

PRELIMINARY IMPROVEMENT PLANS

ARIZONA TEST SITE:

7930 E. GERMANN ROAD, MESA, AZ

APN: 304-61-009D

SOLAR ELECTRIC SYSTEM PROJECT



PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT LOCATION:



PROJECT SCOPE:

SOLAR ELECTRIC SYSTEM FOR RESEARCH AND DEVELOPMENT
 THE PROJECT ENTAILS THE INSTALLATION OF A TEST SOLAR PHOTOVOLTAIC SYSTEM AT THE PROJECT SITE. THE SYSTEM WILL HAVE THE CAPABILITY TO BE A NET ELECTRICITY EXPORTER TO THE UTILITY GRID.
 THE INSTALLATION CONSISTS OF NEW FIXED TILT, SINGLE-AXIS TRACKING, AND DUAL-AXIS TRACKING PHOTOVOLTAIC SYSTEMS; EQUIPMENT PADS; ONSITE ACCESS ROADS; AND STREET IMPROVEMENTS .

PROJECT TEAM:

DESIGN ENGINEERING FIRM
 BLUE OAK ENERGY
 1560 DREW AVENUE
 DAVIS, CA 95618
 CONTACT: RALPH DAMEROW
 TEL: (530) 747-2026 EXT. 243

CIVIL ENGINEER
 BLUE OAK ENERGY
 1560 DREW AVENUE
 DAVIS, CA 95618
 CONTACT: SAM LAUGHLIN, PE
 TEL: (530) 747-2026 EXT. 227

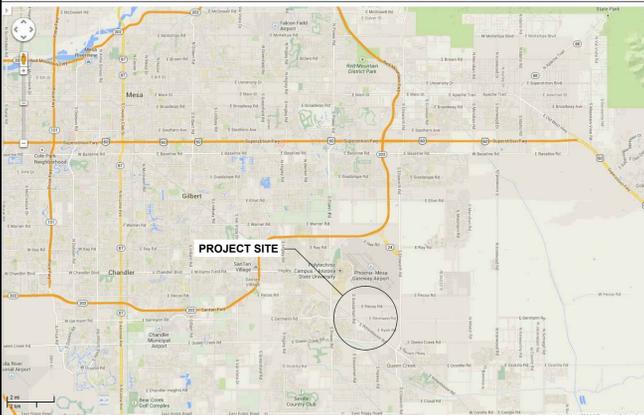
DRAWING INDEX:

DWG NO.	TITLE	REV NO.
C-001	TITLE SHEET	
C-101	EXISTING SITE PLAN	
C-111	MASTER IMPROVEMENT PLAN	
C-112	DETAILS AND CROSS SECTIONS	
C-121	CONSTRUCTION PHASING PLAN	
W-401	EQUIPMENT PLAN & ELEVATIONS	

WORK TO BE DONE:

ALL WORK TO BE DONE SHALL BE IN ACCORDANCE WITH THE CITY OF MESA TRANSPORTATION PLAN, OFF-SITE IMPROVEMENT REGULATIONS, PUBLIC STREET ACCESS GUIDELINES, ENGINEERING & DESIGN STANDARDS, SUBDIVISION REGULATIONS, AND STANDARD DETAILS AND SPECIFICATIONS.

STREET MAP:



AERIAL VIEW:



- INTERNAL USE ONLY -

DRAWN	CHKD	P.L.	DATE	BY	PRINTED	DATE	DESCRIPTION

PROJECT: SUP SPR CIVIL IMP PLANS.dwg
 FILE NAME: 08042014
 PROJECT #: 08042014

PROJECT: ARIZONA TEST SITE
 7930 E GERMANN ROAD, MESA, AZ
 85242
 DRAWING TITLE: TITLE SHEET

DRAWING NO. C-001

BDE - ARCH/D SIZE - 24"x36" (V2) © Blue Oak Energy, Inc.

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PRELIMINARY

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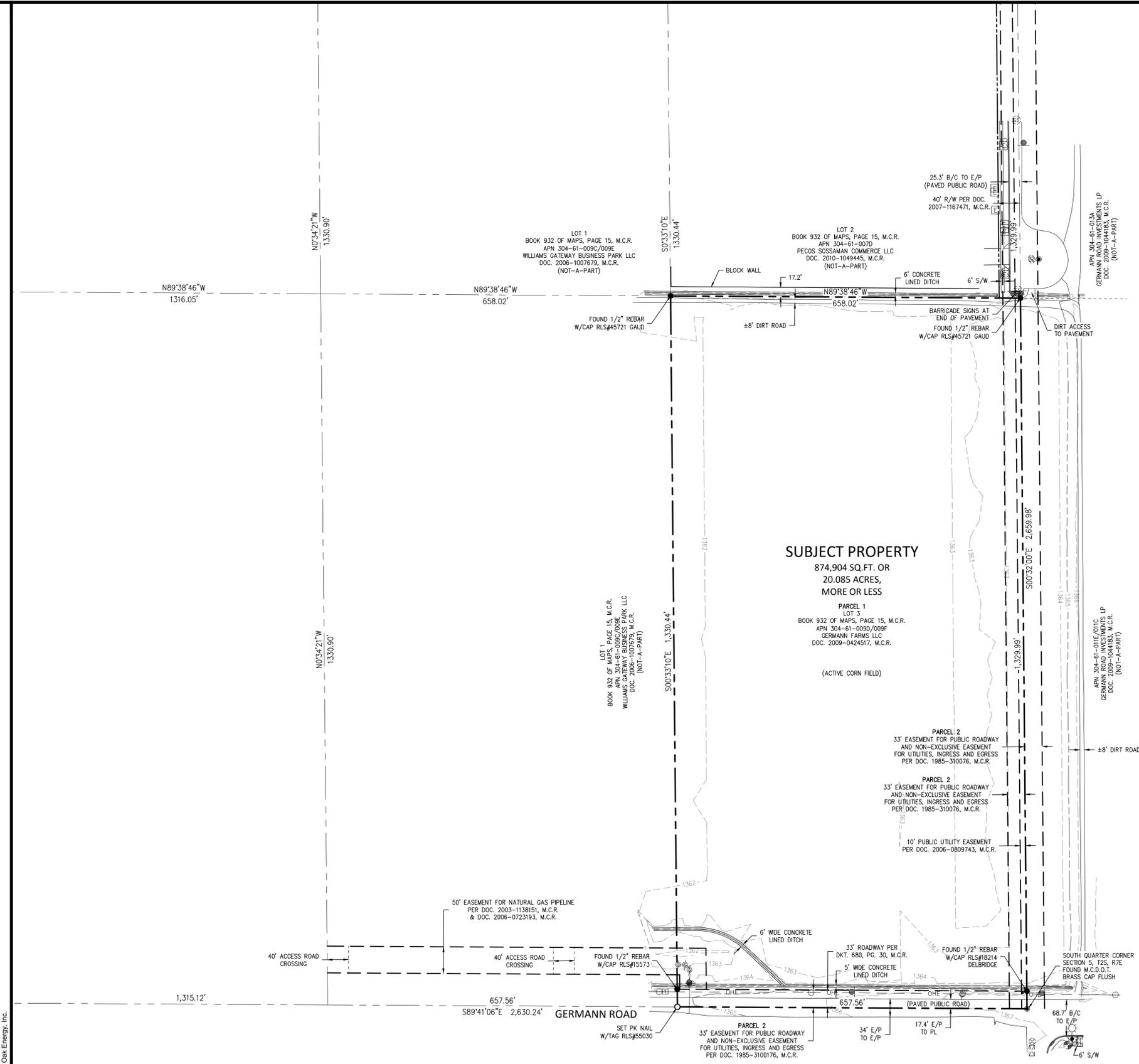
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DRAWN:	JRS
CHKD:	SPL
P.L.:	RD
PROJECT #:	
FR: 14.003	
FILE NAME:	SHPSR CIVIL IMP PLANS.dwg
DATE:	08/04/2014
BY:	PRINTED

