

To	The City of Mesa	Fax No.	
		Telephone No.	
From	Don Henning on behalf of Bank of America	Date	29 August. 2016
Project	Bank of America - Signal Butte	Project Number	57.7200.330
Subject	Project Narrative Design Review Submittal	File	5SD
Distribution	Tracy Gessner	This is page	1 of 1

Memorandum/Discussion/Observations

Maricopa County Parcel ID: 304-03-949

Introduction:

This project proposed the construction of a new branch retail bank at the south-west corner of the mulberry marketplace development in mesa, Arizona. The proposed Bank of America retail branch bank will consist of approximately 3,840 total square feet of new construction with a 1,960 square foot drive through canopy. This retail branch will provide (2) proposed and (1) future Drive up ATM locations and (1) night depository location. The building proposed has a max height of 26'-6 1/2". This submittal is to continue our intent to file for an administrative review and approval as required by the City of Mesa to allow for building permit application.

Description of Proposed Use:

With direct customer service in mind the stand alone bank branch is noted as one of the Bank of America's most important assets. The proposed branch as shown is a mixture of standard Bank of America design guidelines and Mulberry Marketplace aesthetics. The design team worked directly with the Mulberry Marketplace developer to assure that details and finishes matched those of the anchor and adjacent tenants as well as the established Mulberry Marketplace Design Guidelines. The main structure of the bank consist of exterior masonry walls with cement plaster finish an exterior entry shaded portico and arcade with a standing seam metal roof and detailing to match the anchor building. The exterior of the bank is designed to match the design of the mulberry marketplace and be harmonious with its surroundings.

Hours of Operation:

In general Bank of America Branch Banks operate Monday through Friday 9:00am – 5:00pm and Saturday 1:00pm – 5:00pm.

Site Conditions:

Existing site conditions can be viewed on the following aerial photo.

Plans:

The drawings provided explain in greater detail the context, proposed building, uses and materials.

Development Master Plan:

The attached master plan shows the proposed branch bank within the Mulberry Marketplace development (shown as PAD "P3").

END OF DOCUMENT

Memorandum continued

Gensler

Project	Bank of America - Signal Butte	Project Number	57.7200.330
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Date	29 August. 2016	This is page	2 of 1
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Memorandum / Discussion / Observations

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Fax: +1 602.523.4949

Bank of America



SIGNAL BUTTE RETAIL BRANCH

BULLETIN #01-2016

GENSLER PROJECT NUMBER:
57.7200.330

DESIGN REVIEW

08.25.16

10748 E GUADALUPE RD
MESA, AZ 85212

Gensler

Architect
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Phoenix, AZ 85004
Contact: Don Henning
Email: don_henning@gensler.com
Telephone: 602.523.4900



Jones Lang LaSalle

Project Manager
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Brea, CA 92823
Contact: Tracy Gessner
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PK Associates LLC

Structural Engineer
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Telephone: 480.922.8854
Email: SteveS@pkstructural.com

Wood/Patel

Civil Engineer
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ME Engineer
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SBD studio

Landscape Architect
8603 East Royal Palm, Suite 120
Scottsdale, AZ 85258
Contact: Juan Brenes Garcia
Telephone: 480.284.4100
Email: jbrenes@sbd-studio.com

PROJECT INFORMATION

BUILDING INFORMATION

BUILDING ADDRESS:
10748 E GUADALUPE ROAD
MESA, AZ 85212

CLIENT PROJECT MANAGER:
JONES LANG LASALLE
CONTACT: TRACY GESSNER
275 VALENCIA AVENUE
BREA, CA 92823
TEL. 602.478.9820

PROJECT DESCRIPTION:
THIS PROJECT PROPOSED THE CONSTRUCTION OF A NEW BRANCH RETAIL BANK AT THE SOUTH-WEST CORNER OF THE MULBERRY MARKETPLACE DEVELOPMENT IN MESA, ARIZONA. THE PROJECT CONSISTS OF THE FOLLOWING:
 . +/- 4,000 SF OF INTERIOR BANK SPACE WITH TWO DRIVE-THRU LANES AND A PASSING LANE WHICH ALSO SERVES AS THE REFUSE ENCLOSURE ACCESS.
 . THE EXTERIOR OF THE BANK IS DESIGNED TO MATCH THE DESIGN OF THE MULBERRY MARKETPLACE AND BE HARMONIOUS WITH ITS SURROUNDINGS.
 . THE MAIN STRUCTURE OF THE BANK CONSIST OF EXTERIOR MASONRY WALLS WITH CEMENT PLASTER FINISH AN EXTERIOR ENTRY SHADED PORTICO AND ARCADE WITH A STANDING SEAM METAL ROOF AND DETAILING TO MATCH THE ANCHOR BUILDING.

APPLICABLE CODES:
 * WITH CITY OF MESA AMENDMENTS
 2006 INTERNATIONAL BUILDING CODE *
 2006 INTERNATIONAL ENERGY CONSERVATION CODE *
 2006 INTERNATIONAL FIRE CODE *
 2006 INTERNATIONAL MECHANICAL CODE *
 2006 INTERNATIONAL PLUMBING CODE *
 2005 NATIONAL ELECTRICAL CODE *
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

BANK OF AMERICA

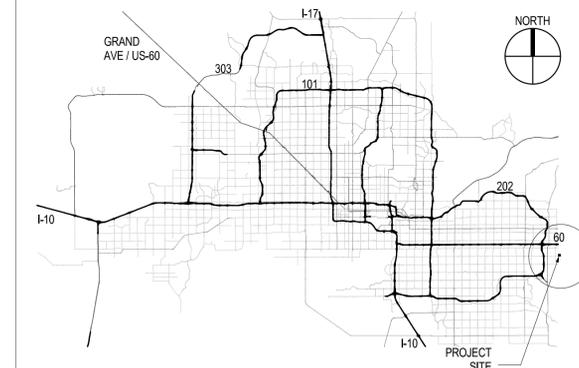
10748 E GUADALUPE RD
MESA, AZ 85212

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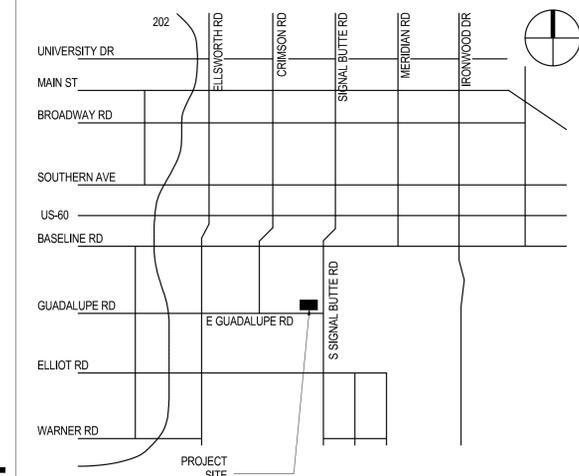
201 East Washington St
Suite 750
Phoenix, AZ 85004
United States
Tel 602.523.4900
Fax 602.523.4949

Date	Description
08.25.16	DESIGN REVIEW

LOCATION MAP



VICINITY MAP



Seal / Signature



Project Name

SIGNAL BUTTE RETAIL BRANCH

Project Number

57.7200.330

Description

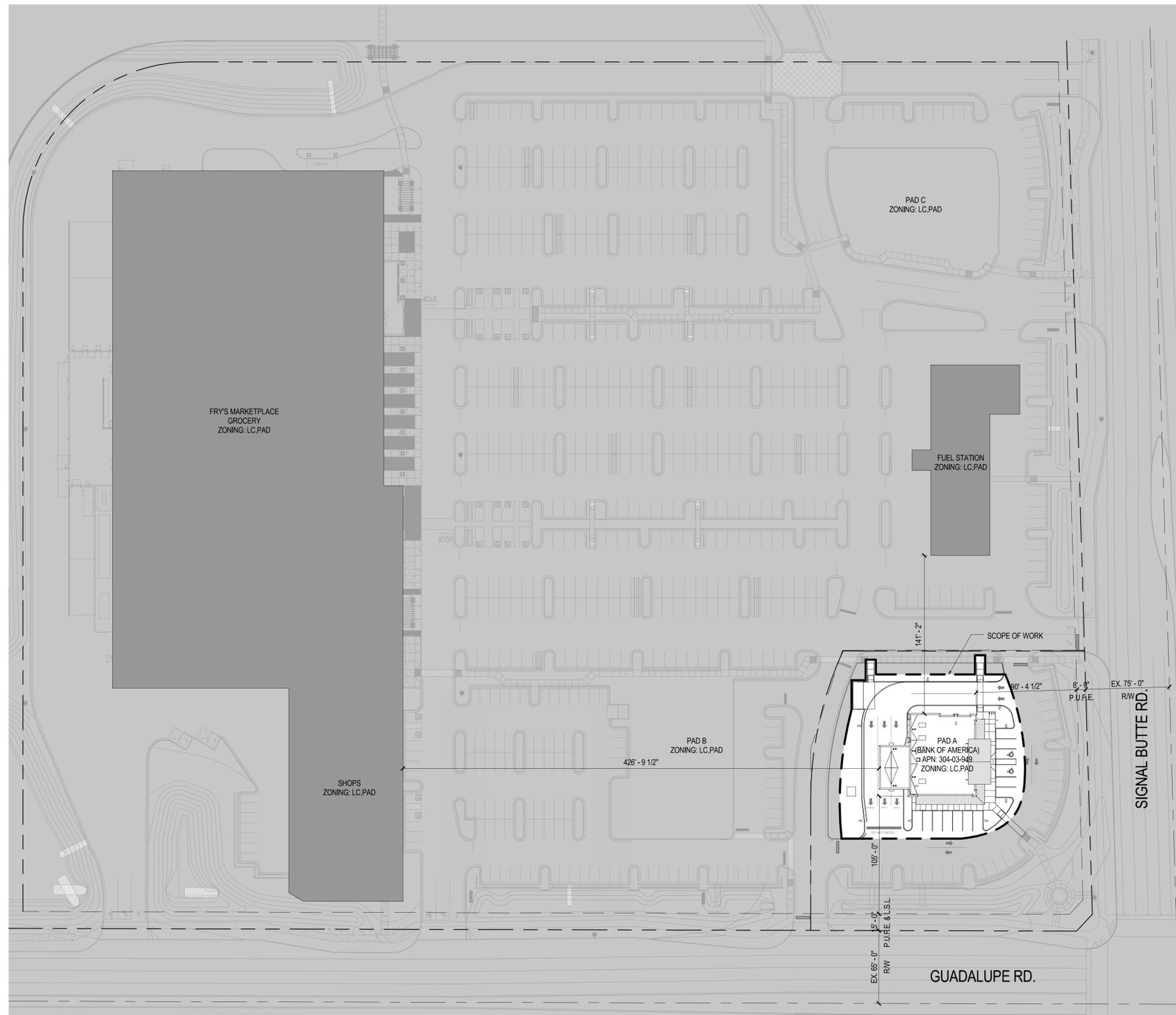
CONTEXT SITE PLAN AND PROJECT INFORMATION

Scale

As indicated

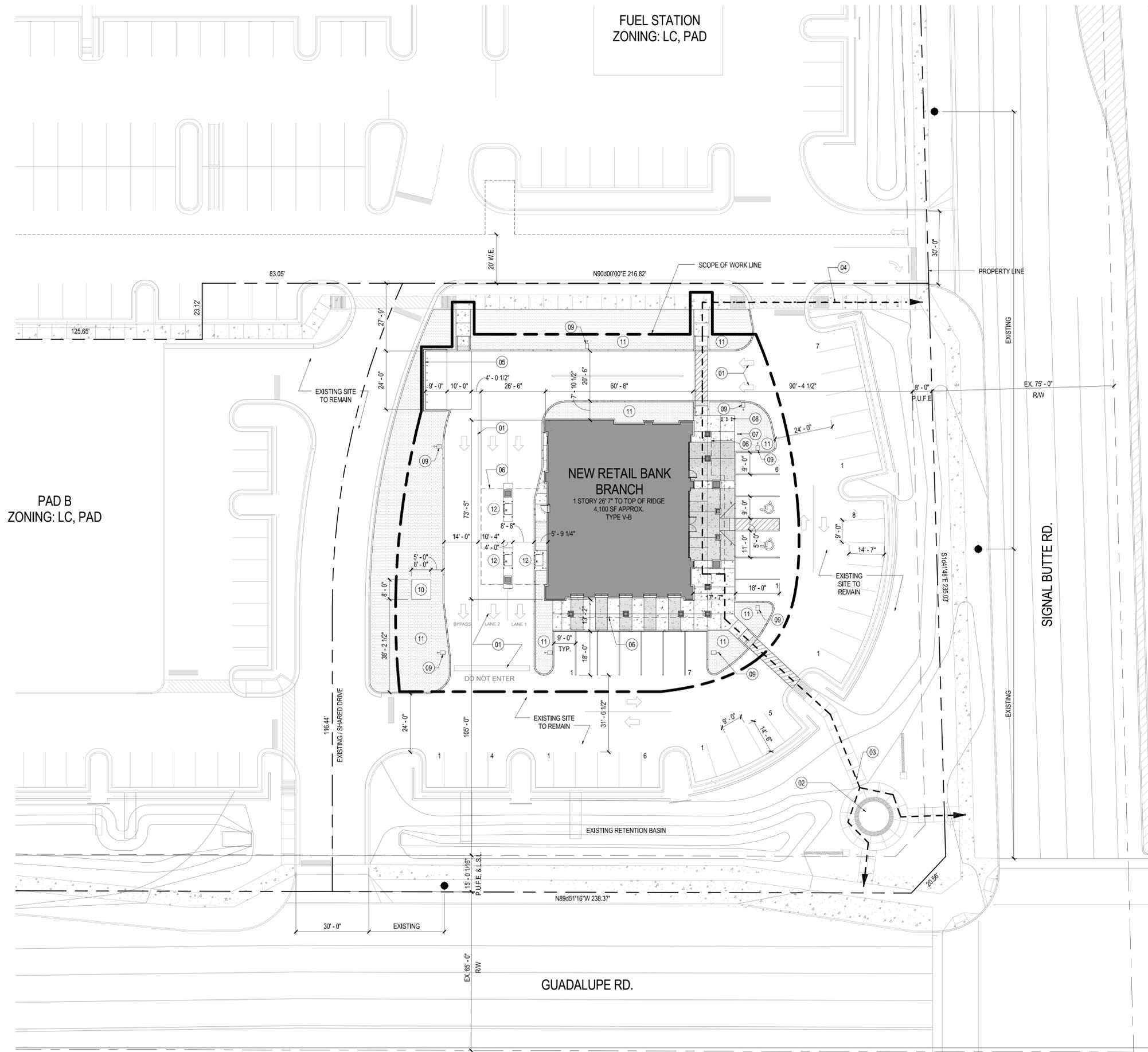
ADR.01

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01 CONTEXT SITE PLAN
SCALE: 1" = 50'-0"





FUEL STATION ZONING: LC, PAD

PAD B ZONING: LC, PAD

NEW RETAIL BANK BRANCH
1 STORY 26'7" TO TOP OF RIDGE
4,100 SF APPROX.
TYPE V-B

GUADALUPE RD.

SIGNAL BUTTE RD.

SHEET NOTES

- 01 NEW STRIPING ON ASPHALT. REFER TO CIVIL DRAWINGS
- 02 ARCHITECTURAL FEATURE (BY DEVELOPMENT)
- 03 ACCESSIBLE ROUTE TO PUBLIC WAY
- 04 ALTERNATE ACCESSIBLE ROUTE TO PUBLIC WAY
- 05 DOUBLE WIDE BIN ENCLOSURE
- 06 LINE OF CANOPY ABOVE
- 07 FLAG POLE LOCATION
- 08 BIKE RACKS
- 09 LIGHT POLE - (25' AFG)
- 10 ELECTRICAL TRANSFORMER PAD
- 11 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS

BANK OF AMERICA
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Date	Description
08.25.16	DESIGN REVIEW

GENERAL NOTES

ZONING: LC, PAD

FIRE SEPARATION DISTANCE
EAST FACE TO PROPERTY LINE: 98' - 2"
WEST FACE TO PROPERTY LINE: 77'-10"
NORTH FACE TO PROPERTY LINE: 55'-7"
SOUTH FACE TO PROPERTY LINE: 104' - 8"

USE: B-BUSINESS

OCCUPANCY: 42 APPROX.

TYPE OF CONSTRUCTION: V-B

BUILDING FOOTPRINT: 4,121 SF
FOOTPRINT W/ CANOPY: 6,586 SF

PROPOSED BUILDING HEIGHT: 26'-6"

PARKING CALCULATIONS:

SPACES REQUIRED: 1 PER 375 SF = 11
PROVIDED: 43 (41 STANDARD, 2 ADA)

SITE ACREAGE: 22,524 SF (0.52 ACRES)

NET ACREAGE: 16,724 SF (0.38 ACRES)

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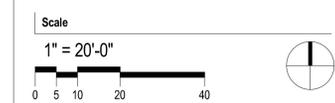
Project Name
SIGNAL BUTTE RETAIL BRANCH

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57.7200.330

Description
SITE PLAN

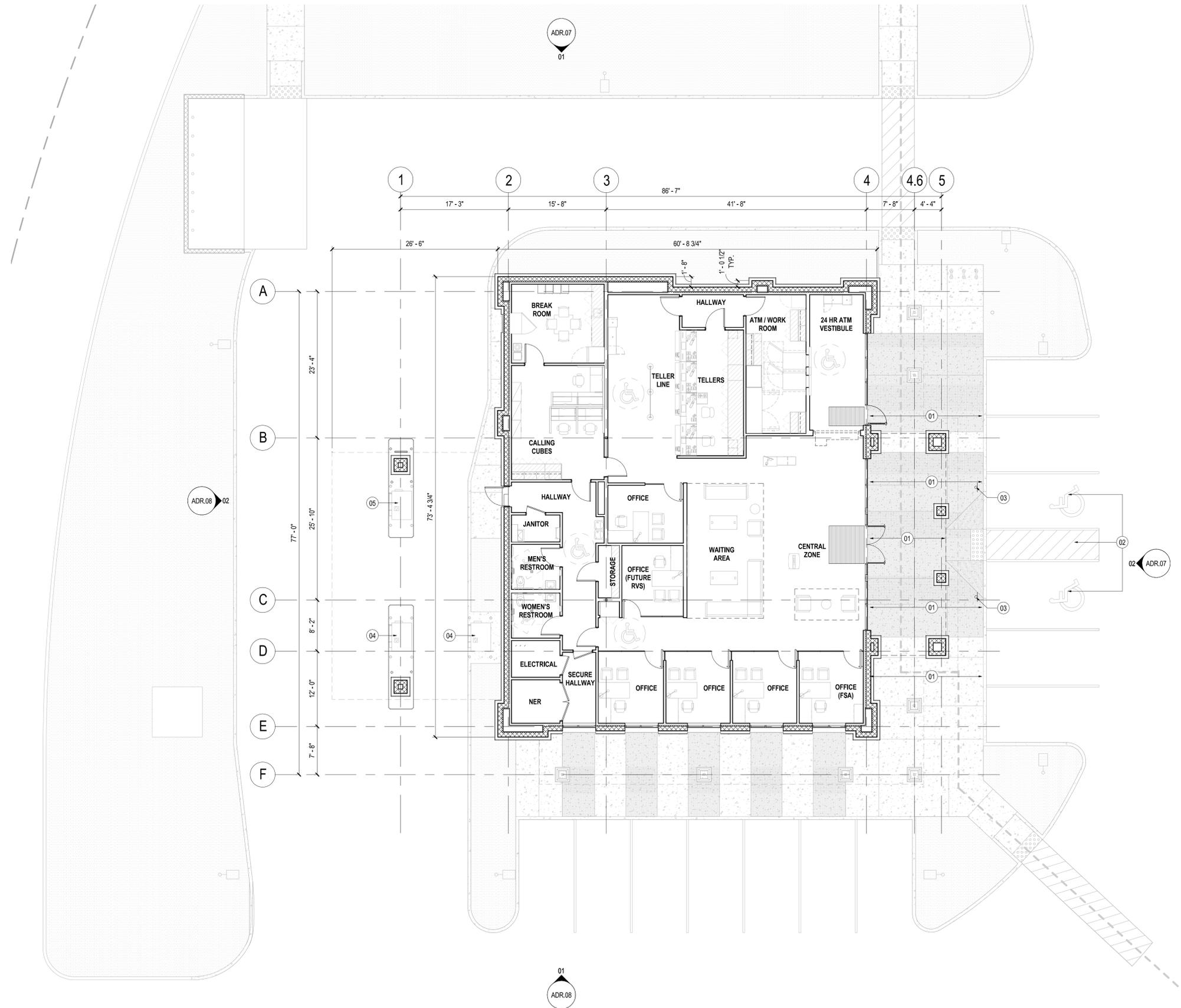
LEGEND

- GREY CONCRETE
- COLORED CONCRETE
- ADA ACCESSIBLE ROUTE
- FIRE HYDRANT



ADR.02

01 SITE PLAN
SCALE: 1" = 20'-0"



SHEET NOTES

- 01 CONCRETE FINISH.
- 02 ACCESSIBLE PARKING STALL - 4" YELLOW PAINT STRIPING WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- 03 ACCESSIBLE PARKING SIGN - ADA-COMPLIANT SIGN PER BANK STANDARDS.
- 04 DRIVE UP ATM.
- 05 FUTURE ATM.

