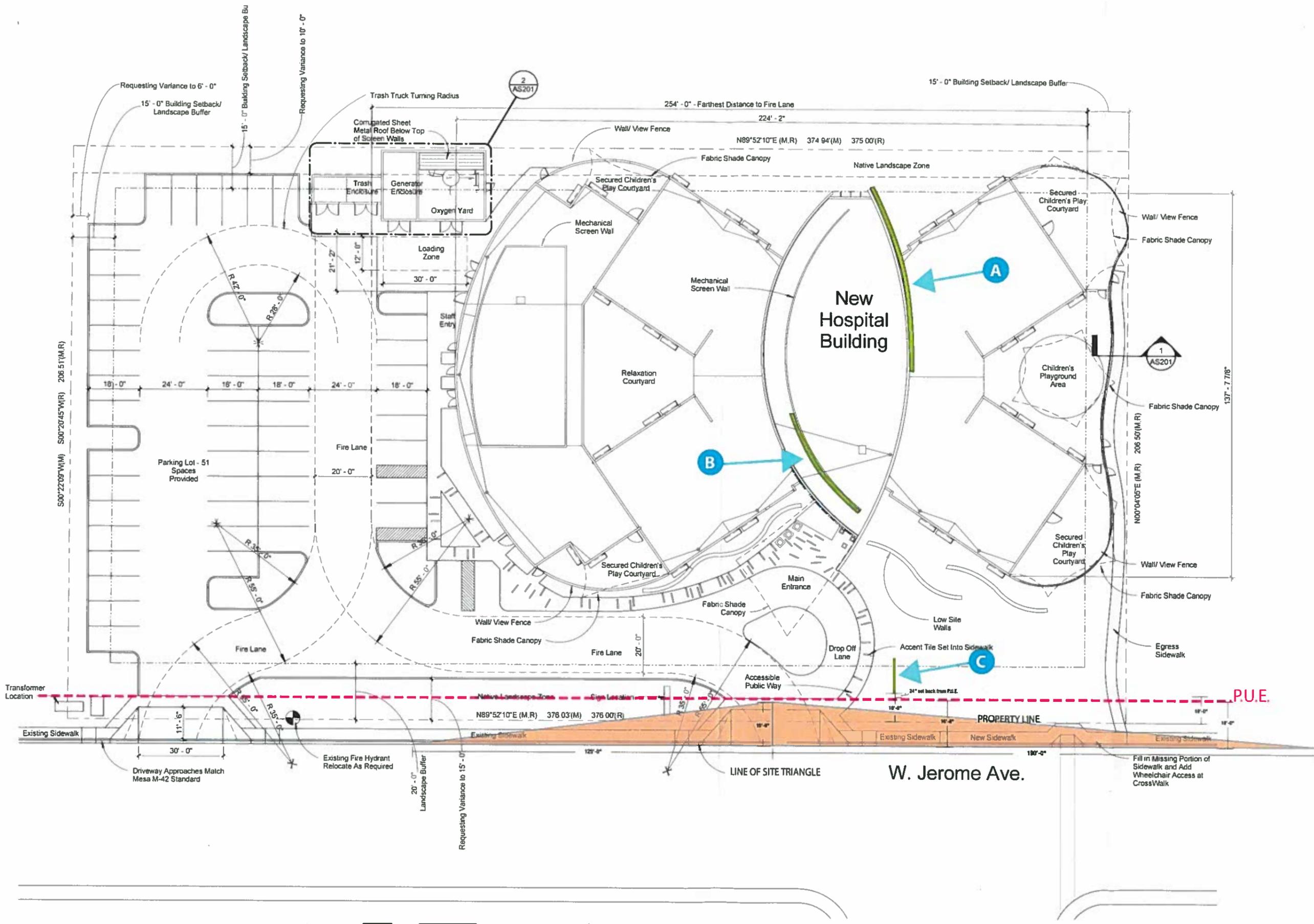
Justification

The purpose of the proposed CSP is to allow additional square footage for a wall sign located on the East Elevation. The viewing distance for vehicular traffic is much greater at this location due to a large drainage retention area.