PROJECT: **ARIZONA TEST SITE**
 7930 E GERMANN ROAD, MESA, AZ 85242

DRAWING TITLE: **EXISTING SITE PLAN**

DRAWING NO. **C-101**



BENCHMARK
 CITY OF MESA BENCHMARK
 BRASS TAG IN BRIDGE AT THE N.W. CORNER OF SOSSAMAN AND GERMANN
 ELEV=1356.84 (NAVD88)

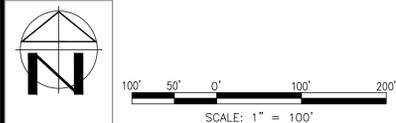
LEGEND

- FOUND BRASS CAP IN HAND HOLE AS NOTED
- FOUND BRASS CAP FLUSH AS NOTED
- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- ⊕ POWER POLE
- ⊞ ELECTRIC JUNCTION BOX
- ⊙ STREET LIGHT
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊞ TELEPHONE RISER
- ⊞ CABLE RISER
- ⊙ GAS LINE MARKER
- ⊙ SIGN
- ⊙ HEADWALL
- ⊙ ENCROACHMENT #
- ⊙ SCHEDULE "B" ITEM #
- PL PROPERTY LINE
- R/W RIGHT OF WAY
- M.C.R. MARICOPA COUNTY RECORDS
- M.C.D.O.T. MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION
- B/C BACK OF CURB
- E/P EDGE OF PAVEMENT
- S/W SIDEWALK
- SUBJECT PROPERTY
- SECTION LINE
- - - - - PARCEL LINE
- - - - - EASEMENT LINE
- - - - - RIGHT OF WAY LINE
- ⊙ NATURAL GAS LINE BLUESTAKE
- OHE OVER HEAD ELECTRIC LINE
- - - - - 1365 - - - - - CONTOURS (MAJOR)
- - - - - 1364 - - - - - CONTOURS (MINOR)

SURVEY NOTE:

- THE INFORMATION SHOWN HEREON IS BASED ON A TOPOGRAPHIC SURVEY PREPARED FOR AN ALTA/ACSM LAND TITLE SURVEY KNOWN AS "GERMANN FARMS 15", BOWMAN CONSULTING GROUP, LTD.; PHONE: (480) 629-8830.

BDE - ARCH D SIZE - 24"x36" (V2) © Blue Oak Energy, Inc.



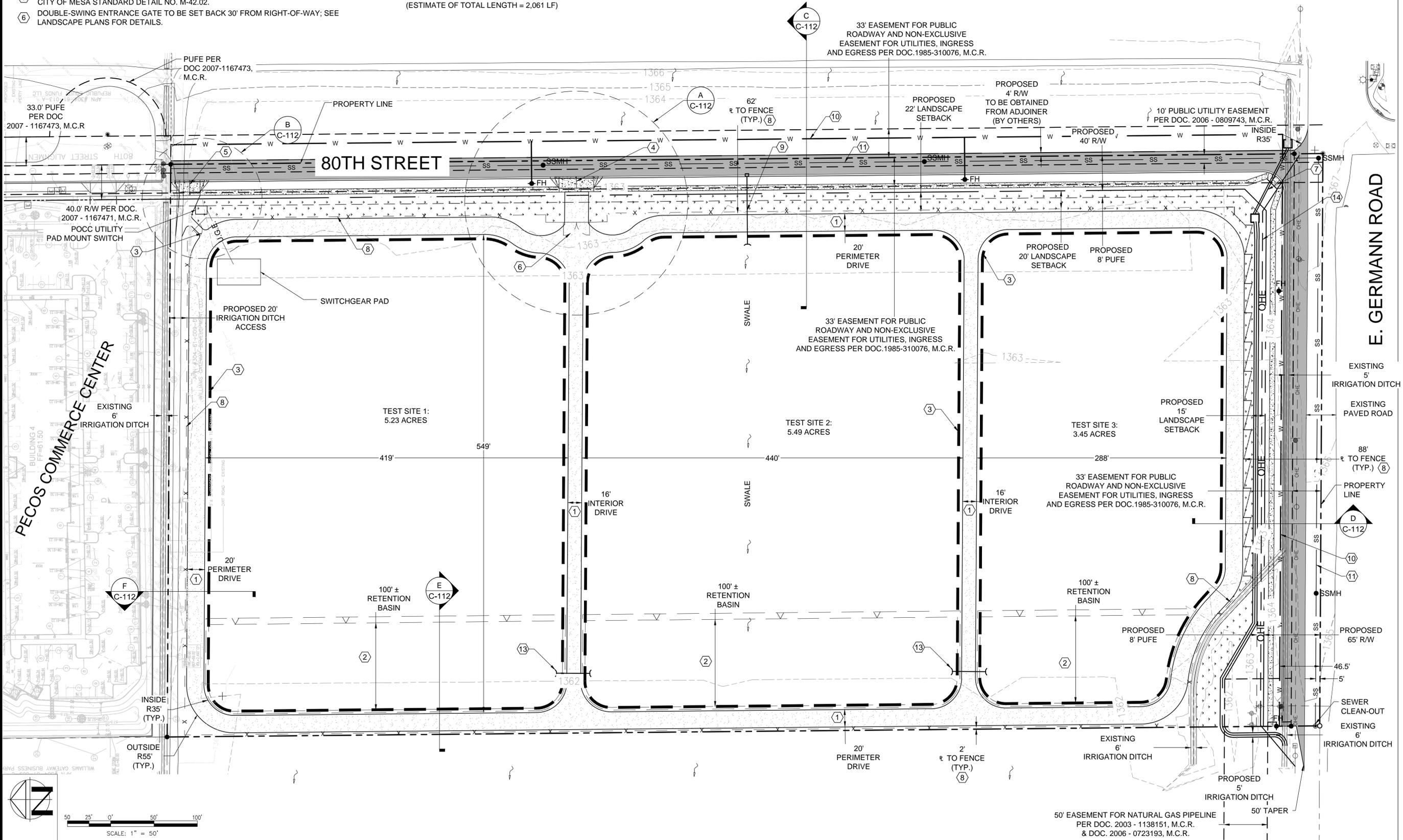
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CONSTRUCTION NOTES:

- ① ONSITE DRIVE TO HAVE 8" AGGREGATE BASE SURFACING PER FIRE LANE OPTION #1, MESA FIRE DEPT. DETAIL FPD 503.2.3.
- ② 12"-DEEP RETENTION BASINS TO BE COMPLETED AT PHASE 1 (THREE BASINS, TOTAL AREA = 2.27 ACRES). THE FINAL STORM WATER MITIGATION DESIGN TO BE DETERMINED DURING THE DETAILED DESIGN AND CONSTRUCTION PERMITTING PROCESS.
- ③ HEAVY DASHED LINES DELINEATE LIMITS OF SOLAR ARRAY TEST SITE CONSTRUCTION, IN THREE PHASES SEPARATED BY INTERIOR DRIVES.
- ④ CONSTRUCT 40'-WIDE INDUSTRIAL DRIVEWAY WITH DETACHED SIDEWALK, PER CITY OF MESA STANDARD DETAIL NO. M-42.
- ⑤ CONSTRUCT 24'-WIDE RESIDENTIAL DRIVEWAY WITH DETACHED SIDEWALK, PER CITY OF MESA STANDARD DETAIL NO. M-42.02.
- ⑥ DOUBLE-SWING ENTRANCE GATE TO BE SET BACK 30' FROM RIGHT-OF-WAY; SEE LANDSCAPE PLANS FOR DETAILS.

- ⑦ CONSTRUCT 24" CULVERT (SIZE TO BE VERIFIED AT FINAL DESIGN), AS REQUIRED FOR 80TH STREET CROSSING OF EXISTING IRRIGATION DITCH; ALONG GERMANN ROAD FRONTAGE, DITCH TO BE RELOCATED OUT OF PROPOSED R/W & P.U.F.E. AND INTO LANDSCAPE SETBACK AREA.
- ⑧ SEE LANDSCAPE PLANS FOR LAYOUT AND DETAILS OF TUBULAR STEEL AND SCREEN FENCING.
- ⑨ PLACE CATCH BASIN & CULVERT TO ALLOW 80TH STREET AND OFF-SITE RUNOFF TO BE DIRECTED INTO SWALE FLOWING WEST TO PROPOSED RETENTION BASINS. THE FINAL STORM WATER MITIGATION DESIGN TO BE DETERMINED DURING THE DETAILED DESIGN AND CONSTRUCTION PERMITTING PROCESS.
- ⑩ CONSTRUCT 12"-DIAMETER DUCTILE-IRON WATER MAIN PIPE IN 80TH STREET AND EAST GERMANN ROAD FRONTAGES, INCLUDING A TOTAL OF FOUR FIRE HYDRANTS. CONNECT TO EXISTING 12" PIPE STUB AT NORTHEAST CORNER OF SITE. (ESTIMATE OF TOTAL LENGTH = 2,061 LF)

- ⑪ CONSTRUCT 8"-DIAMETER PVC SANITARY SEWER COLLECTOR PIPE IN 80TH STREET AND EAST GERMANN ROAD FRONTAGES, INCLUDING FOUR SEWER MANHOLES AND ONE SEWER CLEAN-OUT. CONNECT TO EXISTING 8" PIPE STUB AT NORTHEAST CORNER OF SITE. (ESTIMATE OF TOTAL LENGTH = 1,978 LF)
- ⑫ CONSTRUCT 10' SINGLE-SWING GATE. SEE LANDSCAPE PLANS FOR DETAILS.
- ⑬ PLACE CULVERT TO CONNECT RETENTION BASINS.
- ⑭ RELOCATION OF POWER LINE AND POWER POLES TO BE DETERMINED.



BLUE OAK ENERGY
 1560 Drew Avenue
 Davis, CA 95618
 www.blueoakenergy.com
 530.747.2026

CLIENT:
First Solar
 350 W. WASHINGTON ST., STE 600
 TEMPE, AZ 85281

PRELIMINARY
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INTERNAL USE ONLY

DRAWN:	JRS
CHKD:	SPL
P.L.:	RD
PROJECT #:	FR14-003
FILE NAME:	SUP_SPHR_CIVIL_IMP_PLANS.dwg
DATE:	08/04/2014
DATE:	PRINTED
DATE:	08/04/2014
DESCRIPTION:	