BANK OF AMERICA

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Date	Description
08.25.16	DESIGN REVIEW

GENERAL NOTES

Seal / Signature



Project Name

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Description

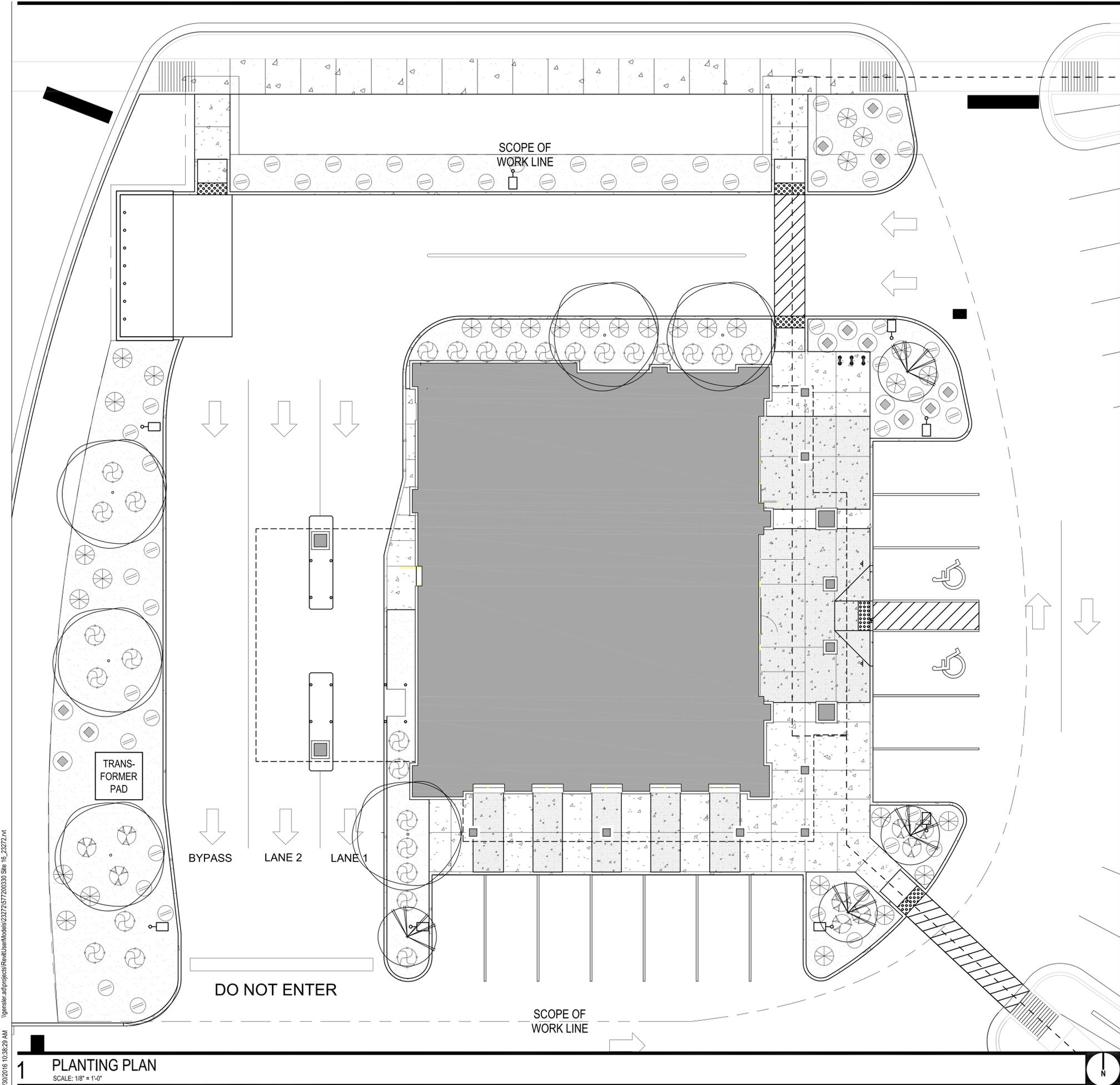
FLOOR PLAN

Scale

1/8" = 1'-0"



ADR.03



PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	CALIPER
TREES					
	<i>Quercus virginiana</i> 'Heritage'	Southern Live Oak	6	24" Box	2" MIN.
	<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise	4	24" Box	2" MIN.
SHRUBS/ ACCENTS/ VINES					
	<i>Bougainvillea</i> 'Torch Glow'	Torch Glow Bougainvillea	9	5 Gallon	
	<i>Leucophyllum frutescens</i> 'Compacta'	Compact Texas Sage	28	5 Gallon	
	<i>Hesperaloe parviflora</i> 'Brakelight'	Red Yucca	30	5 Gallon	
	<i>Euphorbia Rigida</i>	Gopher Plant	16	5 Gallon	
GROUNDCOVERS					
	<i>Lantana montevidensis</i>	Trailing Lantana 'Purple & New Gold'	46	1 Gallons	
TOP DRESS MATERIAL					
	Decomposed Granite	3/4" select Table Mesa Brown	4,275	S.F.	

Note: A 2" min. thickness must be provided in all landscape areas. Submit samples to Landscape Architect for approval. All futures phases of development must be covered with granite as a method of dust control.

Note: Contractor to 'repair and replace ANY disturbed Landscape and Irrigation'.

BANK OF AMERICA

E GUADALUPE RD AND
S SIGNAL BUTTE RD
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Date	Description
04/21/2016	Preliminary Design Review
08/23/2016	Design Review Submittal

Seal / Signature



Project Name

Bank of America
Signal Butte

Project Number

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Description

LANDSCAPE PLAN

Scale

1/8" = 1'-0"

L1.00



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SHEET NOTES

- 01 BORAL ROOFING RAMADA CONCRETE ROOF TILE. REFER TO LEGEND
- 02 BERRIDGE STANDING SEAM METAL ROOF. REFER TO LEGEND
- 03 ALUMINUM FRAMED STOREFRONT GLAZING SYSTEM, CLEAR ANODIZED ALUMINUM FINISH
- 04 DISTANCE FROM FACE: +4" STUCCO FEATURE
- 05 CMU BLOCK TYPE C, SUPERLITE SPLIT FACE, COLOR: HARVEST BROWN. REFER TO LEGEND
- 06 DISTANCE FROM FACE: +3" STUCCO FEATURE
- 07 DISTANCE FROM FACE: +3" STUCCO PARAPET FEATURE
- 08 DISTANCE FROM FACE: +5" STUCCO FEATURE - PARAPET COPING
- 10 WOOD BEAM, PAINTED TO MATCH SP-1
- 11 WOOD FASCIA, PAINTED TO MATCH SP-1
- 12 CHADSWORTH PRE MANUFACTURED FAUX COLUMN, PAINTED TO MATCH SP-1
- 13 PRE CAST CONCRETE CAP: FRACTURED FACE 15WC MIDWEST CASTSTONE
- 14 DRIVE UP ATM EQUIPMENT BY OWNER
- 15 "BANK OF AMERICA" SIGNAGE BY OWNER. UNDER SEPARATE PERMIT. SIZE, DESIGN AND MATERIALS TO ADHERE TO DEVELOPMENT AND CITY OF MESA SIGN GUIDELINES
- 16 DUAL BIN TRASH ENCLOSURE
- 17 FLAG POLE, 30'-0" HIGH

LEGEND

- SP-1 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE) - COLOR: SW 7531 "CANVAS TAN"
- SP-2 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE) - COLOR: SW 7549 "STUDIO TAUPE"
- SP-3 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE) - COLOR: SW 7522 "MEADOWLARK"
- CMU - SUPERLITE, SPLIT FACE, BLOCK TYPE C - COLOR: "HARVEST BROWN"
- RAMADA CONCRETE ROOF TILE - BORAL ROOFING, MONTEREY SHAKE 600 - COLOR: "SILVER LAKE BLEND"
- STANDING SEAM METAL ROOF - BERRIDGE - COLOR: "DARK BRONZE"
- HARDIE SHINGLE "KHAKI BROWN"

GENERAL NOTES

BANK OF AMERICA

10748 E GUADALUPE RD
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11.01.16	DESIGN REVIEW REVISION

Seal / Signature



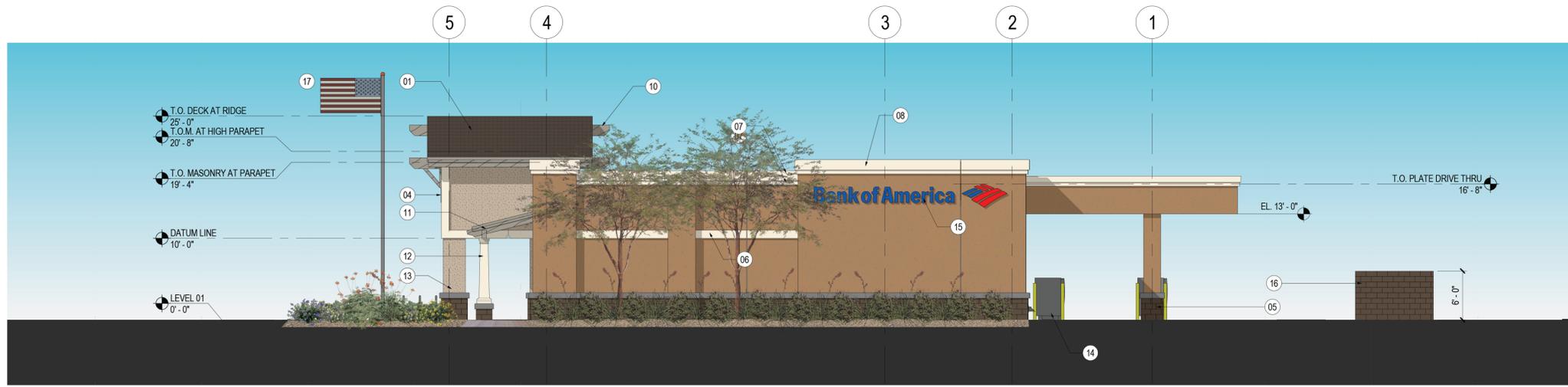
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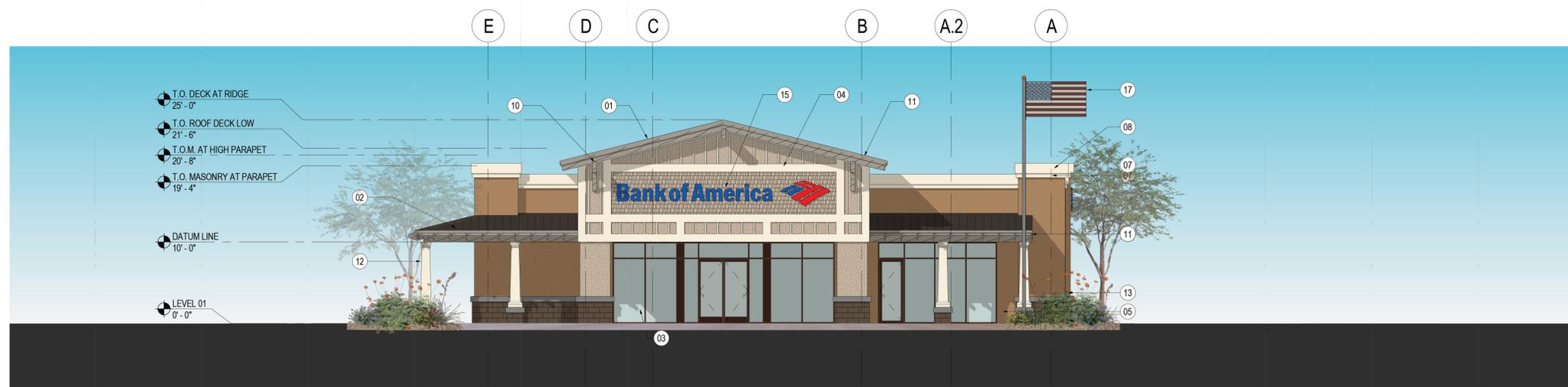
Description
EXTERIOR ELEVATIONS

Scale
1/8" = 1'-0"

ADR.05



01 NORTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



02 EAST ELEVATION - COLOR
SCALE: 1/8" = 1'-0"

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SHEET NOTES

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- 02 BERRIDGE STANDING SEAM METAL ROOF. REFER TO LEGEND
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- 07 DISTANCE FROM FACE: +3" STUCCO PARAPET FEATURE
- 08 DISTANCE FROM FACE: +5" STUCCO FEATURE - PARAPET COPING
- 09 ALUMINUM FRAMED WINDOW SYSTEM, CLEAR ANODIZED ALUMINUM FINISH, TYP.
- 10 WOOD BEAM, PAINTED TO MATCH SP-1
- 11 WOOD FASCIA, PAINTED TO MATCH SP-1
- 12 CHADSWORTH PRE MANUFACTURED FAUX COLUMN, PAINTED TO MATCH SP-1
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- 16 DUAL BIN TRASH ENCLOSURE
- 17 FLAG POLE, 30'-0" HIGH
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- 19 FUTURE DRIVE UP ATM LOCATION

LEGEND

- SP-1 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7531 "CANVAS TAN"
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- SP-3 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7522 "MEADOWLARK"
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- RAMADA CONCRETE ROOF TILE - BORAL ROOFING, MONTEREY SHAKE 600 - COLOR: "SILVER LAKE BLEND"
- STANDING SEAM METAL ROOF - BERRIDGE - COLOR: "DARK BRONZE"
- HARDIE SHINGLE "KHAKI BROWN"

GENERAL NOTES

BANK OF AMERICA

10748 E GUADALUPE RD
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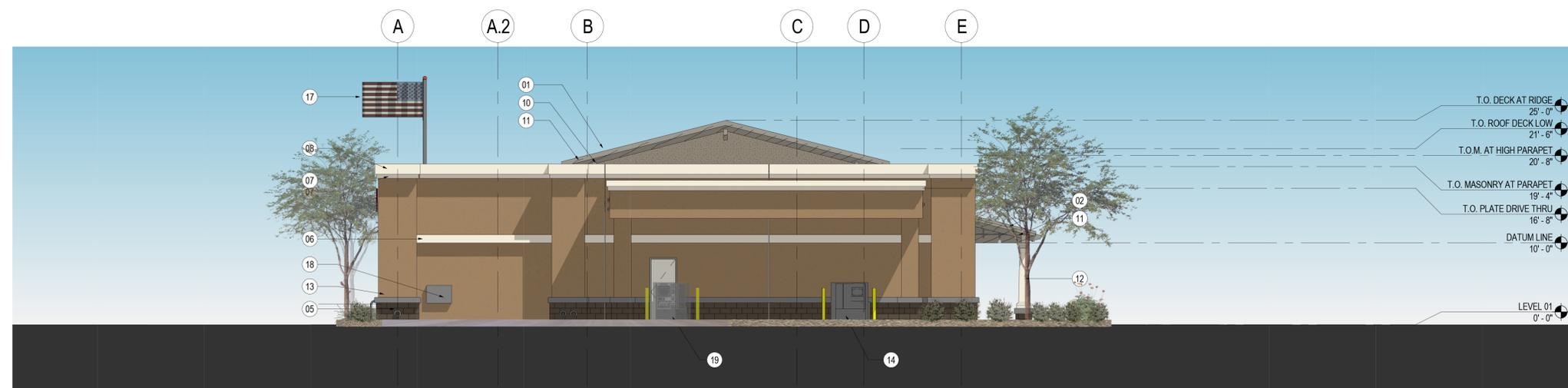
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Date	Description
11.01.16	DESIGN REVIEW REVISION



01 SOUTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



02 WEST ELEVATION - COLOR
SCALE: 1/8" = 1'-0"

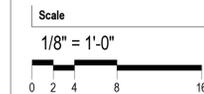
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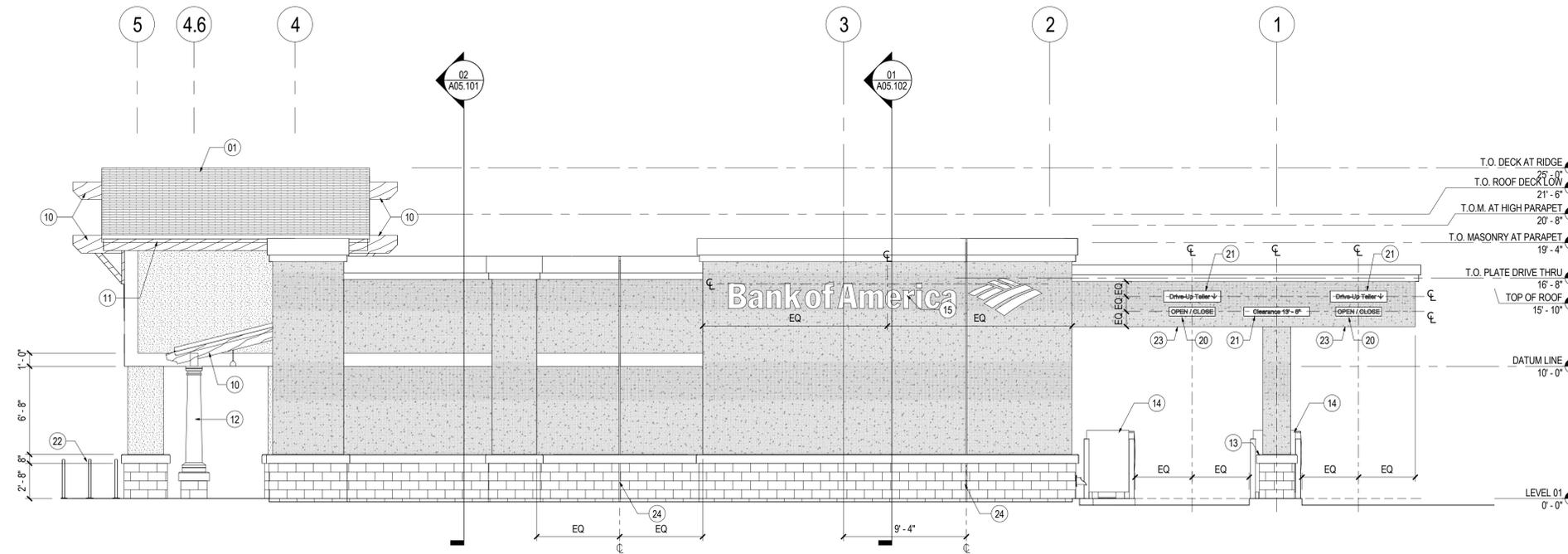
Description
EXTERIOR ELEVATIONS