Hacienda Children's Hospital - Sign Matrix

Type	Name	Sq. Ft.	Location	Qty
A	Primary Building mounted Identity	240	East Elevation	1
B	Secondary Building mounted Identity	160.3	West Elevation	1
C	Monument Identity	14.8	610 W. Jerome Ave.	1





1 SITE PLAN

3643 South 7th Street
 Phoenix, AZ 85040.1130
 602.268.1349 Office
 602.268.1369 Facsimile

Smithcraft
 CUSTOM SIGNS & GRAPHICS

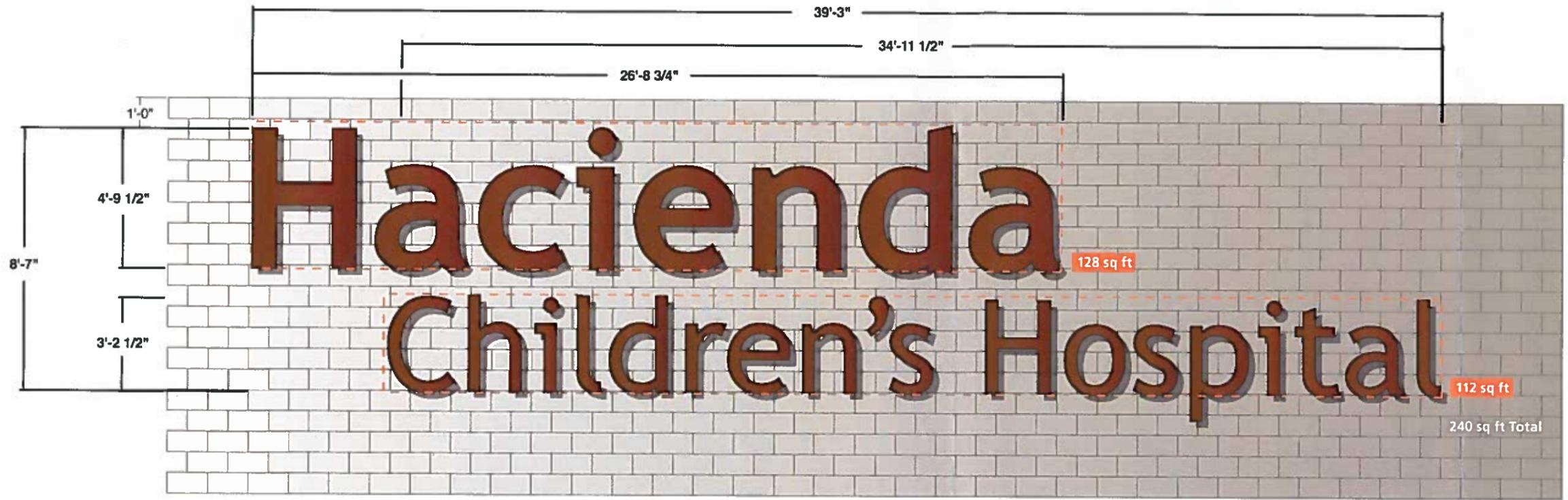
HACIENDA CHILDREN'S
 Exterior Sight Plan
 Install Address: 610 W. Jerome Ave. Mesa AZ 85210

REP: A.Felker
 BY: S.Hensley
 DATE: 03/26/
 REV: 00/00/0

SPEC NO.
 0000000
 JOB NO.
 15-03021

SIGN TYPE
 SIGN LOCAL
 PLAN

SHEET
 1.0



primary building mounted identity | elevation | scale: 1/4" = 1'-0"

option 1

A - face illuminated with perforated vinyl



primary building mounted identity | elevation | scale: 3/32" = 1'-0"

option 1

SmithCraft
CUSTOM SIGNS & GRAPHICS

3643 South 7th Street
Phoenix, AZ 85040.1130
602.268.1349 Office
602.268.1369 Facsimile

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REP: A. Felker
BY: K. Laber
DATE: 01/20/15
REV: 03/27/15