PROJECT: **ARIZONA TEST SITE**
 7950 E GERMANN ROAD, MESA, AZ 85242

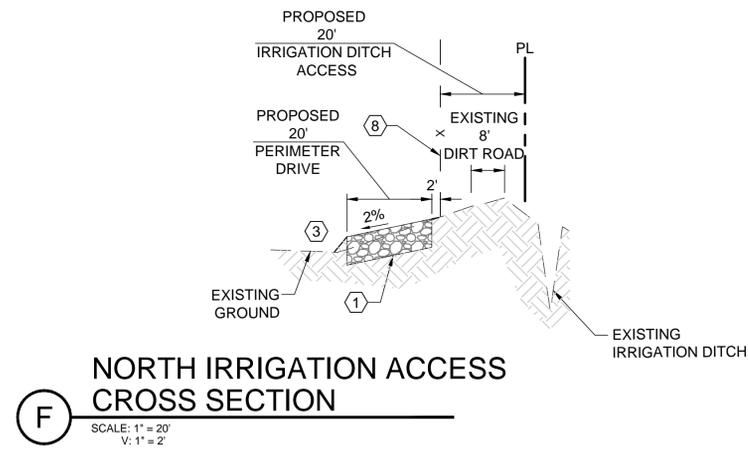
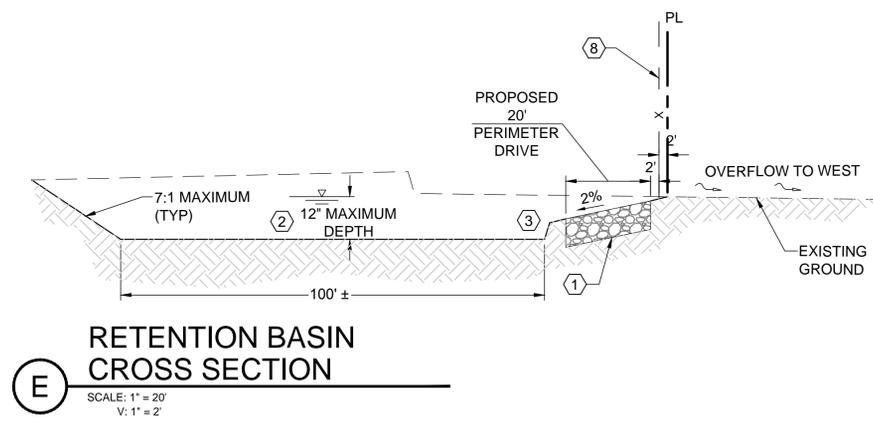
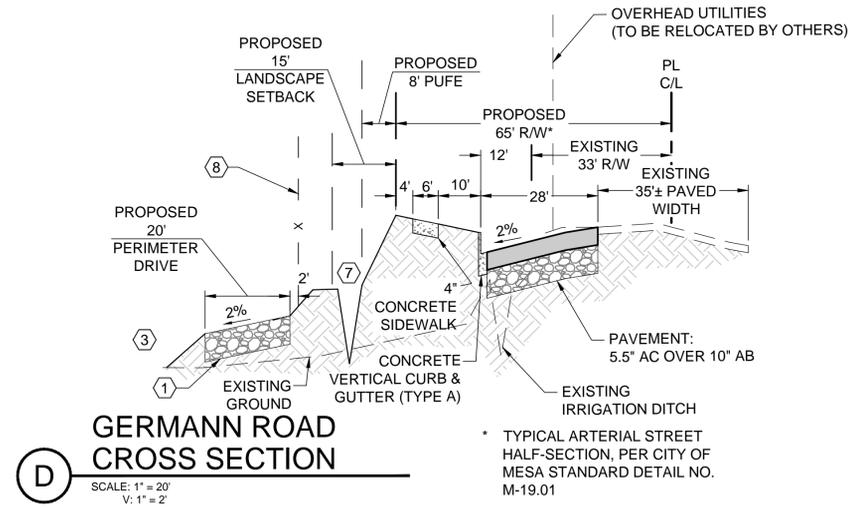
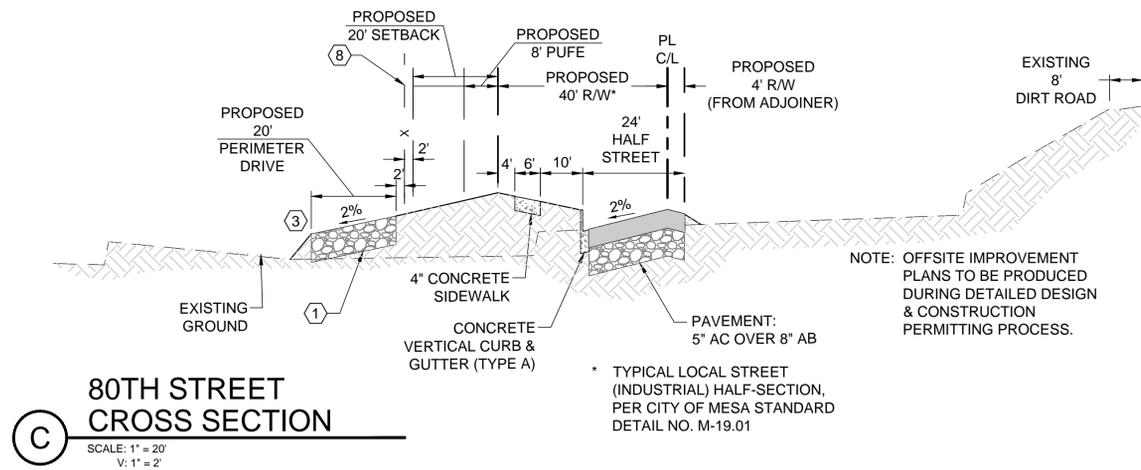
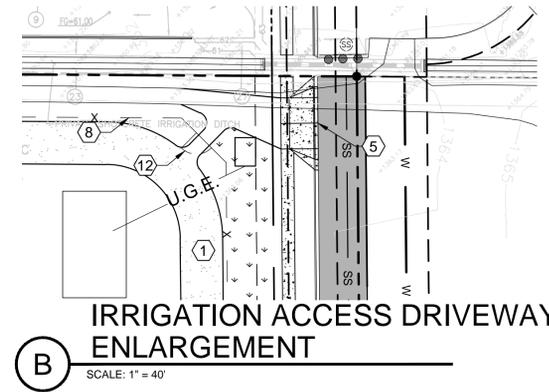
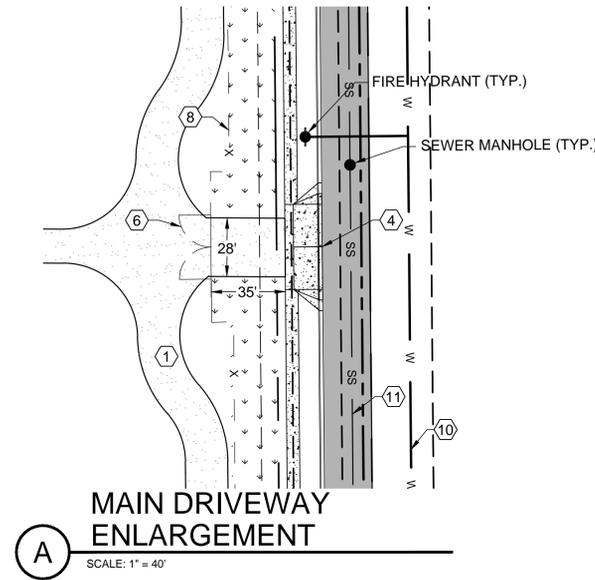
DRAWING TITLE: **MASTER IMPROVEMENT PLAN**

DRAWING NO.: **C-111**

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- ③ (NOT USED)
- ④ CONSTRUCT 40'-WIDE INDUSTRIAL DRIVEWAY WITH DETACHED SIDEWALK, PER CITY OF MESA STANDARD DETAIL NO. M-42.
- ⑤ CONSTRUCT 24'-WIDE RESIDENTIAL DRIVEWAY WITH DETACHED SIDEWALK, PER CITY OF MESA STANDARD DETAIL NO. M-42.02.
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- ⑧ SEE LANDSCAPE PLANS FOR LAYOUT AND DETAILS OF TUBULAR STEEL AND SCREEN FENCING.
- ⑨ (NOT USED)
- ⑩ CONSTRUCT 12"-DIAMETER DUCTILE-IRON WATER MAIN PIPE IN 80TH STREET AND EAST GERMANN ROAD FRONTAGES, INCLUDING A TOTAL OF FOUR FIRE HYDRANTS. CONNECT TO EXISTING 12" PIPE STUB AT NORTHEAST CORNER OF SITE. (ESTIMATE OF TOTAL LENGTH = 2,061 LF)
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- ⑫ CONSTRUCT 10' SINGLE-SWING GATE. SEE LANDSCAPE PLANS FOR DETAILS.
- ⑬ (NOT USED)