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SHEET NOTES

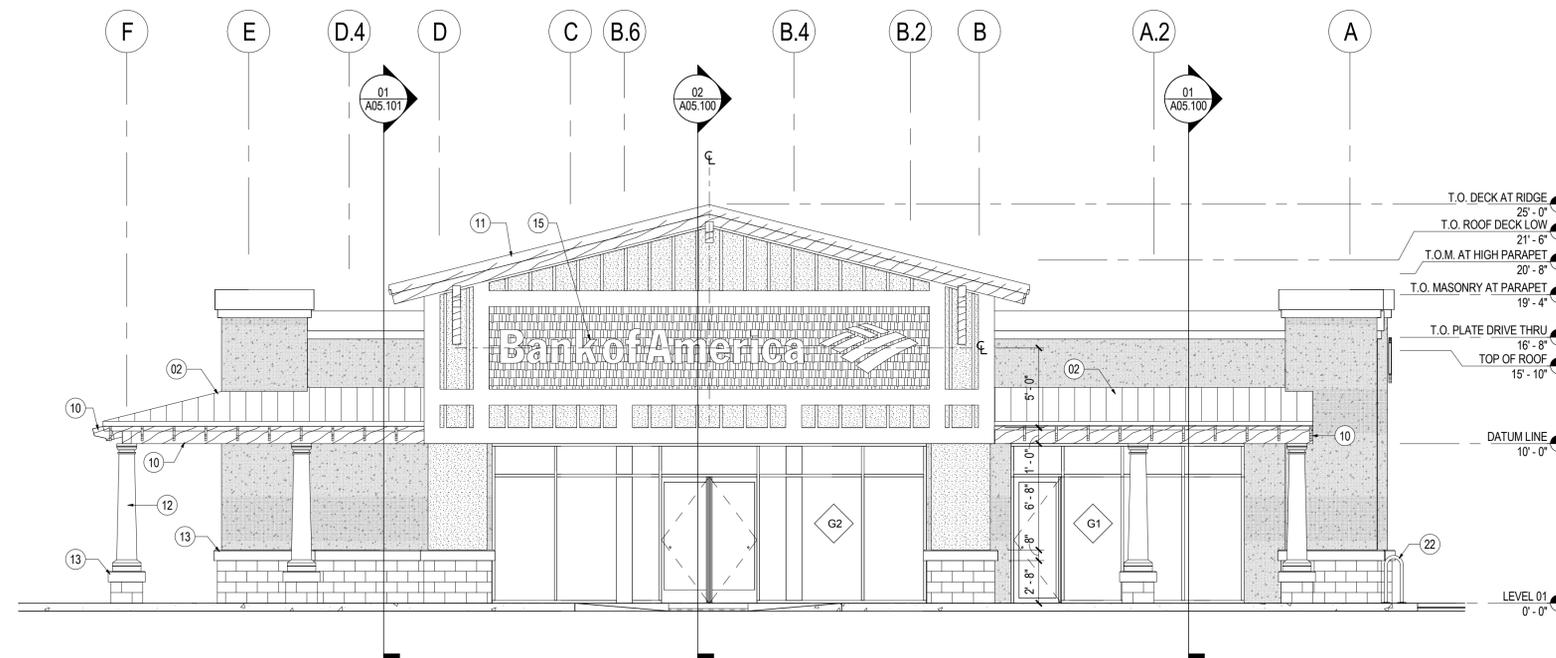
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- 15 "BANK OF AMERICA" SIGNAGE BY OWNER. UNDER SEPARATE PERMIT. SIZE, DESIGN AND MATERIALS TO ADHERE TO DEVELOPMENT AND CITY OF MESA SIGN GUIDELINES
- 20 LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. CENTERLINE OF SIGN = CENTERLINE OF LANE. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- 21 S-TYPE REGULATORY DIRECTIONAL / INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- 22 BIKE RACKS, SEE SITE PLAN
- 23 EXTERIOR SECURITY CAMERA, SEE RCP
- 24 MASONRY CONTROL JOINT, SEE STRUCTURAL DRAWINGS



01 BUILDING ELEVATION - NORTH
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A10.100 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM.
- E. REFER TO A10.200 FOR GLAZING AND WINDOW ELEVATIONS.
- F. REFER TO PLANS FOR OVERFLOW ROOF DRAIN LOCATIONS. SEE SHEET A05.304 FOR TYPICAL OVERFLOW ROOF DRAIN DETAIL.
- G. SEE STRUCTURAL DRAWINGS FOR CONTROL JOINTS NOT SHOWN.



02 BUILDING ELEVATION - EAST
SCALE: 3/16" = 1'-0"

LEGEND

- SP-1 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7531 "CANVAS TAN"
- SP-2 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7549 "STUDIO TAUPE"
- SP-3 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7522 "MEADOWLARK"
- CMU - SUPERLITE, SPLIT FACE, BLOCK TYPE C - COLOR: "HARVEST BROWN"
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- STANDING SEAM METAL ROOF - BERRIDGE - COLOR: "DARK BRONZE"

Seal / Signature



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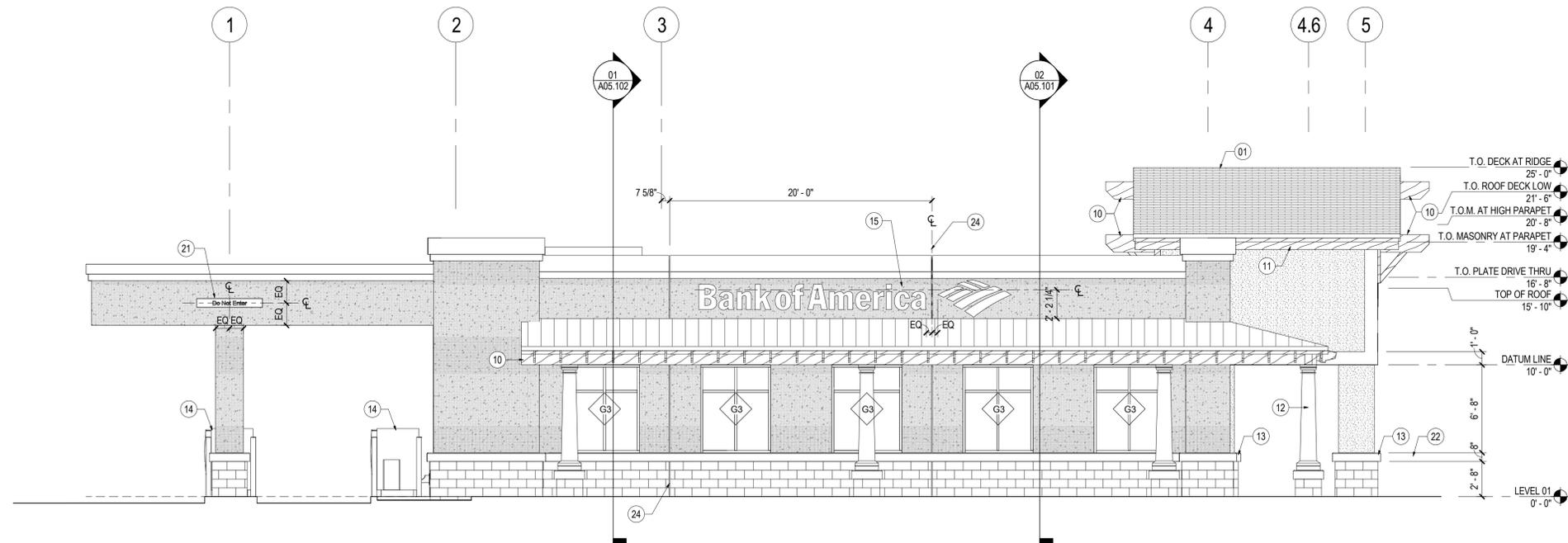
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Description
BUILDING ELEVATIONS

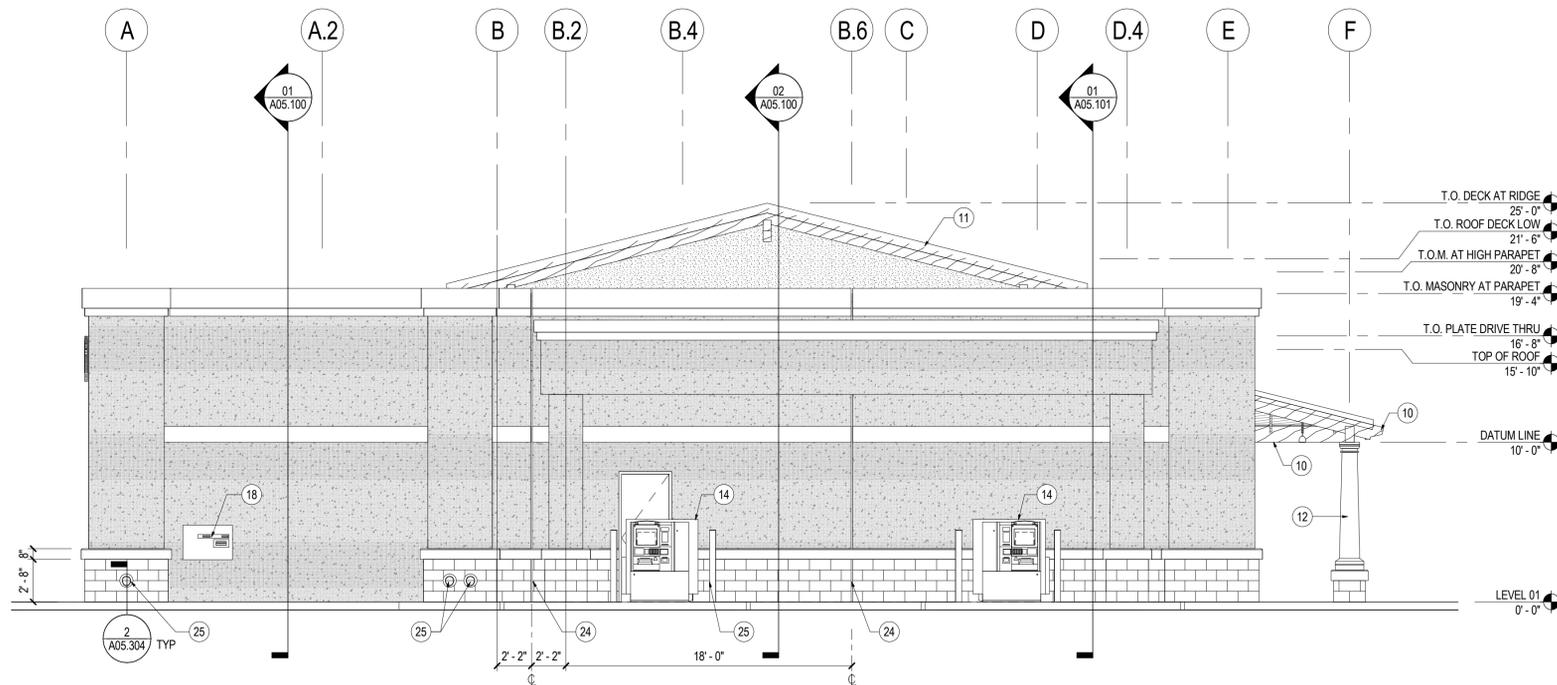
Scale
As indicated

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01 BUILDING ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"



02 BUILDING ELEVATION - WEST
SCALE: 3/16" = 1'-0"

SHEET NOTES

- 01 BORAL ROOFING RAMADA CONCRETE ROOF TILE. REFER TO LEGEND
- 10 WOOD BEAM, PAINTED TO MATCH SP-1
- 11 WOOD FASCIA, PAINTED TO MATCH SP-1
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- 18 DRIVE UP NIGHT DEPOSIT BOX. SEE PLAN
- 21 S-TYPE REGULATORY DIRECTIONAL / INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- 22 BIKE RACKS. SEE SITE PLAN
- 24 MASONRY CONTROL JOINT. SEE STRUCTURAL DRAWINGS
- 25 OVERFLOW ROOF DRAIN OUTLET

- T.O. DECK AT RIDGE 25'-0"
- T.O. ROOF DECK LOW 21'-6"
- T.O.M. AT HIGH PARAPET 20'-8"
- T.O. MASONRY AT PARAPET 19'-4"
- T.O. PLATE DRIVE THRU 16'-8"
- TOP OF ROOF 15'-10"
- DATUM LINE 10'-0"
- LEVEL 01 0'-0"

GENERAL NOTES

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A10.100 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM.
- E. REFER TO A10.200 FOR GLAZING AND WINDOW ELEVATIONS.
- F. REFER TO PLANS FOR OVERFLOW ROOF DRAIN LOCATIONS. SEE SHEET A05.304 FOR TYPICAL OVERFLOW ROOF DRAIN DETAIL.
- G. SEE STRUCTURAL DRAWINGS FOR CONTROL JOINTS NOT SHOWN.

LEGEND

- SP-1 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7531 "CANVAS TAN"
- SP-2 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7549 "STUDIO TAUPE"
- SP-3 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7522 "MEADOWLARK"
- CMU - SUPERLITE, SPLIT FACE, BLOCK TYPE C - COLOR: "HARVEST BROWN"
- RAMADA CONCRETE ROOF TILE - BORAL ROOFING, MONTEREY SHAKE 600 - COLOR: "SILVER LAKE BLEND"
- STANDING SEAM METAL ROOF - BERRIDGE - COLOR: "DARK BRONZE"

BANK OF AMERICA
10748 E GUADALUPE RD
MESA, AZ 85212

Gensler

201 East Washington St
Suite 750
Phoenix, AZ 85004
United States
Tel 602.523.4900
Fax 602.523.4949

Date	Description
11.01.16	DESIGN REVIEW REVISION

Seal / Signature



Project Name

SIGNAL BUTTE RETAIL BRANCH

Project Number

57.7200.330

Description

BUILDING ELEVATIONS

Scale

As indicated

A04.101

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SHEET NOTES

- 01 BORAL ROOFING RAMADA CONCRETE ROOF TILE. REFER TO LEGEND
- 02 BERRIDGE STANDING SEAM METAL ROOF. REFER TO LEGEND
- 03 ALUMINUM FRAMED STOREFRONT GLAZING SYSTEM, CLEAR ANODIZED ALUMINUM FINISH
- 04 DISTANCE FROM FACE: +4" STUCCO FEATURE
- 05 CMU BLOCK TYPE C, SUPERLITE SPLIT FACE, COLOR: HARVEST BROWN. REFER TO LEGEND
- 06 DISTANCE FROM FACE: +3" STUCCO FEATURE
- 07 DISTANCE FROM FACE: +3" STUCCO PARAPET FEATURE
- 08 DISTANCE FROM FACE: +5" STUCCO FEATURE - PARAPET COPING
- 10 WOOD BEAM, PAINTED TO MATCH SP-1
- 11 WOOD FASCIA, PAINTED TO MATCH SP-1
- 12 CHADSWORTH PRE MANUFACTURED FAUX COLUMN, PAINTED TO MATCH SP-1
- 13 PRE CAST CONCRETE CAP: FRACTURED FACE 15WC MIDWEST CASTSTONE
- 14 DRIVE UP ATM EQUIPMENT BY OWNER
- 15 "BANK OF AMERICA" SIGNAGE BY OWNER. UNDER SEPARATE PERMIT. SIZE, DESIGN AND MATERIALS TO ADHERE TO DEVELOPMENT AND CITY OF MESA SIGN GUIDELINES
- 16 DUAL BIN TRASH ENCLOSURE
- 17 FLAG POLE, 30'-0" HIGH

LEGEND

- SP-1 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE) - COLOR: SW 7531 "CANVAS TAN"
- SP-2 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE) - COLOR: SW 7549 "STUDIO TAUPE"
- SP-3 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE) - COLOR: SW 7522 "MEADOWLARK"
- CMU - SUPERLITE, SPLIT FACE, BLOCK TYPE C - COLOR: "HARVEST BROWN"
- RAMADA CONCRETE ROOF TILE - BORAL ROOFING, MONTEREY SHAKE 600 - COLOR: "SILVER LAKE BLEND"
- STANDING SEAM METAL ROOF - BERRIDGE - COLOR: "DARK BRONZE"
- HARDIE SHINGLE "KHAKI BROWN"

GENERAL NOTES

BANK OF AMERICA

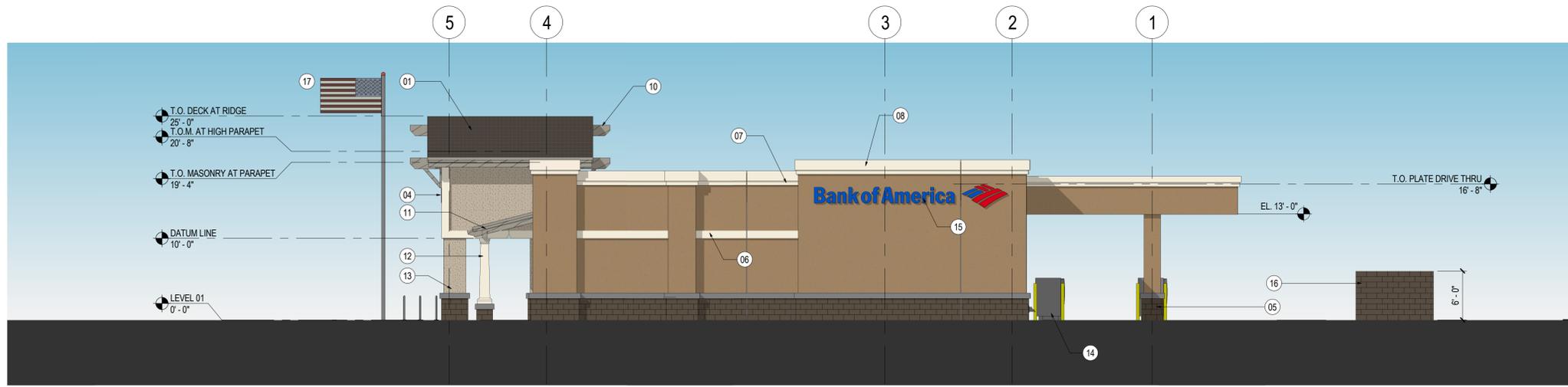
10748 E GUADALUPE RD
MESA, AZ 85212

Gensler

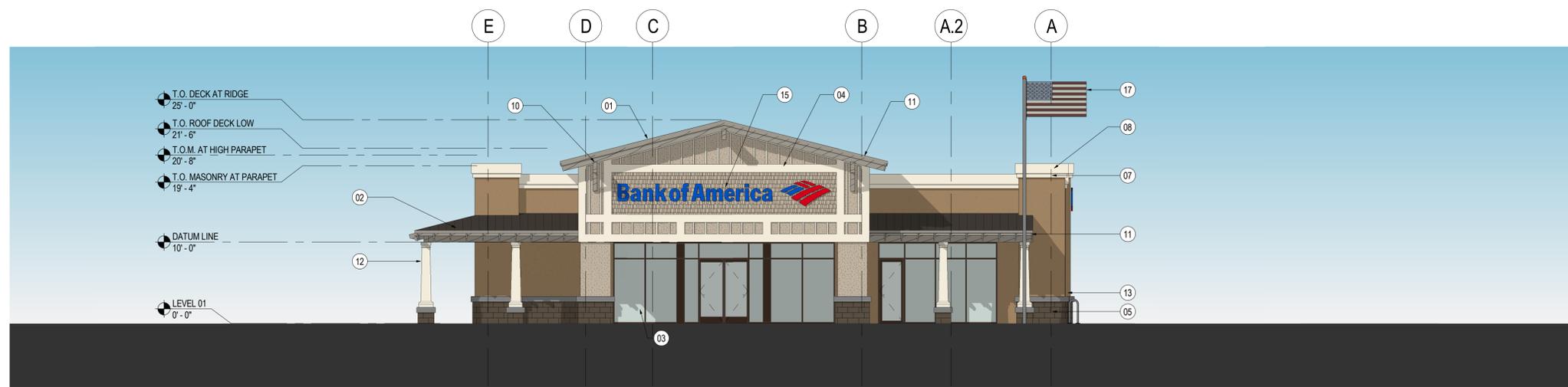
201 East Washington St
Suite 750
Phoenix, AZ 85004
United States