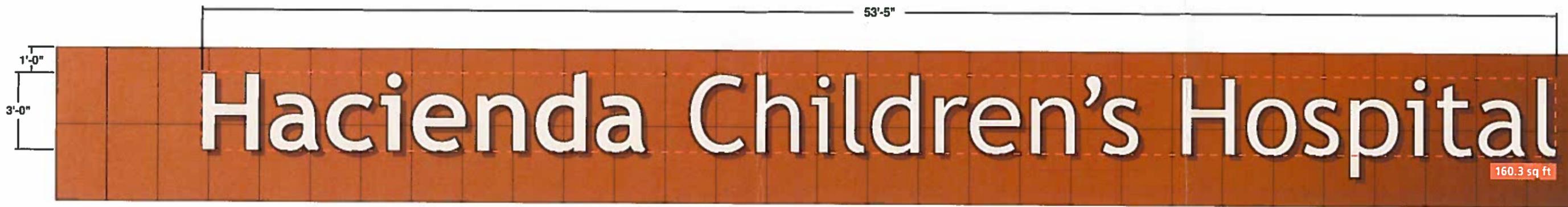
SPEC NO. AF12176
JOB NO. 15-030212

HACIENDA CHILDREN'S HOSPITAL
Design - Exterior Signage
Install Address: 610 W. Jerome Ave., Mesa, AZ 85210

SIGN TYPE
PRIMARY
BLDG MTD ID

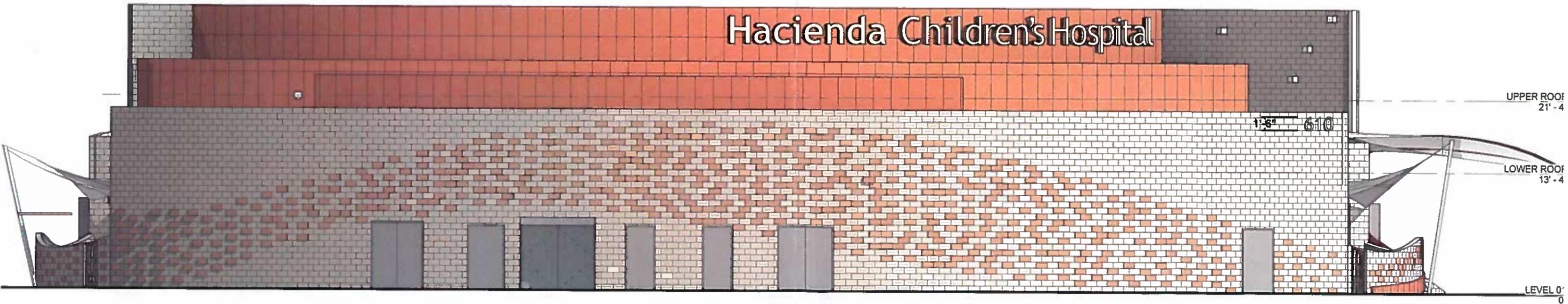
SHEET
2.0

BA15-013



secondary building mounted identity | elevation | scale: 1/4" = 1'-0"

B- face illuminated with white translucent acrylic



secondary building mounted identity | elevation | scale: 3/32" = 1'-0"

SmithCraft
CUSTOM SIGNS & GRAPHICS

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REP: A. Felker
BY: K. Laber
DATE: 01/20/15
REV: 02/04/15

SPEC NO.
AF12176
JOB NO.
15-030212

HACIENDA CHILDREN'S HOSPITAL
Design - Exterior Signage
Install Address: 610 W. Jerome Ave., Mesa, AZ 85210