PRELIMINARY

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DRAWN: JRS	DATE: 08/04/2014
CHKD: SPL	BY: PRINTED
P.L.: RD	FILE NAME: 08042014
PROJECT #: FR1-14-003	DATE: 08/04/2014
FILE NAME: SHIP SPR CIVIL IMP PLANS.dwg	DATE: 08/04/2014
DESCRIPTION	DATE

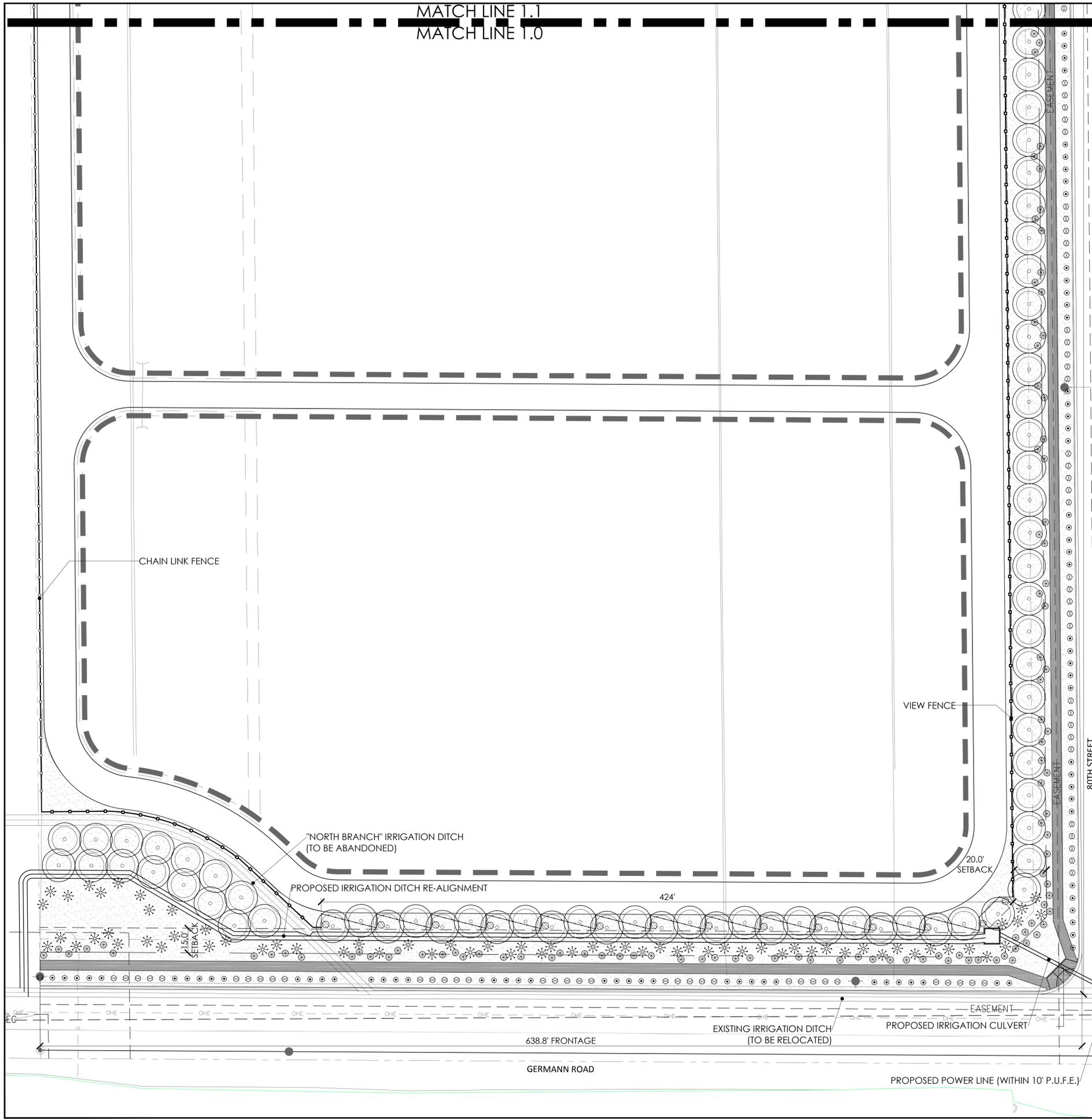
PROJECT: ARIZONA TEST SITE
7950 E GERMANN ROAD, MESA, AZ 85242

DRAWING TITLE: DETAILS AND CROSS SECTIONS

DRAWING NO. C-112

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MATCH LINE 1.1
MATCH LINE 1.0



PLANT LEGEND

TREES			
	PARKINSONIA 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE SINGLE TRUNK	24" BOX 1.5" CAL 100
SHRUBS AND ACCENTS			
	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	5 GAL. 14
	DASYLIRION LONGISSIMA	DESERT SPOON	5 GAL. 67
	HESPERALOE PARVIFLORA	RED/YELLOW YUCCA	5 GAL. 148
GROUNDCOVER			
	LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA	3 GAL. 116
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	3 GAL. 113
INERT			
2" DEEP 3/4" MIN. SCREENED DECOMPOSED GRANITE ARMOR COLOR BY GRANITE EXPRESS			80,311 S.F.

PLANT REQUIREMENT SCHEDULE

TYPE	REQUIREMENT	STREET FRONTAGE	REQUIRED PROVIDED		% - MIN. SIZE
			REQUIRED	PROVIDED	
TREES	4/100LF	1905 LF	76	100	100% - 24" BOX
SHRUBS	24/100LF	1905 LF	457	458	50% - 5 GAL.

FENCE SCHEDULE

TYPE	APPROXIMATE LINEAR FOOTAGE
VIEW FENCE	1,390 LF
CHAIN LINK FENCE	1,733 LF
DECORATIVE SCREEN WALL	424 LF

*NOTE: DUST CONTROL TO BE ACHIEVED BY....