Tel 602.523.4900
Fax 602.523.4949

Date	Description
11.01.16	DESIGN REVIEW REVISION



01 NORTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



02 EAST ELEVATION - COLOR
SCALE: 1/8" = 1'-0"

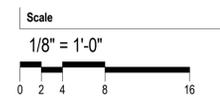
Seal / Signature



Project Name
SIGNAL BUTTE RETAIL BRANCH

Project Number
57.7200.330

Description
EXTERIOR ELEVATIONS



ADR.05



1. SLENDER VERTICAL SUPPORT ELEMENTS.

2. EXPOSED RAFTER TAILS AND BEAMS

3. WOOD SHINGLES.

4. EXPRESSION OF PRIMARY AND SECONDARY STRUCTURAL ELEMENTS.

5. LARGE EXPRESSIVE COLUMNS.



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SHEET NOTES

- 01 BORAL ROOFING RAMADA CONCRETE ROOF TILE. REFER TO LEGEND
- 02 BERRIDGE STANDING SEAM METAL ROOF. REFER TO LEGEND
- 05 CMU BLOCK TYPE C, SUPERLITE SPLIT FACE, COLOR: HARVEST BROWN. REFER TO LEGEND
- 06 DISTANCE FROM FACE: +3" STUCCO FEATURE
- 07 DISTANCE FROM FACE: +3" STUCCO PARAPET FEATURE
- 08 DISTANCE FROM FACE: +5" STUCCO FEATURE - PARAPET COPING
- 09 ALUMINUM FRAMED WINDOW SYSTEM, CLEAR ANODIZED ALUMINUM FINISH, TYP.
- 10 WOOD BEAM, PAINTED TO MATCH SP-1
- 11 WOOD FASCIA, PAINTED TO MATCH SP-1
- 12 CHADSWORTH PRE MANUFACTURED FAUX COLUMN, PAINTED TO MATCH SP-1
- 13 PRE CAST CONCRETE CAP: FRACTURED FACE 15WC MIDWEST CASTSTONE
- 14 DRIVE UP ATM EQUIPMENT BY OWNER
- 15 "BANK OF AMERICA" SIGNAGE BY OWNER. UNDER SEPARATE PERMIT. SIZE, DESIGN AND MATERIALS TO ADHERE TO DEVELOPMENT AND CITY OF MESA SIGN GUIDELINES
- 16 DUAL BIN TRASH ENCLOSURE
- 17 FLAG POLE, 30'-0" HIGH
- 18 DRIVE UP NIGHT DEPOSIT BOX
- 19 FUTURE DRIVE UP ATM LOCATION

LEGEND

- SP-1 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7531 "CANVAS TAN"
- SP-2 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7549 "STUDIO TAUPE"
- SP-3 - INTEGRAL COLOR STUCCO SYSTEM-(SAND TEXTURE) - COLOR: SW 7522 "MEADOWLARK"
- CMU - SUPERLITE, SPLIT FACE, BLOCK TYPE C - COLOR: "HARVEST BROWN"
- RAMADA CONCRETE ROOF TILE - BORAL ROOFING, MONTEREY SHAKE 600 - COLOR: "SILVER LAKE BLEND"
- STANDING SEAM METAL ROOF - BERRIDGE - COLOR: "DARK BRONZE"
- HARDIE SHINGLE "KHAKI BROWN"

GENERAL NOTES

BANK OF AMERICA

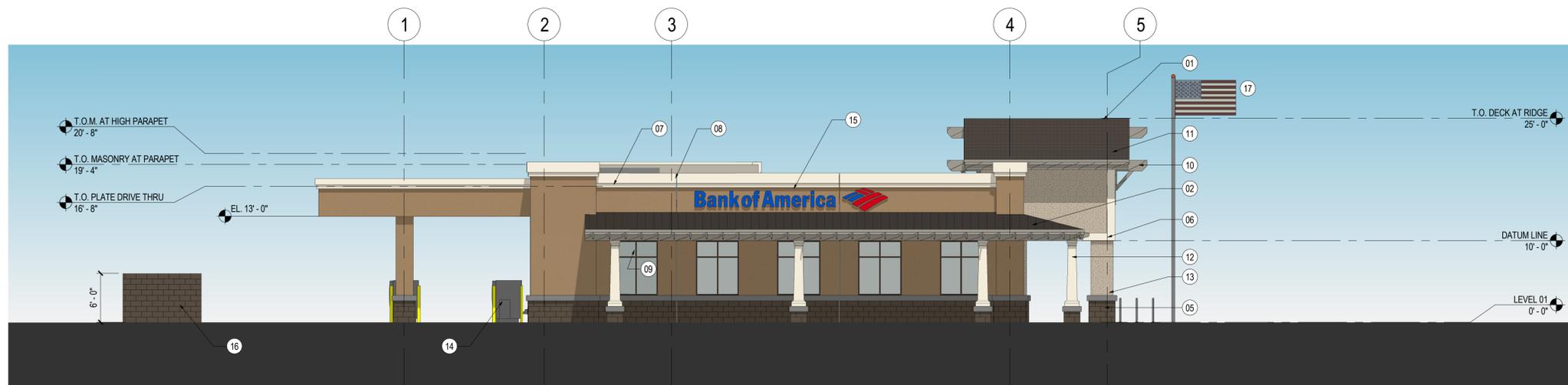
10748 E GUADALUPE RD
MESA, AZ 85212

Gensler

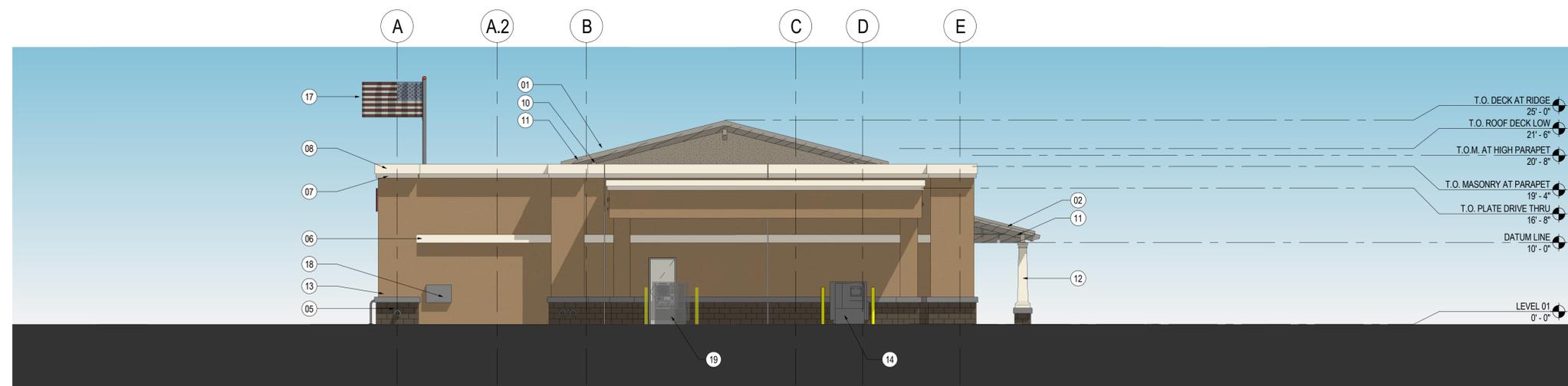
201 East Washington St
Suite 750
Phoenix, AZ 85004
United States

Tel 602.523.4900
Fax 602.523.4949

Date	Description
11.01.16	DESIGN REVIEW REVISION



01 SOUTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



02 WEST ELEVATION - COLOR
SCALE: 1/8" = 1'-0"

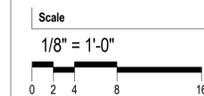
Seal / Signature



Project Name
SIGNAL BUTTE RETAIL BRANCH

Project Number
57.7200.330

Description
EXTERIOR ELEVATIONS



ADR.06

MATERIAL BOARD

Bank of America Signal Butte and Guadalupe New Ground-Up Store
City of Mesa - DESIGN REVIEW

Gensler

08/29/16

Project Number: 57.7200.330

INTEGRAL COLOR STUCCO SYSTEM



SP-1 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE)
COLOR: TO MATCH SHERWIN WILLIAMS "CANVAS TAN"
SW 7531



SP-2 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE)
COLOR: TO MATCH SHERWIN WILLIAMS "STUDIO TAUPE"
SW 7549



SP-3 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE)
COLOR: TO MATCH SHERWIN WILLIAMS "MEADOWLARK"
SW7522

FIELD MASONRY



CMU - SUPERLITE, SPLIT FACE, BLOCK TYPE C CMU
COLOR: HARVEST BROWN

ROOF



RAMADA CONCRETE ROOF TILE - BORAL ROOFING
MONTEREY SHAKE 600
COLOR: SILVER LAKE BLEND



STANDING SEAM METAL - BERRIDGE
COLOR: DARK BRONZE

STOREFRONT



ALUMINUM FRAMED STOREFRONT GLAZING SYSTEM
FINISH: DARK BRONZE ANODIZED ALUMINUM

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

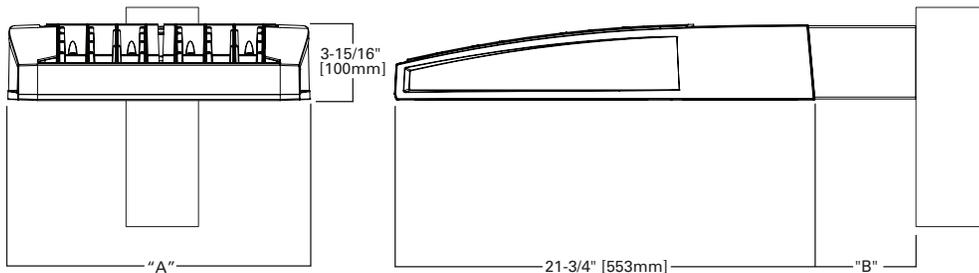


GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

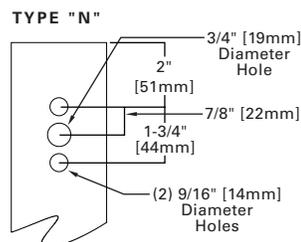


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

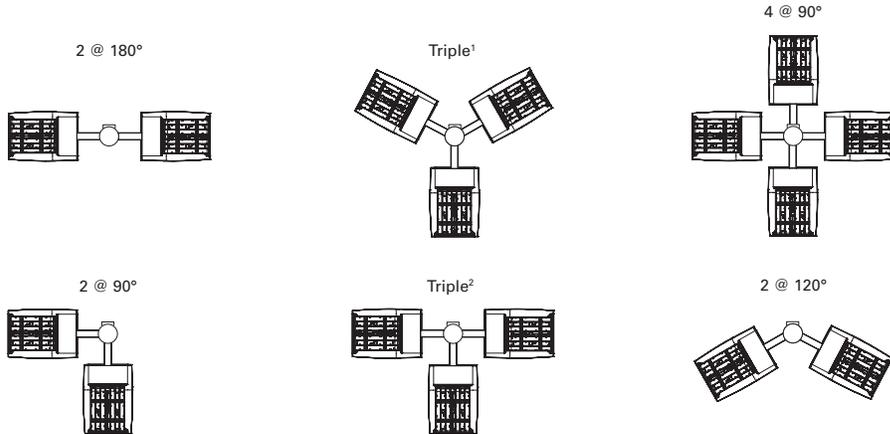
UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

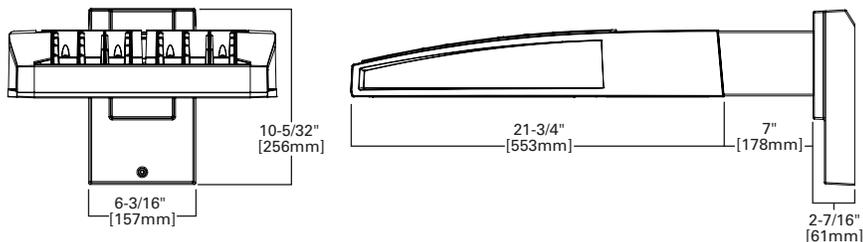
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

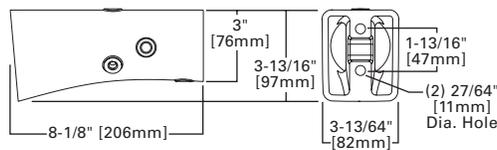


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

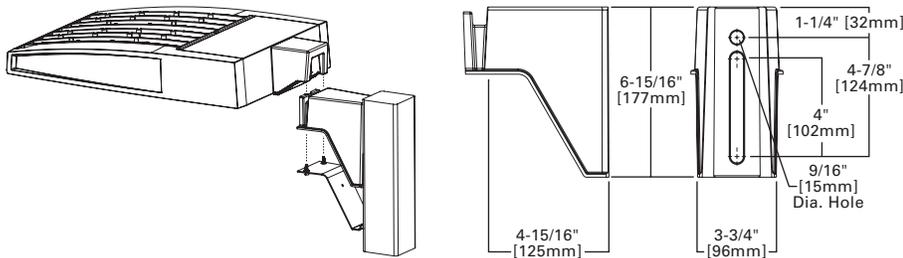
STANDARD WALL MOUNT



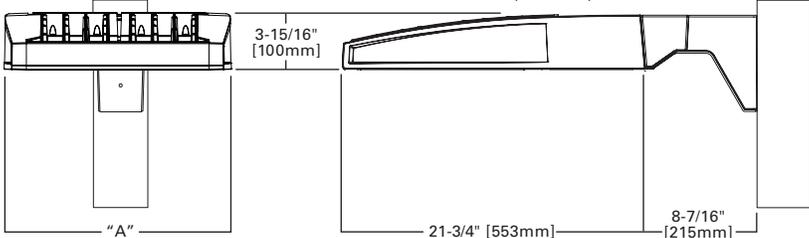
MAST ARM MOUNT



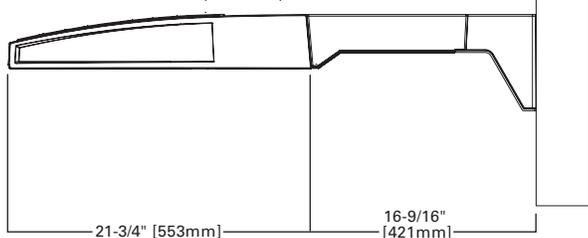
QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

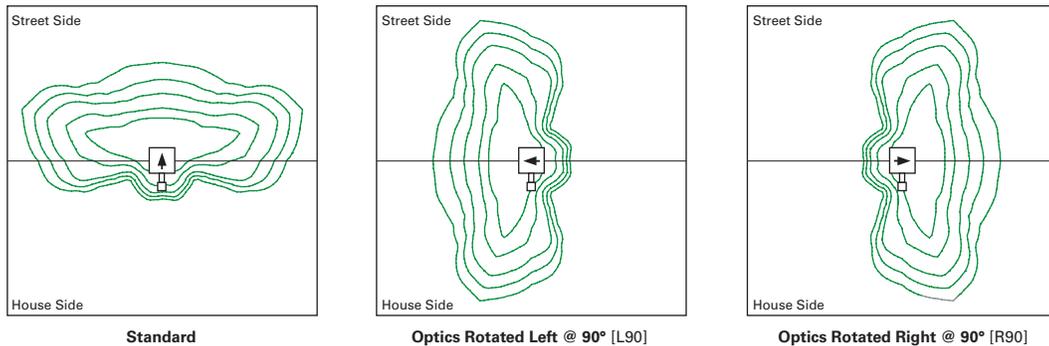


QUICK MOUNT ARM DATA

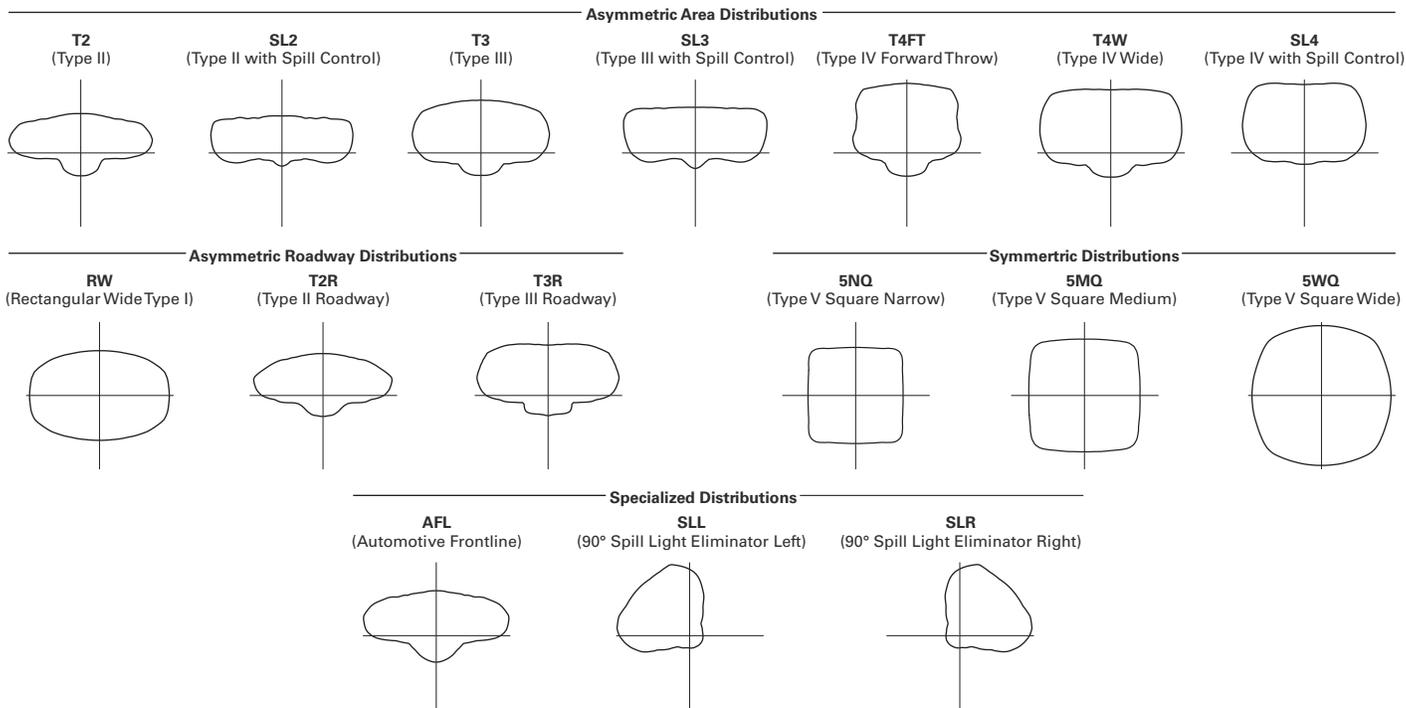
Number of Light Squares ^{1,2}	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 ³	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

OPTIC ORIENTATION



OPTICAL DISTRIBUTIONS

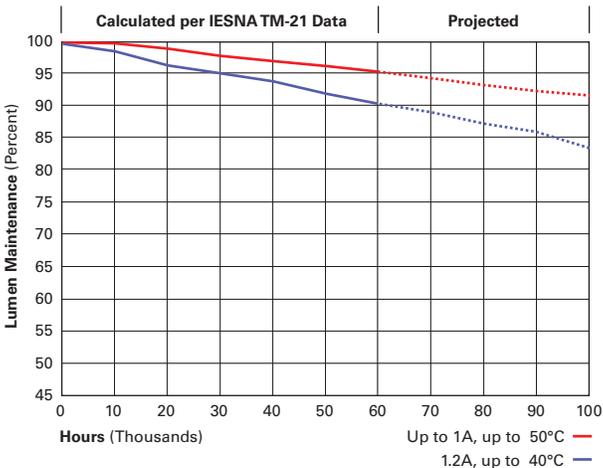


LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



MULBERRY *Marketplace*



Project Design Guidelines

NWC Guadalupe and Signal Butte
Mesa, AZ

09.11.14



MULBERRY *Marketplace*

DEVELOPMENT TEAM

OWNER/DEVELOPER

Brown Group

Contact: Todd Kjar
Brown Group, Inc.
7508 E. Camelback Road
Scottsdale, Arizona 85251
Office Phone: (480) 483-2772
Cell Phone: (480) 577-1552



BROWN GROUP, INC

ARCHITECT

Butler Design Group, Inc.