SIGN TYPE
SECONDARY
BLDG MTD ID

SHEET
3.0

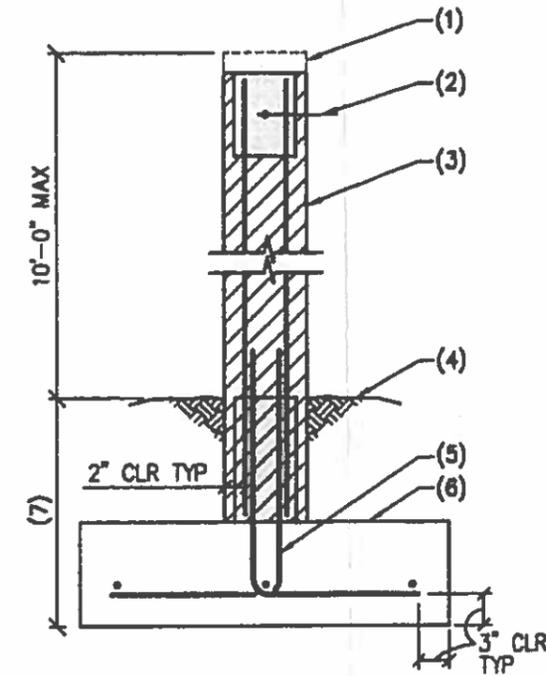
BA-15-013



plan view



identity monument | elevation | scale: 1/2" = 1'-0"



NOTES:

1. TOP OF FINISHED WALL AS OCCURS.
2. 1 #5 CONTINUOUS IN 8" DEEP GROUTED BOND BEAM.
3. 8" MASONRY WALL WITH #5 VERTS AT 24" O.C. EACH FACE AND HORIZONTAL REINFORCING PER G.S.N. - GROUT SOLID BELOW GRADE.
4. FINISHED GRADE OR TOP OF PAVING AS OCCURS.
5. DOMELS TO MATCH AND LAP VERTICAL WALL REINFORCING PER G.S.N. - OVERLAP BENDS.
6. 3'-3" WIDE X 10" THICK MIN CONCRETE FOOTING WITH 3 #5 CONTINUOUS.
7. FOR DEPTH OF FOOTING, SEE G.S.N.

302 10'-0" MAX: 8" MASONRY FREE-STANDING WALL FOOTING
 WIND = 90 MPH, EXP. 'C' 198-214 NO SCALE

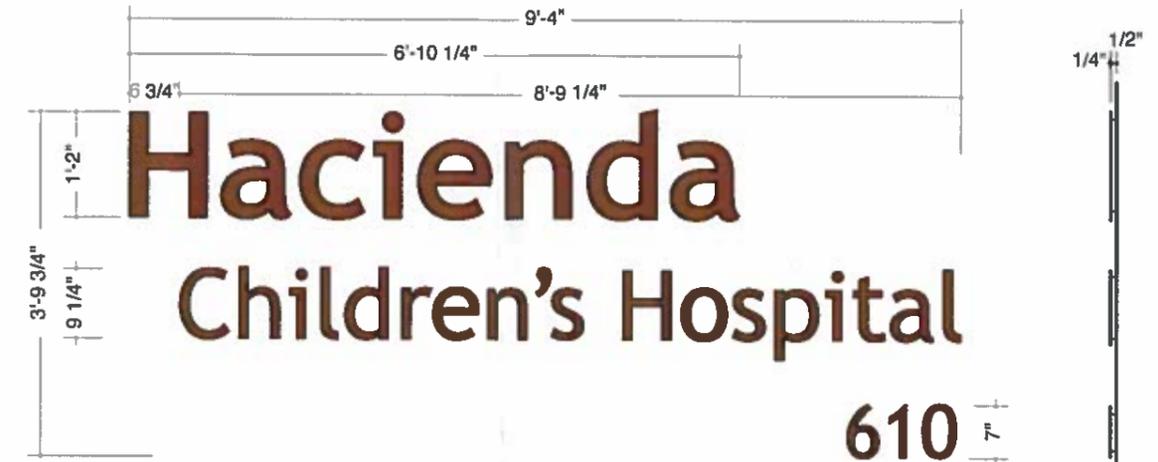
C - ground illuminated

Manufacture and Install Two (2) sets of FCO Letters on One (1) D/F CMU Block Wall

Specifications:

CMU Block wall provided by others to match existing masonry on site.

- Fabricate 1/4" force rusted steel FCO's, no clear coat.
- Mount to CMU Block wall with 1/2" stand-off.



Letter Elevation | scale: 1/2" = 1'-0"

Side View

BA 15-013