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 land planning • development entitlements • landscape architecture
 phone: 480.994.0994
 1700 south asch avenue
 tempe, arizona 85281
 fax: 480.994.7332
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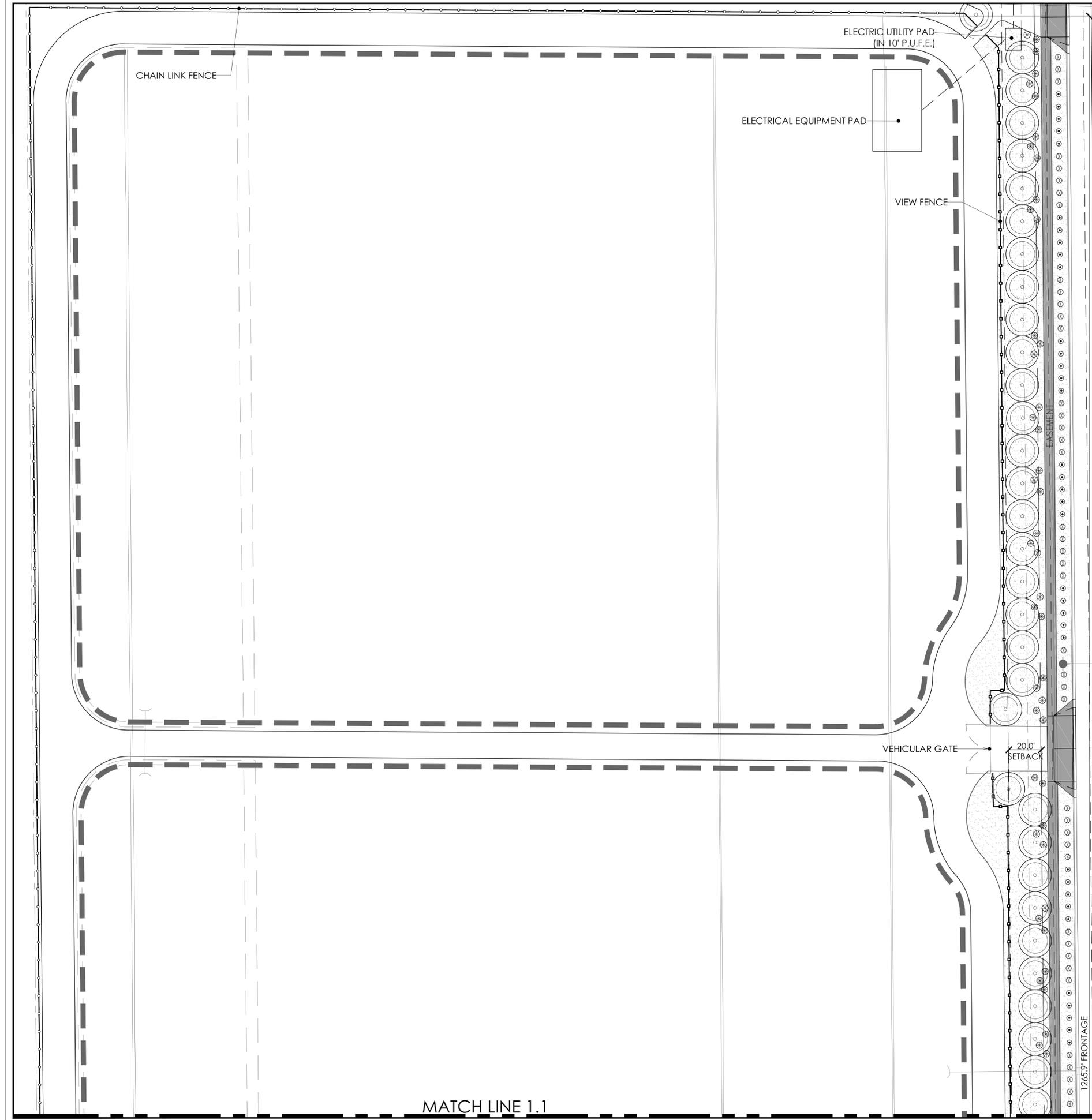
LANDSCAPE PLAN
 FIRST SOLAR RESEARCH FACILITY
 GERMANN RD. & 80TH ST.
 MESA, AZ

BLUX CRK ENERGY
Snell & Wilmer
 L.L.P. LAW OFFICES

revision	date

Call Two Working Days Before You Dig
1-800-STAKE-IT
 (Outside Maricopa County)

date: 07.30.2014
 job no.: 1418
 drawn: RT/JV/MT/JS
 sheet



PLANT LEGEND

TREES			
	PARKINSONIA 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE SINGLE TRUNK	24" BOX 1.5" CAL 100
SHRUBS AND ACCENTS			
	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	5 GAL. 14
	DASYLIRION LONGISSIMA	DESERT SPOON	5 GAL. 67
	HESPERALOE PARVIFLORA	RED/YELLOW YUCCA	5 GAL. 148
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	LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA	3 GAL. 116
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	2" DEEP 3/4" MIN. SCREENED DECOMPOSED GRANITE ARMOR COLOR BY GRANITE EXPRESS		80,311 S.F.

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DECORATIVE SCREEN WALL	424 LF

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LANDSCAPE PLAN
 FIRST SOLAR
 RESEARCH FACILITY
 GERMANN RD. & 80TH ST.
 MESA, AZ

BLUX CRK ENERGY
Snell & Wilmer
 L.L.P.
 LAW OFFICES

revision	date

Call Two Working Days
 Before You Dig
602-263-1100
1-800-STAKE-IT
 (Outside Maricopa County)

date: 07.30.2014
 job no.: 1418
 drawn: RT/JV/MT/JS
 sheet: **L-2**
 2 of 3



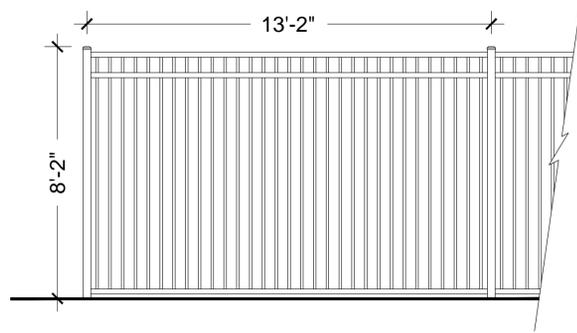
WALL DETAILS
 FIRST SOLAR
 RESEARCH FACILITY
 GERMANN RD. & 80TH ST.
 MESA, AZ



revision	date



date: 07.30.2014
 job no.: 1418
 drawn: RT/JV/MT/JS
 sheet

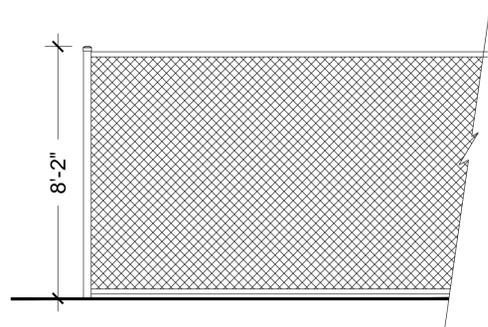


VIEW FENCE AND GATES

- VIEW FENCE, VEHICULAR GATE, AND PEDESTRIAN GATE TO MATCH
- DESIGN OF VEHICULAR GATE TO COMPLY WITH FIRE CODE REGULATIONS