Contact: Rick Butler
5017 E. Washington Street
Suite 107
Phoenix, Arizona 85034
Phone: (602) 957-1800
Fax: (602) 957-7722
E-mail: rbutler@butlerdesigngroup.com



Butler Design Group, Inc.
architects & planners

CIVIL ENGINEER

Sustainability Engineering Group

Contact: Ali Fakih
8280 E. Gelding Dr. Suite 101
Scottsdale, Arizona 85260
Office Phone: (480) 588-7226
Cell Phone: (480) 516-5514
E-mail: Ali@azseg.com



SEG

SUSTAINABILITY
ENGINEERING
GROUP

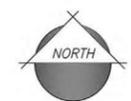
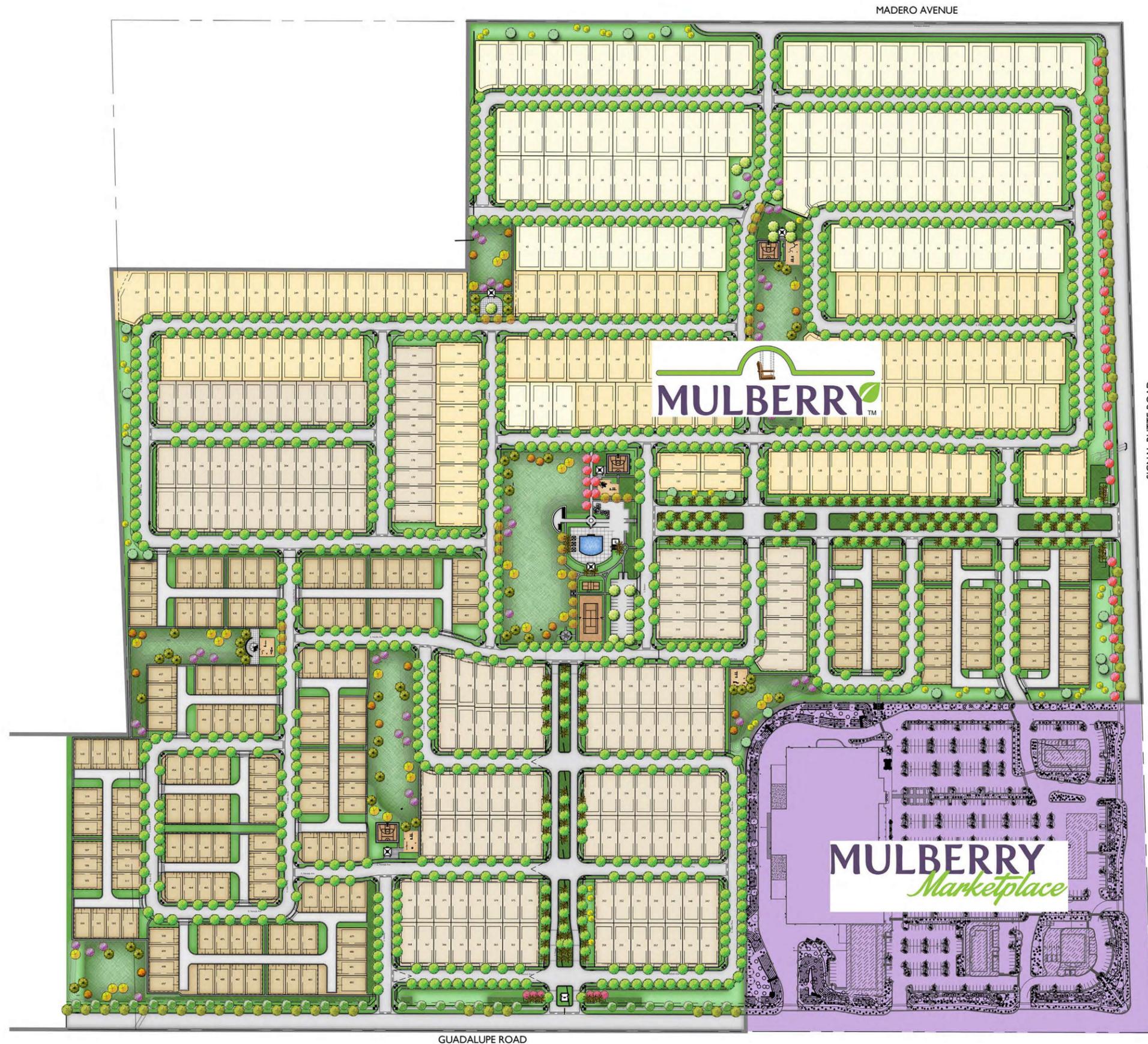
LANDSCAPE ARCHITECT

Laskin & Associates, Inc.

Contact: Hardy Laskin
67 East Weldon Ave.
Suite 230
Phoenix, Arizona 85012
Phone: (602) 840-7771
Fax: (602) 840-8021
E-mail: hardy@laskindesign.com



Master Site Plan



The Mulberry 'Story'

Mulberry, Blandford Homes latest Master Planned Community, is planned to open in 2015. The 128-acre community is located on the northwest corner of Guadalupe Road and Signal Butte Road, in Mesa, Arizona. Homes will range from 1,600 square feet to over 4,000 square feet.

Mulberry, as Blandford Homes describes, is ***"The New Old Home Neighborhood"***.

The Mulberry architectural character is purposefully very eclectic, drawing from historical styles, including Bungalow, Spanish Mission, French Country, Tuscan, Cottage and Craftsman. Even the colors and materials throughout the Community are diverse. No two adjacent houses will look alike. Every homeowner will feel like their home is truly unique. Quality in every sense will be evident throughout Mulberry. Every 'detail' has been thoughtfully worked out from the architecture, to landscaping and tree lined streetscapes, open space and parks, to the clubhouse and community amenities. When completed Mulberry will look/feel like the neighborhoods reminiscent of the early 1900's.



Mulberry Marketplace (MM), the projects 17.64-acre neighborhood commercial corner, is a planned asset to the community vs a *carved-out* parcel that is traditionally separately developed, walled off, and turns 'its back' on the adjacent residential community. To the contrary, MM is open *visually and physically* to Mulberry. Only a 42" high wall is planned along its northern border (vs a traditional 6-foot wall typically required by Code), plus pedestrian and vehicular connections have been incorporated on the north side of the project. The center is anchored by Fry's grocery store, plus includes a variety of retail stores, restaurants and a possible bank branch.

Mulberry Marketplace proposes a *Craftsman architectural style* to blend/compliment the diversity within the residential community. This design style gained prominence in the late 1800's inspired by the English Arts and Crafts movement. That movement came about as a reaction against the eclectic Victorian 'over-decorated' aesthetic and the Industrial Revolution's perceived devaluation of the individual worker and resulting degradation of the dignity of human labor. Here in



America its tenants inspired to develop and encourage higher standards in the handicrafts, design, originality and a high regard for the relationship of form and function. The Craftsman architectural character incorporates a visible sturdy structure of clean lines and natural materials. Design elements include the use of exposed wood plank underside colonnades, tapered columns, decorative exposed beam and rafter tail ends and shake siding elements and fine stucco finishes. Other characteristics are gable roofs, overhangs and building projections featuring a mix of materials from masonry to stone and a variety of sidings.

To further accentuate the array of design styles, the MM freestanding Pad buildings will promote, and even encourage, individualist character that is not necessarily Craftsman, or even a matching color/material palette. Instead, each Pad has the 'option' of being one of the design vocabularies defined within the residential community. This design approach is purposeful as it strengthens the eclectic mix of styles, plus, because the size/scale of these buildings (3000-6000 SF) is more proportionate to the adjacent homes, this option simply makes sense. Since each Pad must achieve individual Staff and Design Review Board approval, the style, detailing colors and materials will be need to be submitted, reviewed and approved at a future time.



The landscape within the Mulberry residential community is characterized by tree-lined streets and boulevards, detached sidewalks, and a neighborhood park. The enhanced traditional landscape theme highlights a lush, green and colorful planting, with tree-lined walkable streets, formalized colorful plantings with turf, shade trees and date palms within the main and secondary entry boulevards. The Marketplace utilizes a common landscape palette, including date palms at strategic locations, but is designed to be more arid/drought tolerant and low maintenance. Additionally, tree types were specified that would offer shade while offering visibility to the merchants within the Center.

To achieve a compatible, integrated and complimentary Mulberry community, the Teams (residential and commercial) determined that the most important elements in tying/blending the retail with the residential were mostly **'site ' related**. Common design elements include:

- Similar site wall detailing throughout
- Similar street-scape landscaping
- Common plant palettes, including tree-types, and even decomposed gravel as a 'foundation'
- Steel (or vinyl) accent fences (painted white)



- Date Palms. This was determined to be the most significant and important unifying element. The residential community proposes over 150 palms. The shopping center has incorporated 20 palms; at key driveways, the main corner, and at the Frys entries.

Mulberry and Mulberry Marketplace, are a combined vision of Blandford Homes, the Brown Group, Frys, and a talented TEAM of consultants striving to create an integrated and thoughtfully designed Community within the City of Mesa.

Residential Architectural Character

Spanish



Cottage



Craftsman



Residential Landscape Palette

Guadalupe Road Streetscape

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
--------	-----------------	-------------	------

TREES

	<i>Chitalpa x 'Pink Dawn'</i>	Chitalpa	24" Box
	<i>Dalbergia sissoo</i>	Sissoo	24" Box
	<i>Fraxinus velutina</i>	Arizona Ash	24" Box
	<i>Phoenix dactylifera</i>	Date Palm	24" Box

SHRUBS/ACCENTS	COMMON NAME	SIZE
----------------	-------------	------

	<i>Bougainvillea 'La Jolla'</i>	La Jolla Bougainvillea	5 Gal
	<i>Dasylirion quadrangulatum</i>	Mexican Grass Tree	5 Gal
	<i>Euphorbia rigida</i>	Gopher Plant	5 Gal
	<i>Gossypium harknessii</i>	San Marcos Hibiscus	5 Gal
	<i>Hesperaloe parviflora 'Perpa' Brakelights®</i>	Crimson Yucca	5 Gal
	<i>Leucophyllum frutescens 'Compacta'</i>	Compact Texas Ranger	5 Gal
	<i>Muhlenbergia lindheimeri Autumn Glow®</i>	Lindheimer Muhly	5 Gal
	<i>Nerium oleander 'Petite Pink'</i>	Dwarf Pink Oleander	5 Gal
	<i>Russelia equisetiformis</i>	Coral Fountain	5 Gal
	<i>Simmondsia chinensis 'Vista'</i>	Compact Jojoba	5 Gal

GROUNDCOVERS	COMMON NAME	SIZE
--------------	-------------	------

	<i>Lantana x 'New Gold'</i>	New Gold Lantana	1 Gal
	<i>Myoporum parvifolium 'Dwarf'</i>	Dwarf Myoporum	1 Gal
	<i>Rosmarinus officinalis 'Huntington Carpet'</i>	Trailing Rosemary	1 Gal
	<i>Sphagnetocolia trilobata</i>	Yellow Dot	1 Gal

TURF & PERENNIALS

	<i>Cynodon dactylon 'Tifway 419'</i>	Tifway 419	Sod
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	Seasonal annuals (4" pot @ 12" O.C. to be selected at time of planting)		
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Signal Butte Road Streetscape

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
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TREES

	<i>Chitalpa x 'Pink Dawn'</i>	Chitalpa	24" Box
	<i>Dalbergia sissoo</i>	Sissoo	24" Box
	<i>Phoenix dactylifera</i>	Date Palm	24" Box
	<i>Pistacia chinensis</i>	Sarah's Radiance Pistache TM	24" Box

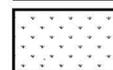
SHRUBS/ACCENTS	COMMON NAME	SIZE
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	<i>Bougainvillea 'La Jolla'</i>	La Jolla Bougainvillea	5 Gal
	<i>Dasylirion quadrangulatum</i>	Mexican Grass Tree	5 Gal
	<i>Eremophila x Summertime Blue</i>	Summertime Blue	5 Gal
	<i>Euphorbia rigida</i>	Gopher Plant	5 Gal
	<i>Gossypium harknessii</i>	San Marcos Hibiscus	5 Gal
	<i>Hesperaloe parviflora 'Perpa' Brakelights®</i>	Crimson Yucca	5 Gal
	<i>Leucophyllum frutescens 'Compacta'</i>	Compact Texas Ranger	5 Gal
	<i>Muhlenbergia lindheimeri Autumn Glow®</i>	Lindheimer Muhly	5 Gal
	<i>Nerium oleander 'Petite Pink'</i>	Dwarf Pink Oleander	5 Gal
	<i>Russelia equisetiformis</i>	Coral Fountain	5 Gal
	<i>Senna nemophila</i>	Desert Cassia	5 Gal
	<i>Simmondsia chinensis 'Vista'</i>	Compact Jojoba	5 Gal
	<i>Tecoma stans 'Gold Star'</i>	Yellow Bells	5 Gal

GROUNDCOVERS	COMMON NAME	SIZE
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	<i>Lantana x 'New Gold'</i>	New Gold Lantana	1 Gal
	<i>Myoporum parvifolium 'Dwarf'</i>	Dwarf Myoporum	1 Gal
	<i>Sphagnetocolia trilobata</i>	Yellow Dot	1 Gal

TURF & PERENNIALS

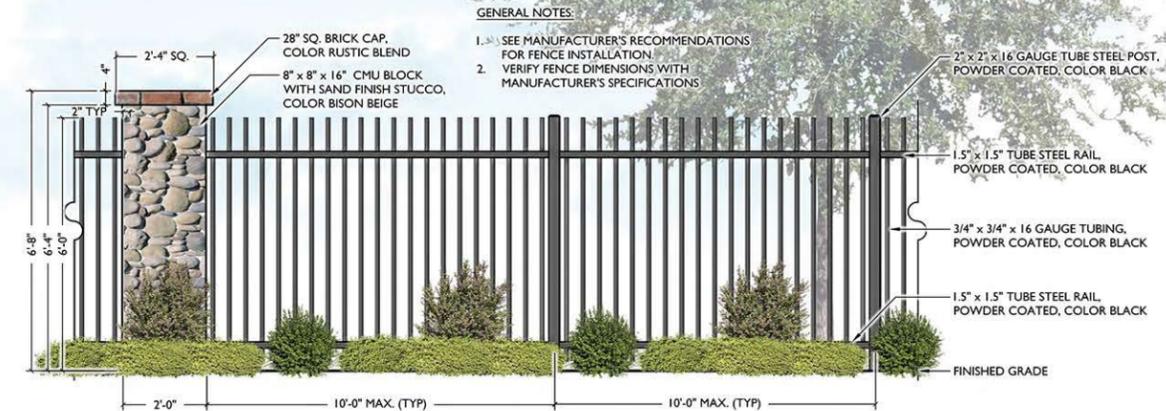
	<i>Cynodon dactylon 'Tifway 419'</i>	Tifway 419	Sod
---	--------------------------------------	------------	-----

	Seasonal annuals (4" pot @ 12" O.C. to be selected at time of planting)		
---	---	--	--



1 PRIMARY THEME WALL
Scale: 1/2" = 1' - 0"

2 SECONDARY THEME WALL
Scale: 1/2" = 1' - 0"



3 PARTIAL VIEW FENCE
Scale: 1/2" = 1' - 0"

4 FULL VIEW FENCE
Scale: 1/2" = 1' - 0"



STONE VENEER
Coronado Stone
Creek Rock - Apache Brown

CMU BLOCK
Superlite Block
Smooth, Color - Cocoa Brown

CMU BLOCK
Superlite Block
Smooth, Color - Bone

CMU BLOCK
Superlite Block
Split face, Color - Bone

STUCCO COLOR
Dunn Edwards
DEC 750 Bison Beige or Equal

METAL FENCE
Color Black or Equal

MULBERRY *Marketplace*



Commercial Design Guidelines

Major Tenant Rendering



Shops Building Rendering



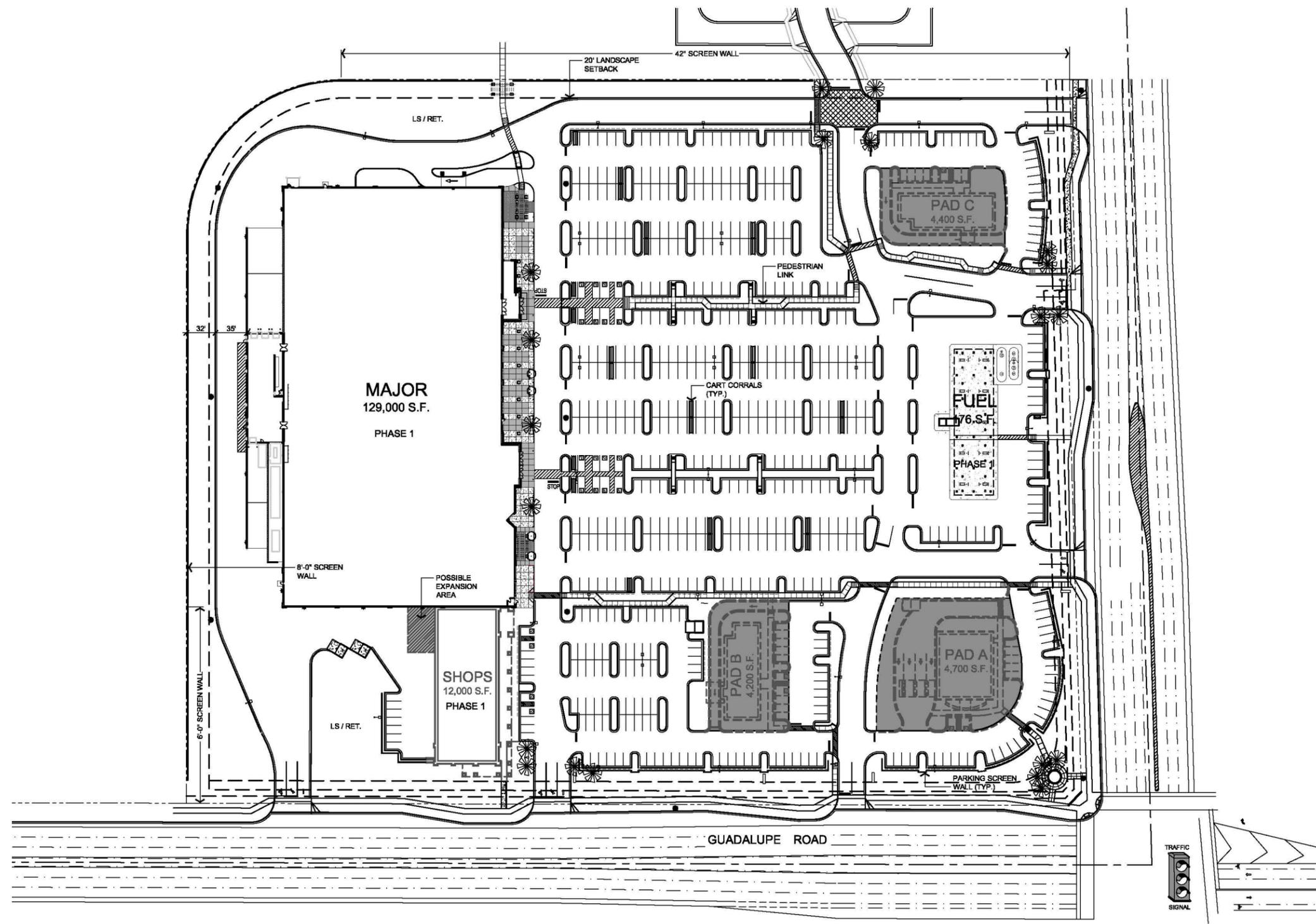
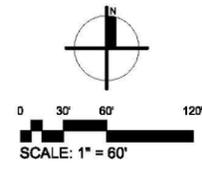


MULBERRY

Marketplace

N.W.C. Signal Butte & Guadalupe

Mesa, Arizona



Legal Description

THE SOUTHEAST QUARTER AND THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP ONE SOUTH, RANGE SEVEN EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN MARICOPA COUNTY, ARIZONA.

Site Data

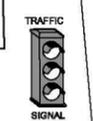
Existing Zoning:	RM-2
Proposed Zoning:	LC-PAD
APN#:	304-01-976A
Net Site Area:	768,391 S.F. (17.64 AC.)
Total Building Area:	154,476 S.F.
Coverage: (N.I.C. Mezz.)	20.1%
Parking Provided: (All parking min. 9' x 18'; Major parking 10' x 18')	620 Spaces
Parking Ratio:	4.0 / 1,000 S.F.

Proposed Heights

32'-0" (Plus Embellishments)
22'-0" - 24'-0" (Plus Embellishments)

Parking Breakdown

Major (Incl. Gas Kisok-176 S.F. & Mezz. 6,000 S.F.) (129,176 S.F. / 375 S.F.):	345 Spaces
Shops (8,000 S.F. / 375 S.F.) (4,000 S.F. / 75 S.F.):	22 Spaces 54 Spaces
Patio (1,000 S.F. / 200 S.F.):	5 Spaces
Pad A (4,700 S.F. / 375 S.F.):	12 Spaces
Pad B (4,200 S.F. / 100 S.F.):	42 Spaces
Pad C (4,400 S.F. / 100 S.F.):	44 Spaces
Total Parking Required:	524 Spaces
Total Parking Provided: (Incl.'s 26 ADA Spaces)	620 Spaces



MULBERRY Marketplace

■ FUTURE PHASES

Commercial Site Plan Data

Site Data

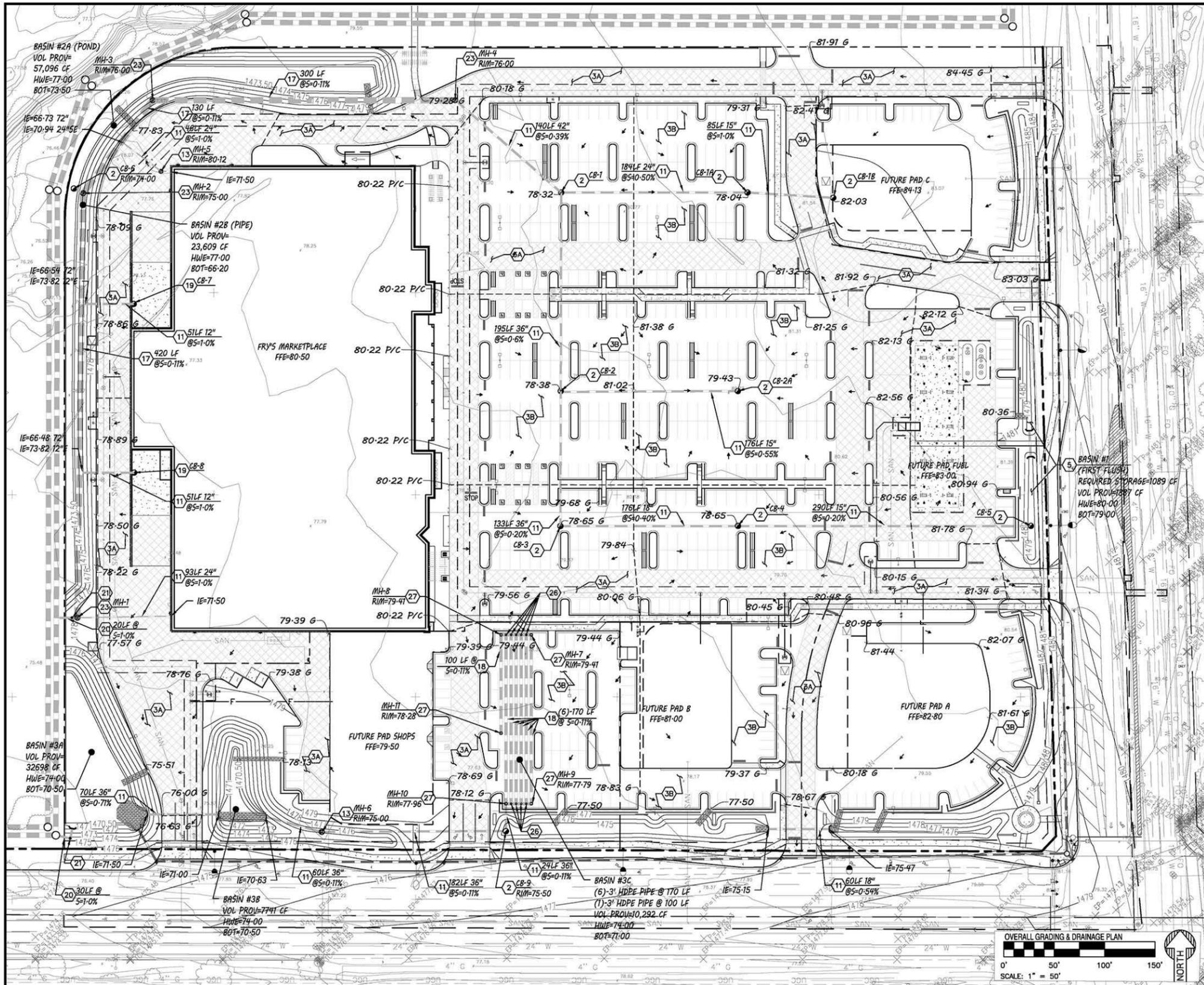
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32'-0" (Plus Embellishments)
22'-0" - 24'-0" (Plus Embellishments)

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Major (Incl. Gas Kisok-176 S.F. & Mezz. 6,000 S.F.) (129,176 S.F. / 375 S.F.):	345 Spaces
Shops (8,000 S.F. / 375 S.F.):	22 Spaces
(4,000 S.F. / 75 S.F.):	54 Spaces
Patio (1,000 S.F. / 200 S.F.):	5 Spaces
Pad A (4,700 S.F. / 375 S.F.):	12 Spaces
Pad B (4,200 S.F. / 100 S.F.):	42 Spaces
Pad C (4,400 S.F. / 100 S.F.):	44 Spaces
Total Parking Required:	524 Spaces
Total Parking Provided: (Incl.'s 26 ADA Spaces)	620 Spaces



CONSTRUCTION NOTES

- 1 MATCH EXISTING GRADE, CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO ANY CONSTRUCTION ACTIVITIES AND TO CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 FURNISH & INSTALL 30" NYLOPLAST CATCH BASIN WITH TRAFFIC RATED GRATE. REFER TO DETAIL ON SHEET C3-60.
- 3A CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT SECTION PER GEOTECH RECOMMENDATION. REFER TO DETAIL ON SHEET C3-60.
- 3B CONSTRUCT LIGHT DUTY ASPHALT PAVEMENT SECTION PER GEOTECH RECOMMENDATION. REFER TO DETAIL ON SHEET C3-60.
- 4 CONSTRUCT CONCRETE PAD, REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- 5 BIOSWALE. REFER TO DETAIL ON SHEET C3-60.
- 6 2% MAXIMUM CROSS SLOPE ACROSS FUEL CENTER'S CONCRETE PAD AND ACROSS ADA PARKING SPACES.
- 7 CONSTRUCT 6" CURB/GUTTER PER M-A-G STANDARD DETAIL 220 TYPE A.
- 8 SCREEN WALL (TYP.) REFER TO DETAIL ARCHITECTURAL PLANS.
- 9 CURB OPENING. WIDTH PER PLAN.
- 10 FURNISH & INSTALL CATCH BASIN PER MAG STD DET 533-1.
- 11 FURNISH & INSTALL HDPE STORM PIPE. SLOPE & DIA. PER PLAN.
- 12 FURNISH & INSTALL RCP STORM PIPE. SLOPE & DIA. PER PLAN.
- 13 FURNISH & INSTALL STORM DRAIN MANHOLE PER MAG 520 & 522.
- 14 FURNISH & INSTALL RIP-RAP. D₅₀=6", 12" DEPTH, DIMENSIONS PER PLAN. REFER TO DETAIL ON SHEET C3-60.
- 15 FURNISH AND INSTALL FLARED END SECTION.
- 16 FURNISH AND INSTALL SIDEWALK PER MAG 5D DET 230.
- 17 FURNISH AND INSTALL 72" CMP. REFER TO DETAIL ON SHEET C3-70.
- 18 FURNISH AND INSTALL 36" DIAMETER HDPE STORAGE PIPE.
- 19 FURNISH & INSTALL NEENAH R-3165 COMBINATION INLET OR APPROVED EQUAL. REFER TO KROGER STD DET ASD-11 4A AND ARCHITECTURAL PLANS.
- 20 FURNISH & INSTALL 8" D-I-P @ 5%, LENGTH PER PLAN.
- 21 FURNISH & INSTALL 8" GATE VALVE, BOX & COVER. PER MAG STD DET 391-1. REPLACE "WATER" COVER WITH "STORM" COVER.
- 22 FURNISH & INSTALL EXTRUDED CURB.
- 23 FURNISH & INSTALL STORM DRAIN MANHOLE PER MAG STD DET 521 & 522 WITH 30" FRAME AND COVER PER MAG STD DET 423-2.
- 24 FURNISH & INSTALL 30" CMP RISER WITH FRAME AND COVER PER PIPE MANUFACTURER DETAIL ON SHEET C3-70.
- 25 FURNISH & INSTALL HEADWALL PER MAG STD DET 501-4.
- 26 FURNISH & INSTALL 18" NYLOPLAST INLINE RISER WITH VENTED LID AND CONCRETE COLLAR. REFER TO DETAIL ON SHEET C3-70.
- 27 FURNISH & INSTALL 24" NYLOPLAST INLINE RISER WITH VENTED LID AND CONCRETE COLLAR. REFER TO DETAIL ON SHEET C3-70.
- 28 FURNISH & INSTALL 5' CONCRETE JUNCTION BOX PER MAG STD DET 504.

STRUCTURE SCHEDULE

ID	INVERT	ID	INVERT
CB-1	71-71 24" E	MH-1	66-00 8" W, 72" N
	71-51 42" NW		70-58 24" E
	71-91 36" S	MH-2	66-66 72" S&E, 24" NW
CB-1A	73-63 24" W	MH-3	66-79 72" SW&E
	74-23 18" E	MH-4	67-12 72" W
CB-1B	75-08 18" W	MH-5	70-96 42" SE
	74-48 15" E	MH-6	70-70 36" NW&E
CB-2	73-08 36" N&S	MH-7	71-13 36" S&W
	74-55 18" E	MH-8	71-11 36" S&E
CB-3	73-35 36" N	MH-9	70-95 36" N&W
	75-25 18" W	MH-10	70-92 36" N, S, & E
	75-45 15" E	MH-11	71-21 36" N
CB-4	75-03 15" W		
	74-33 12" W		
CB-5	66-76 24" SE		
CB-7	74-33 12" W		
CB-8	74-33 12" W		
CB-9	70-90 36" N&W		

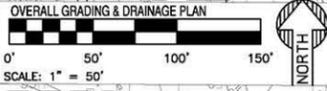
REQUIRED STORAGE VOLUME = 130,158 CF
 PROVIDED STORAGE VOLUME = 131,436 CF

GRADING NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
2. PROPOSED SPOT ELEVATIONS SHOWN REPRESENT FINISHED PAVING, SIDEWALK, SLAB, GUTTER FLOWLINE, OR GROUND ELEVATION. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
5. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE STABILIZED.
6. IF STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS ARE STOCKPILED ON THE SITE, THESE MATERIALS MAY BE PLACED TO A HEIGHT OF FIVE FEET. SILT FENCE SHALL BE PLACED AROUND THE BASE OF THE STOCKPILE AND THE STOCKPILE SHALL BE SEEDED WITH NATIVE SEED MIX IMMEDIATELY AFTER STRIPPING OPERATIONS ARE COMPLETE.
7. IF APPLICABLE, LIME TREATED SUBGRADE MATERIAL SHOULD MEET ARIZONA HIGHWAY DEPARTMENT SPECIFICATIONS. A SPECIFIC MIX DESIGN SHOULD BE PREPARED BY THE GEOTECHNICAL CONSULTANT.
8. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, BOXES, ETC.) SHALL BE ADJUSTED TO PROPOSED GRADE PRIOR TO PLACEMENT OF THE FINAL LIFT OF ASPHALT.
9. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE SOILS REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE SOILS REPORT ON THE SITE AT ALL TIMES.
10. SUBGRADE WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN SUBGRADE ELEVATION. HOWEVER, ON THE FINISHED ASPHALT SURFACE, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

GRADING NOTES CONTINUED:

11. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPES AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR THE TYPICAL SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURED WITHOUT APPROVAL OF THE ENGINEER.
12. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
13. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES TO ENSURE NO STANDING WATER.
14. PROVIDE THICKENED PAVEMENT TRANSITION AROUND STRUCTURES AND AT OPEN EDGE OF PAVEMENT SECTION.
15. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
16. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
17. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
18. THE CONTRACTOR IS ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT HE SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE PROJECT AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.



SEAL

SUSTAINABILITY
ENGINEERING
GROUP

SEG



FOOD & DRUG STORES
fry's
Fry's Food Stores of Arizona
500 South 98th Avenue, Bldg A
Tolleson, AZ 85355
Phone (602) 907-1994
Fax (602) 907-1974

Kroger
The Kroger Co.
10251 East 51st Street, Suite A
Denver, CO 80239
Phone (303) 715-5917
Fax (303) 715-5905

PROJECT: MULBERRY MARKETPLACE
LOCATION: NMC E GUADALUPE RD & S SIGNAL BUTTE RD, MESA, AZ

DESIGN: MILES
CHECKED: MILES
PROJ. MGR: COUNSELL
FAKIH

DATE: 09-11-2014

ISSUED FOR: DRB

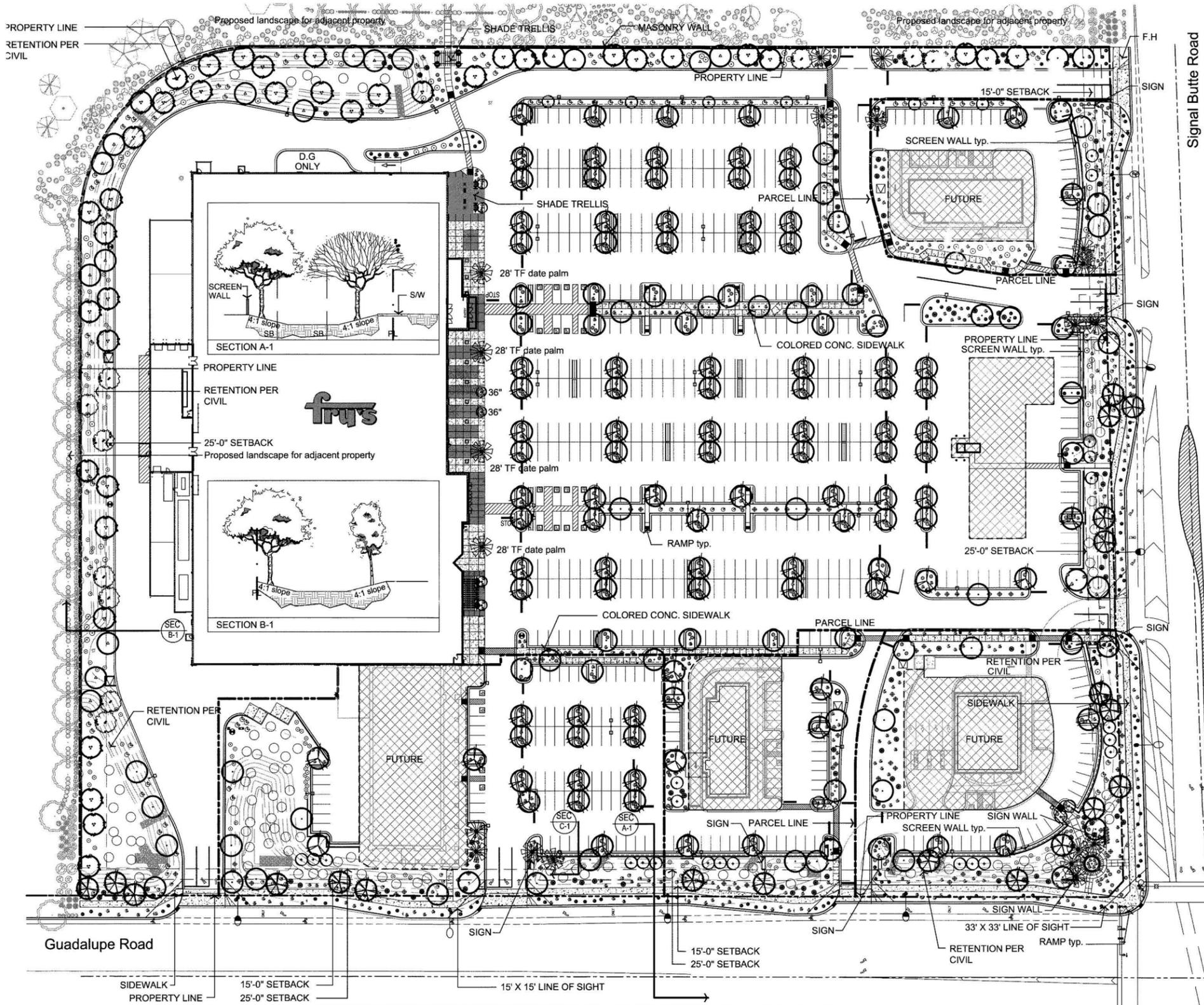
REVISION NO.: DATE:

JOB NO.: CD140186

SHEET TITLE: OVERALL GRADING & DRAINAGE PLAN

SHEET NO.: C3.00

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.



LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED) All tree caliper required at time of planting

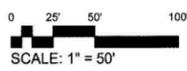
TREES	SIZE / CLPR / HT.	SHRUBS / ACCENTS / VINES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box 36" Box low breaking stand.	Tecoma stans "Gold Star" Yellow Bells	5 Gallon
Pinus eiderica Mondel Pine	15 Gallon stand.	Bougainvillea "Torch Glow" Torch Glow Bougainvillea	5 Gallon
Acacia farnesiana Sweet Acacia	24" Box stand.	Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Acacia salicina Willow Acacia	24" Box stand.	Eremophila maculata "Valentine" Valentine Bush	5 Gallon
Quercus virginiana "Heritage" Southern Live Oak	24" Box stand.	Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	24" Box 36" Box multi.	Hesperaloe parviflora "Brakelight" Red Yucca	5 Gallon
Phoenix dactylifera Date Palm	18" Trunk Feet straight trunk diamond cut, matching	Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Acacia stenophylla Shoestring Acacia	24" Box stand.	Dasylirotr quadrangulatum Mexican Tree Grass	5 Gallon
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box	Euphorbia rigida Gopher Plant	5 Gallon
		Macfadyena unguis-cati Cat Claw Vine	5 Gallon
		GROUNDCOVERS	SIZE
		Lantana montevidensis Trailing Lantana "Purple & New Gold"	1 Gallon 50/50 mix
		Convolvulus cneorum Bush Morning Glory	1 Gallon
		Acacia redolens desert Carpet	1 Gallon

CITY OF MESA LANDSCAPE GENERAL NOTES:

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE.
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES AND SHRUBS SHALL BE PROVIDED PER THE SITE CALCULATIONS.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRED SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF THE ABOVE CALCULATIONS. TREES AND SHRUBS MAY BE CLUSTERED.
7. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.
8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND PARKING SHALL BE INSTALLED AT EACH END OF ROW OF STALL AND IN BETWEEN FOR MAX. MUM OF EIGHT CONTIGUOUS PARKING SPACES.
9. INSTALLATION OF THE FOUNDATION LANDSCAPING SHALL MEET THE CALCULATIONS PROVIDED.
10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA. LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.
12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.
13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOCIATION OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS.
14. ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'.
15. RIP-RAP MUST BE OF NATURAL MATERIALS MATCHING D.G. COLORS. CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR.
16. TREES SHALL BE PLANTED AT LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED AT LEAST 7' AWAY FROM ANY STREET LIGHT POLE OR LOCATION.