1 VIEW FENCE ELEVATION

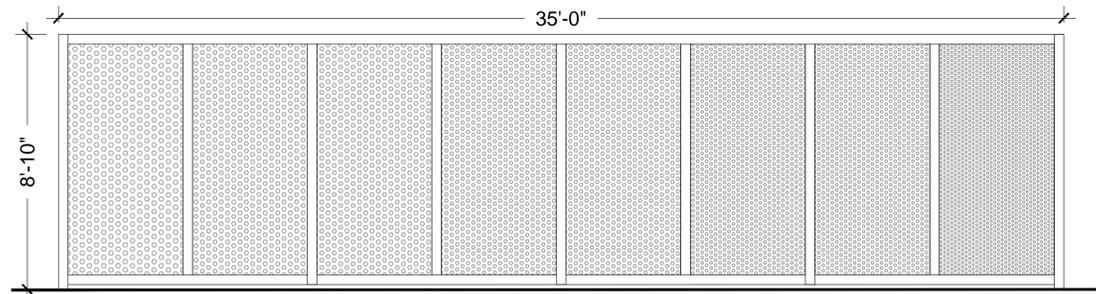
N.T.S.



CHAIN LINK FENCE

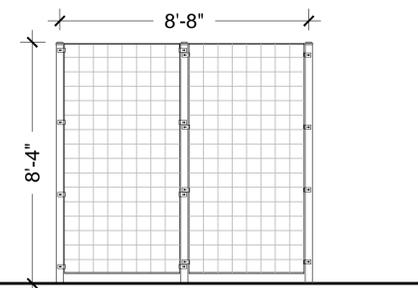
2 CHAIN LINK FENCE ELEVATION

N.T.S.



DECORATIVE PERFORATED ALUMINUM PANEL SEGMENT

- COMPRISED OF STANDARD 4'X8' PANELS
- GRADIATED SCALE OF PERFORATION PATTERN

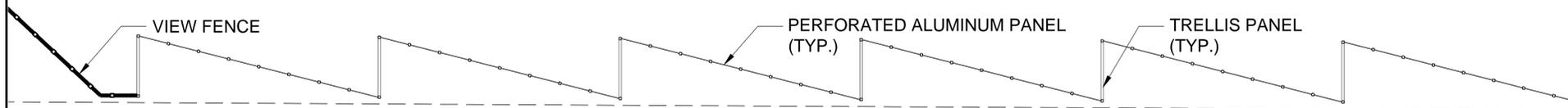


TRELLIS PANEL

- COMPRISED OF TUBULAR STEEL POSTS AND WIRE TO FORM OPEN MESH

3 DECORATIVE SCREEN WALL ELEVATION

N.T.S.



4 DECORATIVE SCREEN WALL LAYOUT

N.T.S.



First Solar – Arizona Test Site Project Description

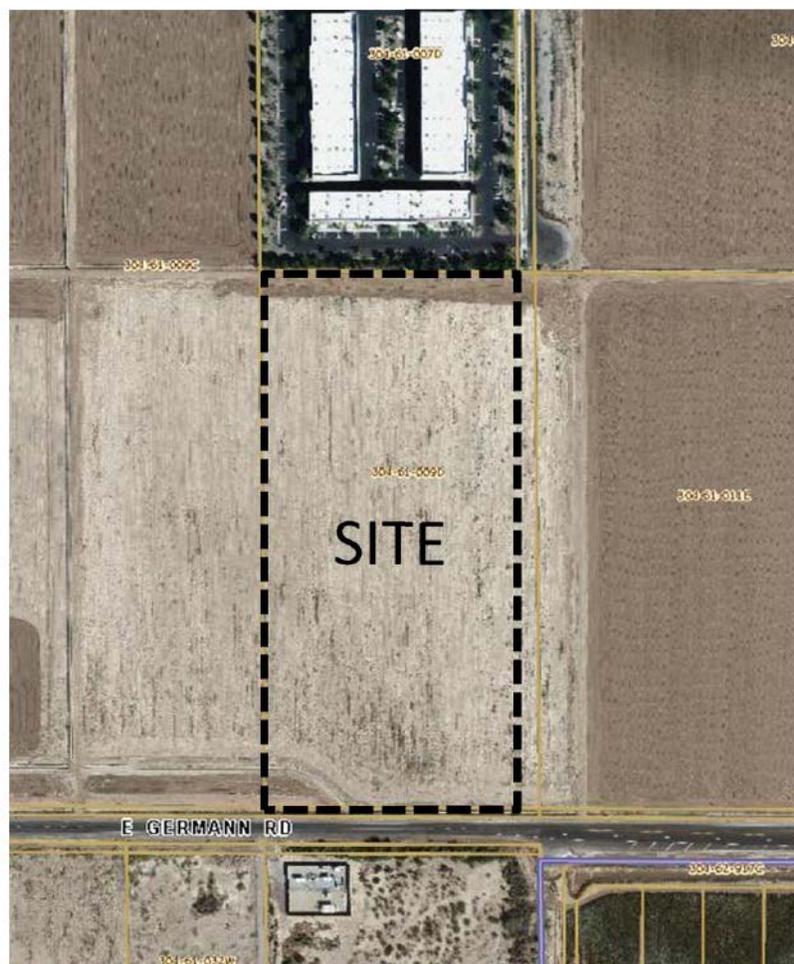
July 7

2014

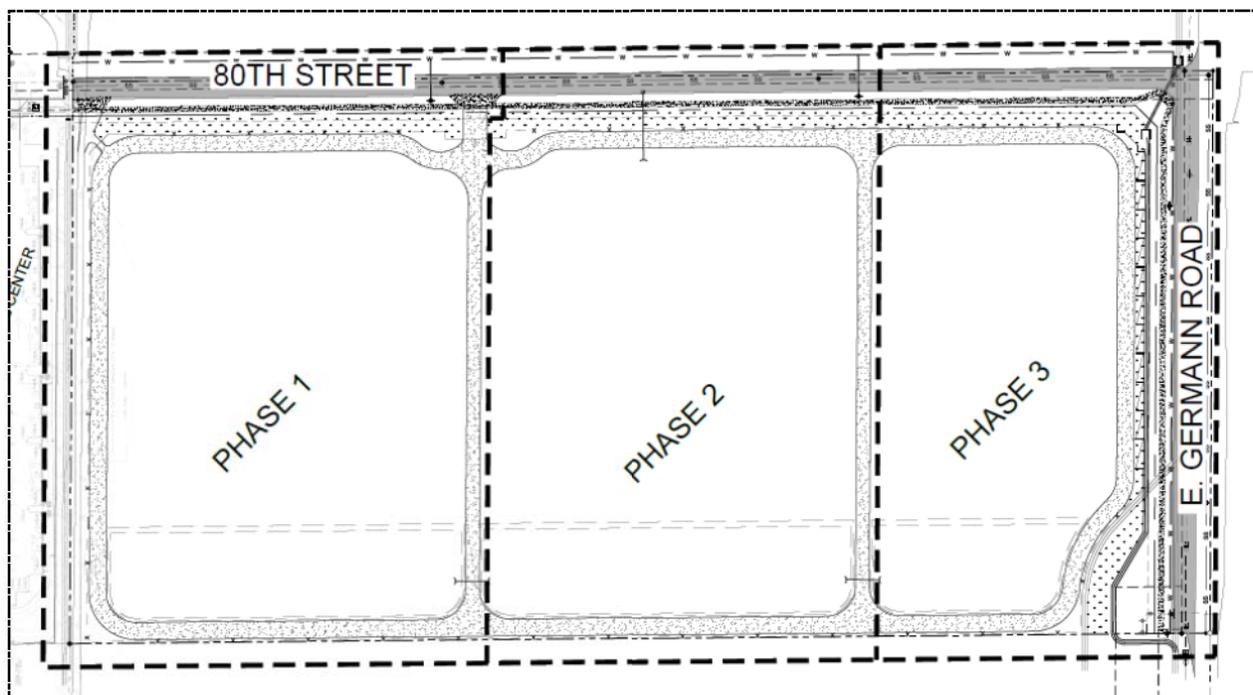


The First Solar – Arizona Test Site is an approximately 20 acre project to provide for adequate facilities to test the solar panels (and related equipment) manufactured by First Solar and its partners. The project is located at 80th Street and Germann Road, a property that is currently utilized for field crop production. The surrounding land uses under the jurisdiction of the City of Mesa are primary farming operations, the exception being a light industrial office park directly north of the site.

The property (and those in the immediate area) are currently zoned LI, Light Industrial, which permits employment type land uses, a district that includes the option to have solar related facilities with City approval. Given its compatibility with surrounding current and future land uses, the development of the site for solar panel testing is an appropriate use of the land and is permitted via approvals as per Chapter 70 of the Zoning Ordinance.



The project proposes the development of the entire 20 acre site over a three (3) phased development process, as shown on the Phasing Plan (Sheet C-121). Each phase will establish a Test Site of about 3.45 to 5.40 acres in size. Within each Test Site, First Solar will install various types of solar power generating equipment. Typical of today's equipment is provided on Sheet W-401, however it is anticipated that the exact configuration of the panels, modular framing assemblies and other features will change over time as technology advances. Specific layout of each testing area is to be done at the time of construction and is anticipated to be modified over the lifetime of the facility.



Testing of photovoltaic systems does not result in exporting of significant amounts of energy to the regional electrical grid; therefore the project is not a typical “Solar Farm” as defined in the Zoning Ordinance in Section 11-30-15 nor is it best defined as a “large energy production” facility. There will be some exporting of power, but not at a level that would be required to meet the definitions above. The site is anticipated to produce a maximum of about 2.4 megawatts of power upon full build out.

Therefore, the use of this site as proposed by First Solar is more analogous to other by-right LI land uses, such as a contractor's yard. Given the opportunity created by the proposed use to encourage the adoption of solar technology, First Solar desires to provide an appropriate level of screening for the facility while permitting the public views into the property to showcase the latest in solar technology.

To accomplish this, the project will be secured from the adjoining public right-of-way via a combination of an eight (8) foot high tubular steel view fence and a decorative screen wall, which will occur at the most visible edge of the site along portions of Germann Road.

The primary goal for the screen wall design is to provide an aesthetically-pleasing, secure perimeter element that recognizes the significant investment in technology that First Solar has pioneered. It also ties seamlessly into the tubular steel fencing along the balance of the perimeter, allows drainage to occur, and provides the public with limited views into the site.



The design concept is to use the iconic “grid” form that is symbolic of solar technology, and also featured on the First Solar headquarters building, to allude to the important and interesting research being conducted inside the facility. By using interpretive materials in forms that communicate natural solar processes, the screen wall can tell a story about harnessing the power of the sun.

The design will be made up of two contrasting elements - perforated aluminum panels which focus sunlight into interesting shadow patterns - and metal trellises which will support living flowering vines. Together, the materials metaphorically demonstrate the conversion of raw energy from the sun into other useful forms. The two elements are laid out in alternating directions, forming a repeating “Z” shape which calls to mind illustrative diagrams that explain the complex chemical transformations behind this process. The zipper shape allows the entire landscape setback to be used for the screen wall, so that the overall impact of the wall feels three-dimensional and purposeful. Trees will be planted on both sides of the wall in order to create a secondary rhythm that reiterates the dynamic screen wall shapes.

The concept is further illustrated in the attached Exhibit on Sheets L-1 through L-3. The adjoining right-of-ways will be landscaped as shown on Exhibit L-1, with generous use of trees at the perimeter to soften the views into the site. The design and layout is illustrated in the attached Exhibit on Sheets L-1 through L-3.

As noted prior, this is a phased project. Each phase will provide for required off-site improvements via a) payment of an in-lieu fee for the area of the phase, or b) via construction of the required off-site improvements for the area of the phase, or c) via construction of all of the 80th Street improvements at the time of development of Phase I. Due to the size and complexity of the required off-site improvements for Germann Road, any such improvement, if required, will be part of the final phase of development of the project.

With the construction of an individual phase, the requisite fencing and landscaping will be installed as per the final landscape plan. It should be noted, due to their unique security needs, First Solar may construct all of the perimeter fencing and internal fire lanes in the initial phase, with the final off-site and landscaping improvements being installed concurrently at the time of development of each individual test site. At build-out, all adjacent public rights-of-way will be improved as required by the City of Mesa (or appropriate in-lieu fees will have been paid).

Site access will be accomplished off of 80th Street via one (1) primary vehicular access gate and one (1) pedestrian gate, located as shown on Exhibit L-1. Internal site circulation will be accomplished by a 16 foot wide internal drive, surfaced with aggregate base installed per City standards. Each test site will be encircled by the internal roadway, permitting full access to each area by public safety and service personnel.

In summary, this project will result in an approximately \$20 million dollar investment in the City of Mesa and the addition of 12 to 18 jobs. The approval of this request will result in the development of a testing facility for advanced solar voltaic related system and solar panels which will support First Solar's research and design operations worldwide, which is consistent with the City's employment and corporate attraction goals as provided for in the City of Mesa General Plan 2025.