09-09-14
13155-ST17

BROWN GROUP, INC



MULBERRY Marketplace

N.W.C. Signal Butte & Guadalupe Road
Mesa, Arizona

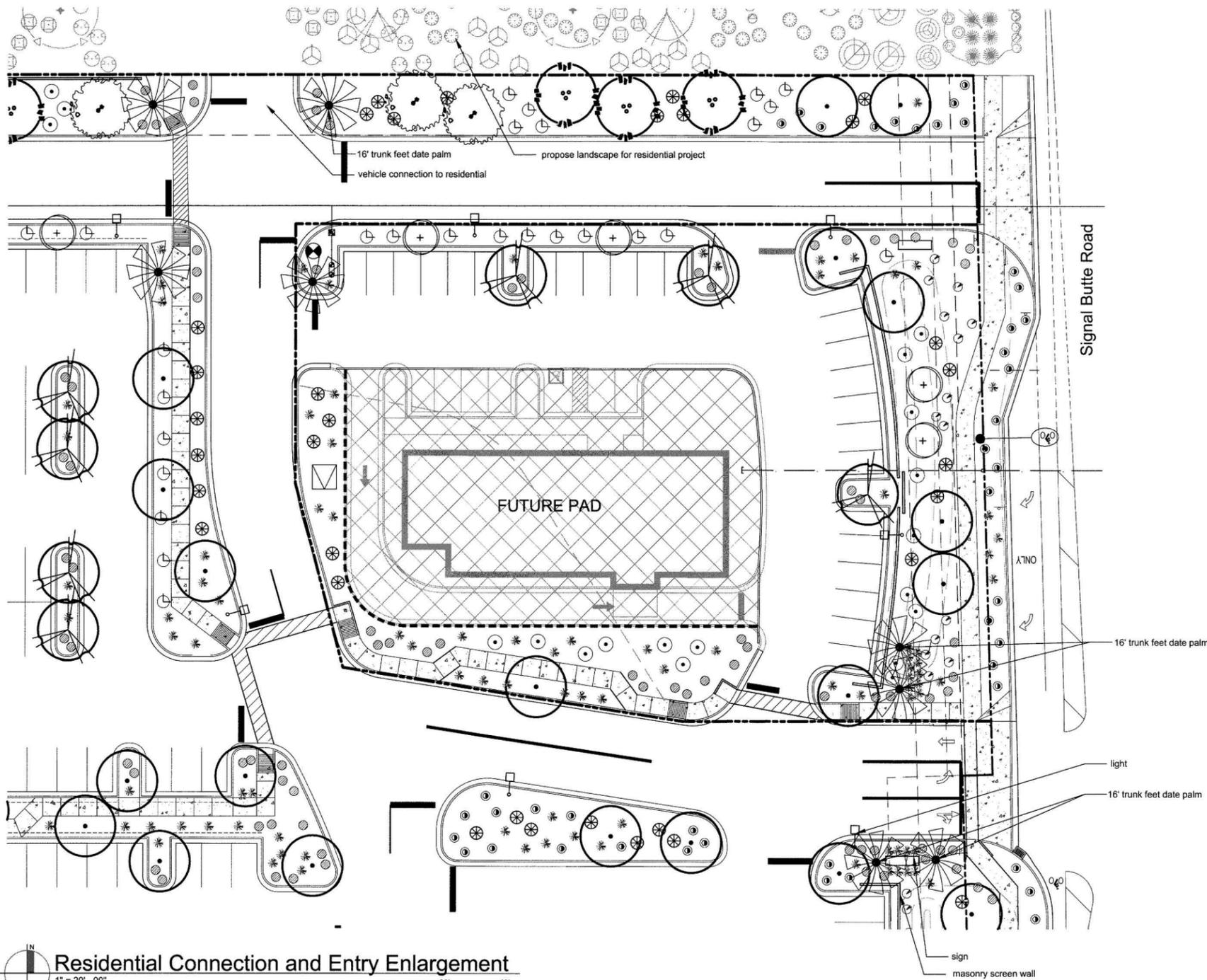
CONCEPTUAL LANDSCAPE PLAN



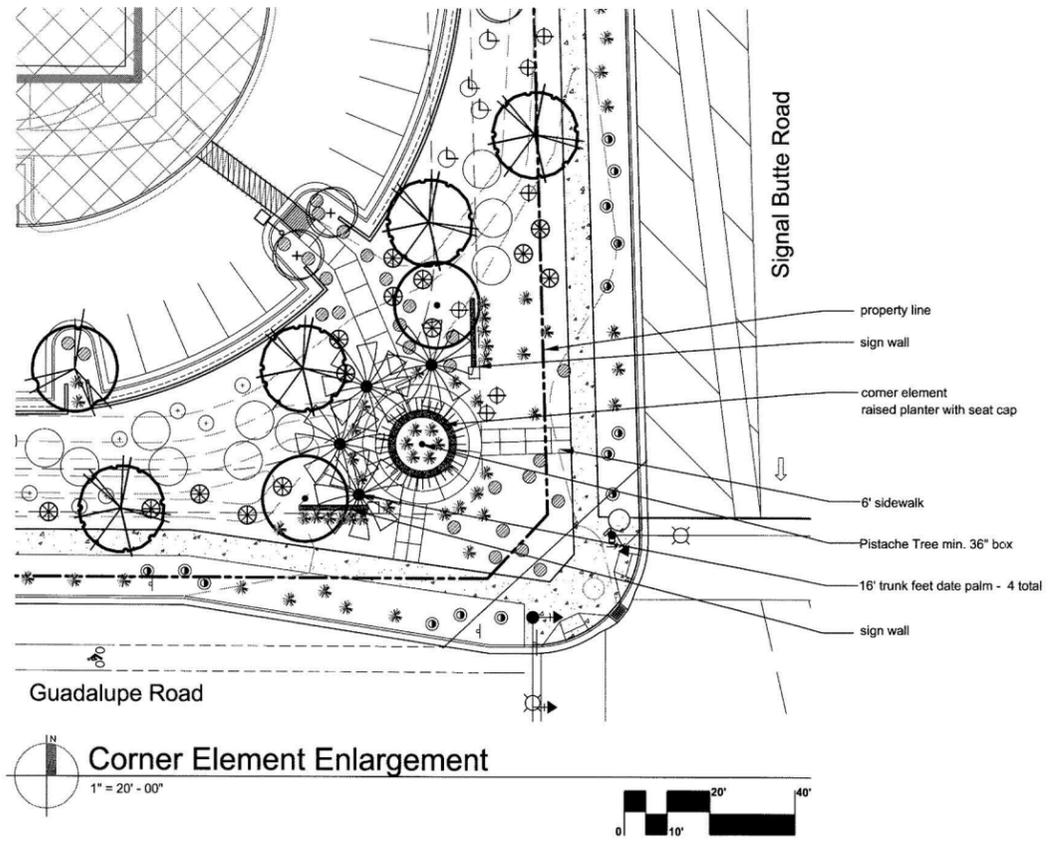
LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 239
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 940-9021
www.laskin.design.com



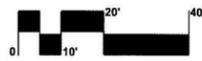
Butler Design Group, Inc
architects & planners



Residential Connection and Entry Enlargement
 1" = 20' - 00"
 0 10' 20' 40'



Corner Element Enlargement
 1" = 20' - 00"



LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
 (U.O.N. - UNLESS OTHERWISE NOTED) All tree caliper required at time of planting

TREES	SIZE / CLPR / HT.	SHRUBS / ACCENTS / VINES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box 36" Box low breaking stand.	Tecoma stans "Gold Star" Yellow Bells	5 Gallon
Pinus eldarica Mondel Pine	15 Gallon stand.	Bougainvillea "Torch Glow" Torch Glow Bougainvillea	5 Gallon
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		Macfadyena unguis-cati Cat Claw Vine	5 Gallon
		GROUNDCOVERS	SIZE
		Lantana montevidensis Trailing Lantana 'Purple & New Gold'	1 Gallon 50/50 mix
		Convolvulus cneorum Bush Morning Glory	1 Gallon
		Acacia redolens desert Carpet	1 Gallon
		Decomposed Granite (Match color & size to adjacent property) 1/2" select Table Mesa Brown or equal 09-09-14 2" min thickness in all landscape areas Submit samples to Landscape Architect 13155-ST17	

MULBERRY Marketplace

N.W.C. Signal Butte & Guadalupe Road
 Mesa, Arizona

CONCEPTUAL LANDSCAPE PLAN



Butler Design Group, Inc.
 architects & planners

LANDSCAPE PALETTE

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box and 36" Box low breaking stand.
Pinus eldarica Mondel Pine	15 Gallon stand.
Acacia farnesiana Sweet Acacia	24" Box stand.
Acacia salicina Willow Acacia	24" Box stand.
Quercus virginiana 'Heritage' Southern Live Oak	24" Box stand.
Caesalpinia mexicana Mexican Bird of Paradise	24" Box and 36" Box multi.
Phoenix dactylifera Date Palm	16' and 28' Trunk Feet straight trunk diamond cut, matching
Acacia stenophylla Shoestring Acacia	24" Box stand.
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box

SHRUBS / ACCENTS / VINES

Tecoma stans " Gold Star" Yellow Bells	5 Gallon
Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5 Gallon
Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Eremophila maculata `Valentine` Valentine Bush	5 Gallon
Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Hesperaloe parviflora 'Brakelight' Red Yucca	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Dasyllirion quadrangulatum Mexican Tree Grass	5 Gallon
Euphorbia rigida Gopher Plant	5 Gallon
Macfadyena unguis-cati Cat Claw Vine	5 Gallon

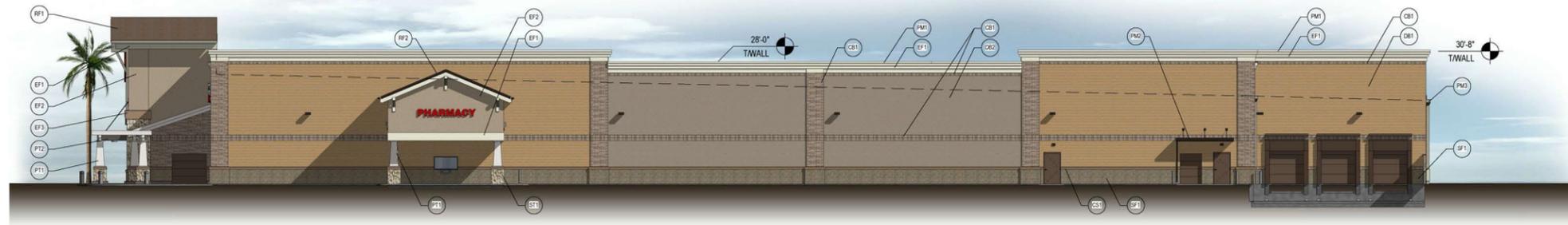
GROUNDCOVERS

Lantana montevidensis Trailing Lantana 'Purple & New Gold '	1 Gallon
Convolvulus cneorum Bush Morning Glory	1 Gallon
Acacia redolens desert Carpet	1 Gallon

Decomposed Granite (Match color & size to adjacent property)
1/2" select Table Mesa Brown or equal
2" min thickness in all landscape areas
Submit samples to Landscape Architect



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

MATERIALS LEGEND	
(CB1) CAST BRICK - QUIK-BRIK - AUTUMN BLEND	(AL1) ANODIZED ALUMINUM - DARK BRONZE
(CS1) CAST STONE - CORONADO - BROWNSTONE	(RF1) CONCRETE ROOF TILE - BORAL - MONTEREY SHAKE 600 - SILVER LAKE BLEND
(SF1) SPLIT-FACE CMU - ANGELUS BLOCK - SPLIT-FACE - HARVEST	(RF2) STANDING SEAM METAL - BERRIAGE - DARK BRONZE
(DB1) INTEGRALLY COLORED CMU - ANGELUS BLOCK - PRECISION - SHORELINE	(PT1) PAINT - SHERWIN WILLIAMS SW 6000
(DB2) INTEGRALLY COLORED CMU - ANGELUS BLOCK - PRECISION - COOL GRAY	(PT2) PAINT - SHERWIN WILLIAMS SW 7645
(ST1) STONE VENEER - CORONADO - CREEK ROCK - APACHE BROWN	(PM1) PREFINISHED METAL - BERRIAGE - PARCHMENT
(FC1) PAINTED FIBER-CEMENT SHAKE - COLOR TO MATCH SW 0042	(PM2) PREFINISHED METAL - BERRIAGE - DARK BRONZE
(EF1) EIFS - COLOR TO MATCH SW 7531	(PM3) PREFINISHED METAL - BERRIAGE - SIERRA TAN
(EF2) EIFS - COLOR TO MATCH SW 7549	
(EF3) EIFS - COLOR TO MATCH SW 7522	



SOUTH ELEVATION



September 8, 2014

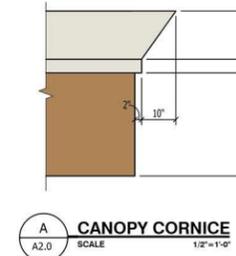
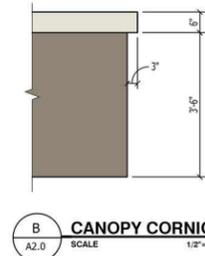
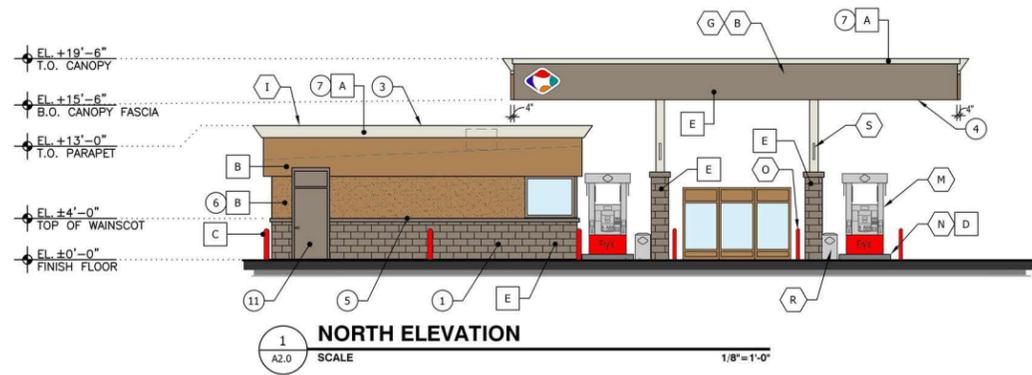
Fry's Store FRY686

Mesa, AZ
514505.03



NWC Guadalupe and Signal Butte - Mesa, AZ





GENERAL NOTES:

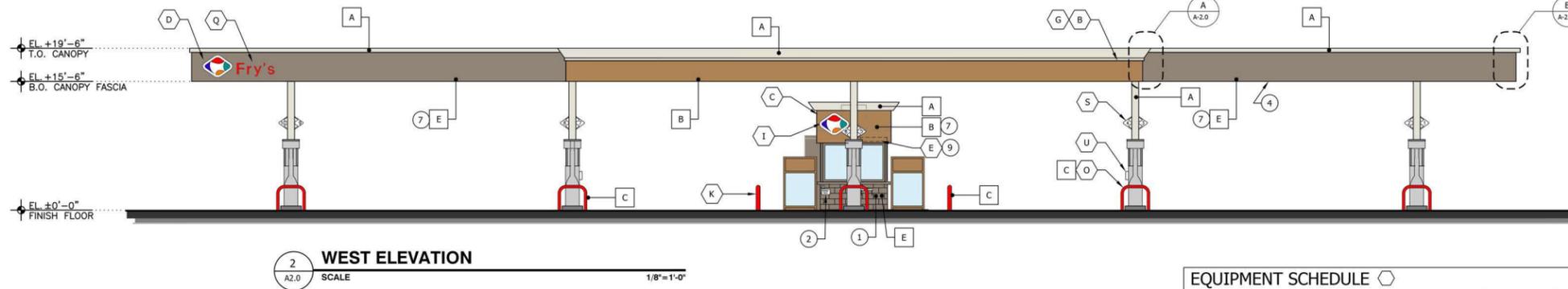
- A. CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
- C. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
- D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.

KEYED NOTES:

- 1. CMU CAST PANEL AND SILL CAP MATCH.
- 2. EMERGENCY STOP SWITCH.
- 3. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
- 4. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
- 5. 4" CAPSTONE.
- 6. EIFS FINISH.
- 7. TEXTCOTE FINISH OVER (ACM) PANEL.
- 8. H.M. DOOR AND FRAME.
- 9. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.M. DETAIL 50 5.1.
- 10. PROVIDE 4" MIN. NO SMOKING SIGN AGE PER C.O.M. NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
- 11. FIRE RISER ENCLOSURE.

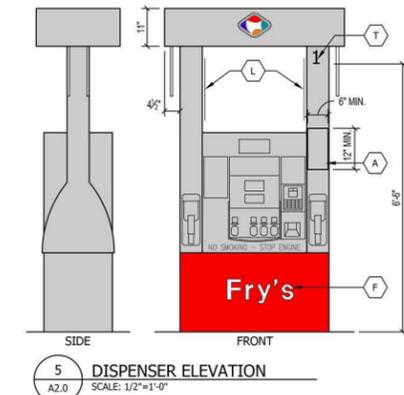
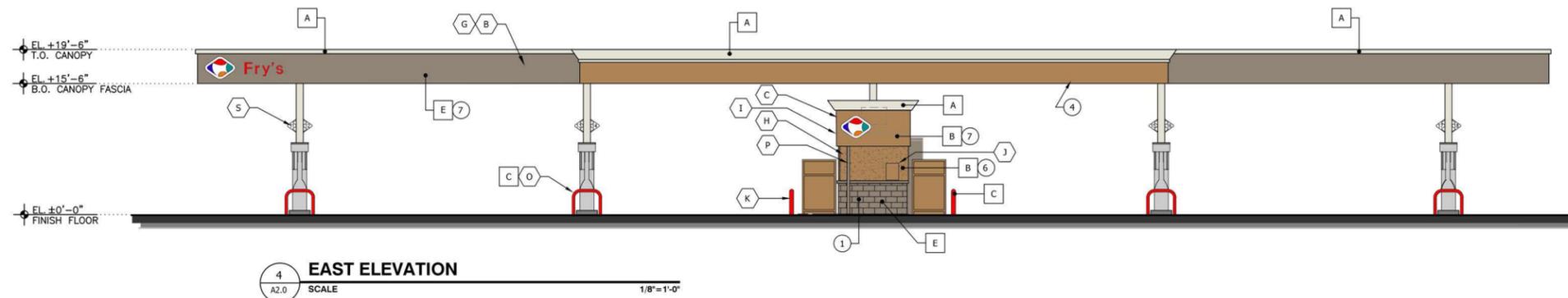
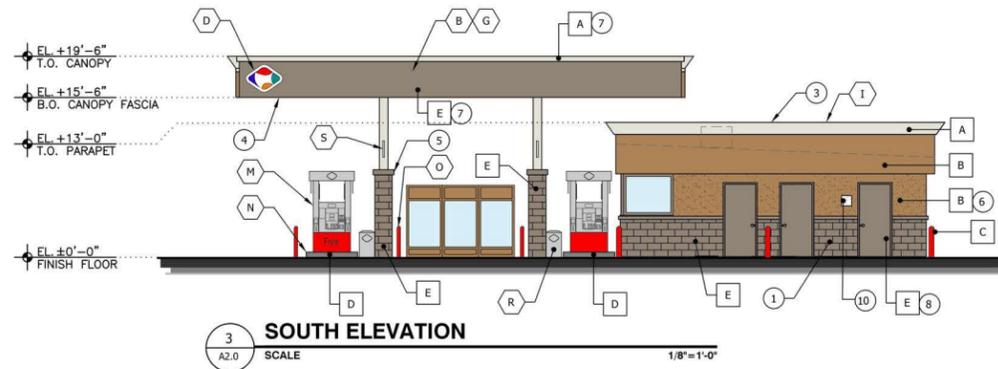
FINISH LEGEND:

- A MATCH SHERWIN WILLIAMS 7531
- B MATCH ANGELUS BLOCK PRECISION - SHORELINE
- C SHERWIN WILLIAMS 4081 "SAFETY RED"
- D SHERWIN WILLIAMS 4107 "GRAPHITE"
- E MATCH ANGELUS BLOCK PRECISION - COOL GREY



EQUIPMENT SCHEDULE

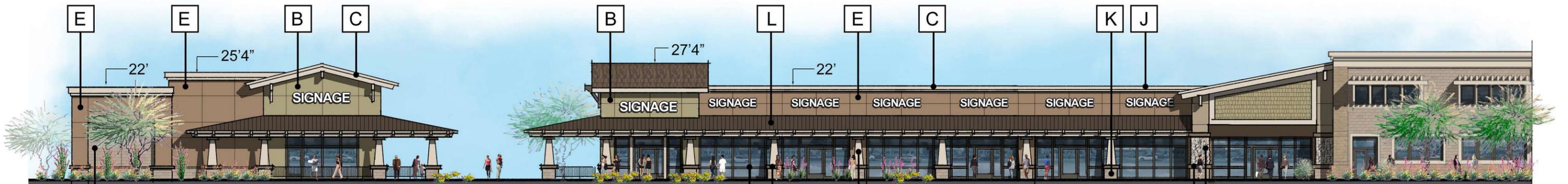
ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" H X 6" W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	LOGO - NON-ILLUMINATED (28" H X 37 1/2" W)		DUALITE		OWNER	SIGN INSTALLER
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
F	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
G	CANOPY FASCIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
H	KIOSK - PREFABRICATED	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
I	KIOSK FASCIA	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
J	ELECTRICAL DISCONNECTS				GENERAL CONTRACTOR	GENERAL CONTRACTOR
K	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
L	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
M	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
N	ISLAND FORMS - G.C. TO PAINT	GRAPHITE SW4107	OPW		OWNER	GENERAL CONTRACTOR
O	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
P	3"x2" DOWNSPOUT - PAINT TO MATCH WALL		SAGEBRUSH		KIOSK FABRICATOR	KIOSK FABRICATOR
Q	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
R	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
S	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
T	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
U	FIRE EXTINGUISHER				OWNER	GENERAL CONTRACTOR





SHOPS | FRY'S

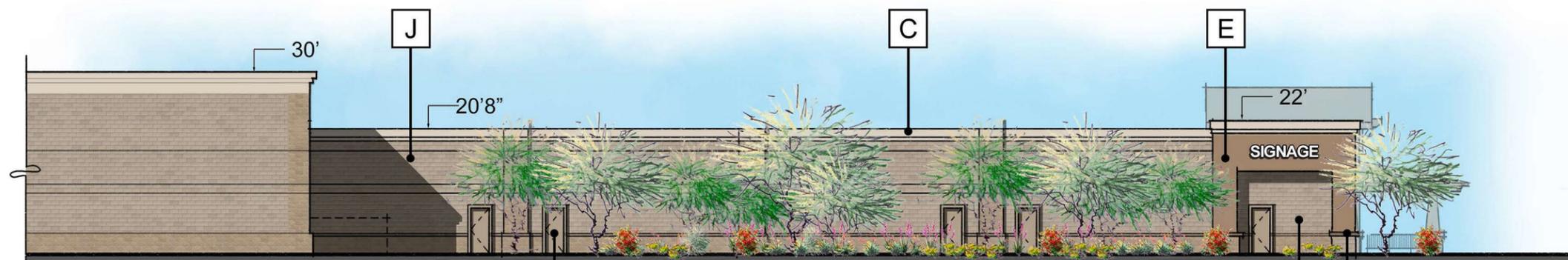
FRY'S EAST ELEVATION



SHOPS SOUTH ELEVATION

SHOPS EAST ELEVATION

FRY'S



SHOPS WEST ELEVATION

FRY'S

MULBERRY *Marketplace*

N.W.C. Signal Butte & Guadalupe
Mesa, Arizona

Materials Palette

A PT1

 SW 6000
 SNOWFALL
 BY SHERWIN WILLIAMS

G

 HARDIE SHINGLE
 OR EQUAL

SF1

 CMU
 ANGELUS BLOCK
 SPLITFACE
 HARVEST

RF2

 STANDING
 SEAM METAL
 BERRIDGE
 DARK BRONZE

B FC1

 SW 0042
 RUSKIN ROOM GREEN
 BY SHERWIN WILLIAMS

H

 STONE VENEER
 CORONADO
 CREEK ROCK
 APACHE BROWN

DB1

 CMU
 ANGELUS BLOCK
 PRECISION
 SHORELINE

PM1

 PREFINISHED
 METAL
 BERRIDGE
 PARCHMENT

C EF1

 SW 7531
 CANVAS TAN
 BY SHERWIN WILLIAMS

I

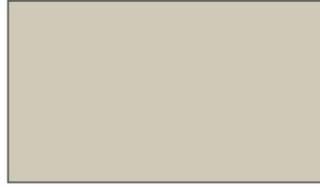
 CMU BLOCK TYPE A
 SUPERLITE
 FOUNDER FINISH
 COLOR-DESERT

DB2

 CMU
 ANGELUS BLOCK
 PRECISION
 COOL GREY

PM2

 PREFINISHED
 METAL
 BERRIDGE
 DARK BRONZE

D EF2

 SW 7549
 STUDIO TAUPE
 BY SHERWIN WILLIAMS

J

 CMU BLOCK TYPE B
 SUPERLITE
 SMOOTH FACE
 COLOR-BONE

CB1

 CAST BRICK
 QUIK BRIK
 AUTUMN BLEND

PM3

 PREFINISHED
 METAL
 BERRIDGE
 SIERRA TAN

E EF3

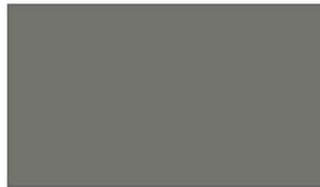
 SW 7522
 MEADOWLARK
 BY SHERWIN WILLIAMS

K

 CMU BLOCK TYPE C
 SUPERLITE
 SPLITFACE
 HARVEST BROWN

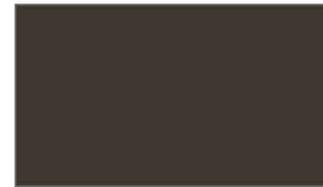
CS1

 CAST STONE
 CORONADO
 BROWNSTOWN

F PT2

 SW 7645
 THUNDER GREY
 BY SHERWIN WILLIAMS

L RF1

 RAMADA CONCRETE
 ROOF TILE
 CORAL ROOFING
 MONTEREY SHAKE 600
 SILVER LAKE BLEND

AL1

 ANODIZED
 ALUMINUM
 DARK BRONZE



- 8" x 2" x 16" SMOOTH FACE CMU CAP
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU ACCENT BANDS
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SPLITFACE CMU ACCENT BANDS
COLOR: BONE (TYP)
TEXTURE ON RESIDENTIAL SIDE
FINISH BOTH SIDES
- 8" x 8" x 16" SMOOTH FACE CMU
COLOR: BONE (TYP)
- FINISHED GRADE AT PROPERTY LINE
(OR HIGH WATER LINE AT RETENTION)

A 8'-0" Wall
SPLITFACE ON RESIDENTIAL SIDE

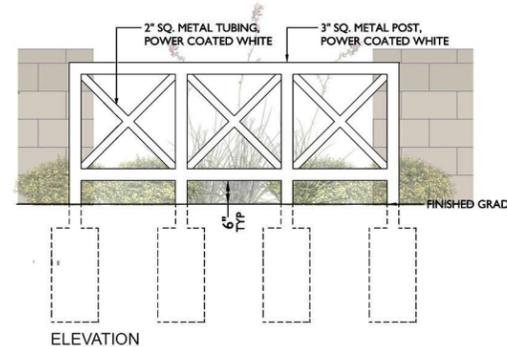


KEY PLAN

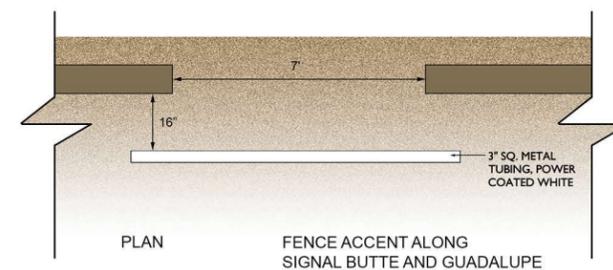


- 8" x 2" x 16" SMOOTH FACE CMU CAP
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU ACCENT BANDS
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SPLITFACE CMU ACCENT BANDS
COLOR: BONE (TYP)
TEXTURE ON RESIDENTIAL SIDE
FINISH BOTH SIDES
- 8" x 8" x 16" SMOOTH FACE CMU
COLOR: BONE (TYP)
- FINISHED GRADE AT PROPERTY LINE
(OR HIGH WATER LINE AT RETENTION)

B 6'-0" Wall
SPLITFACE ON RESIDENTIAL SIDE



D SCREEN WALL / PATIO RAILING

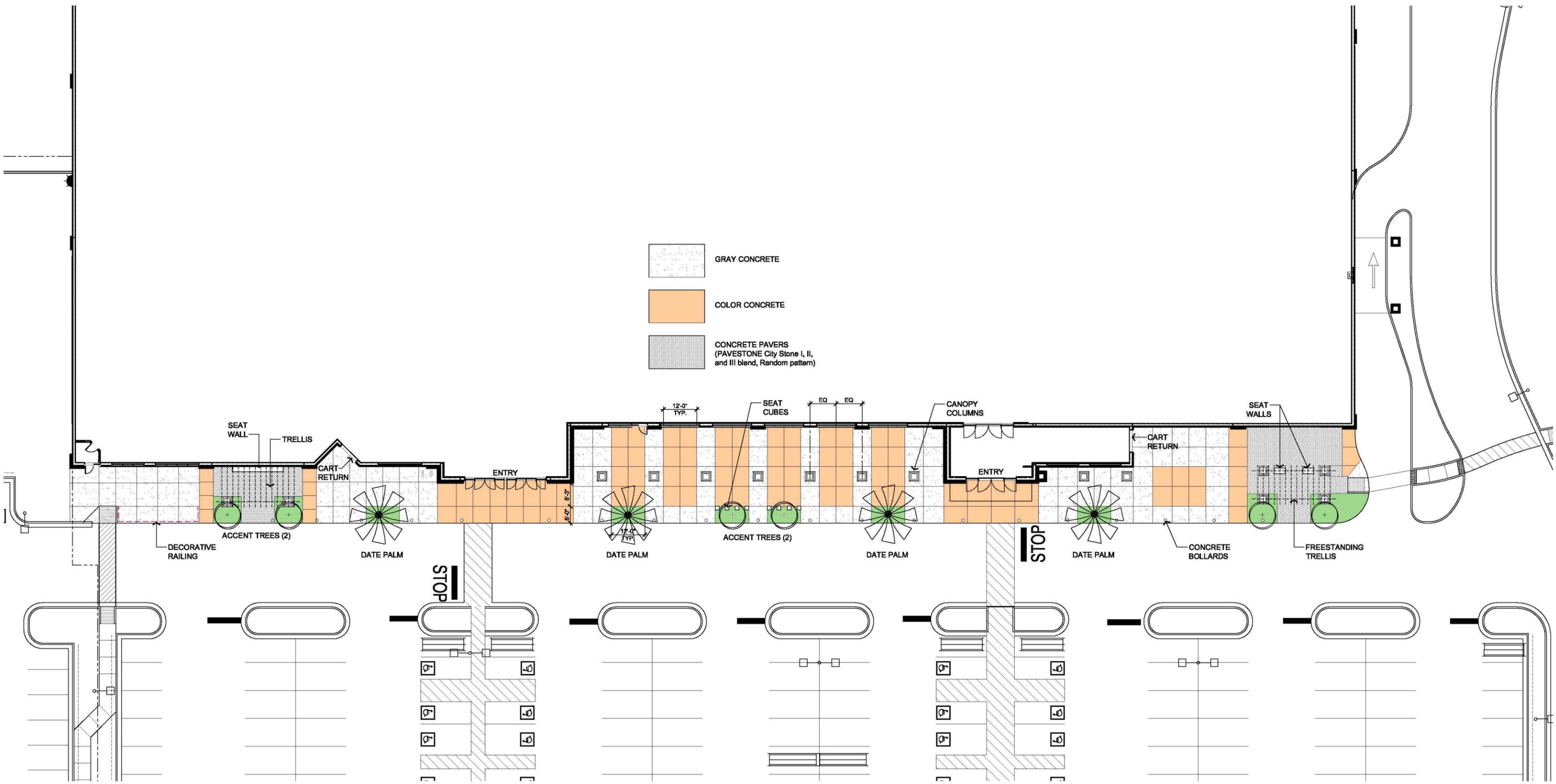


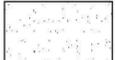
PLAN
FENCE ACCENT ALONG
SIGNAL BUTTE AND GUADALUPE



- 8" x 2" x 16" SMOOTH FACE CMU CAP
COLOR: COCOA BROWN (TYP)
- 8" x 4" x 16" SMOOTH FACE CMU ACCENT BANDS
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU
COLOR: BONE (TYP)
FINISH BOTH SIDES
- FINISHED GRADE AT PROPERTY LINE
(OR ABOVE ADJACENT PARKING ELEV)

C 42" Wall
36" Parking Screen Walls Sim



-  GRAY CONCRETE
-  COLOR CONCRETE
-  CONCRETE PAVERS
(PAVESTONE City Stone I, II, and III blend, Random pattern)

HARDSCAPE PLAN
1/16" = 1'-0"

09-09-14
13155-Site-hardscape

MULBERRY *Marketplace*

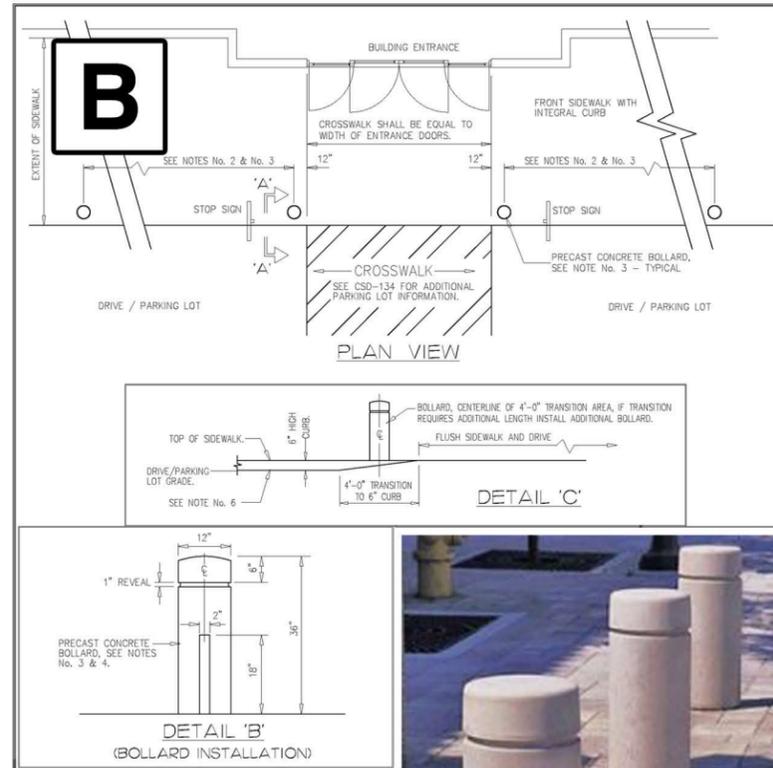
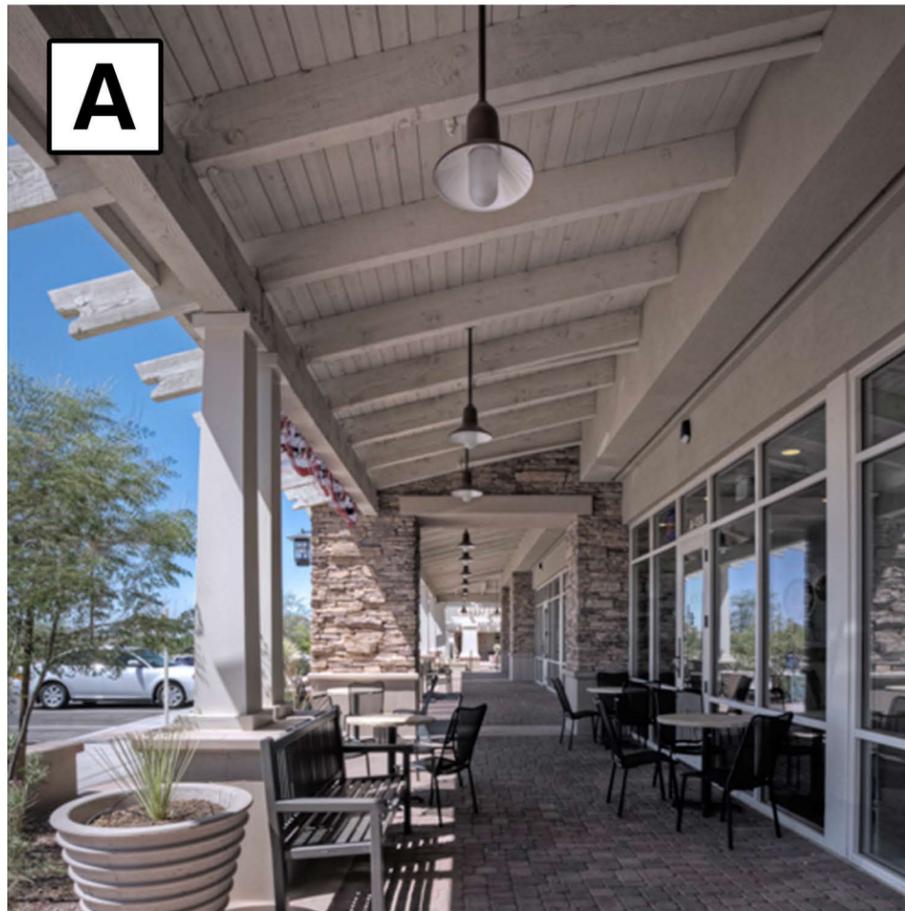
N.W.C. Signal Butte & Guadalupe Road
Mesa, Arizona

Major Tenant Architectural Details



MULBERRY STEEL FENCE
DETAIL (PATIO HANDRAIL)

EAST ELEVATION



Trellis Character



MULBERRY

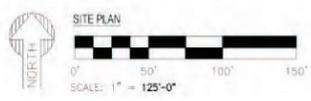
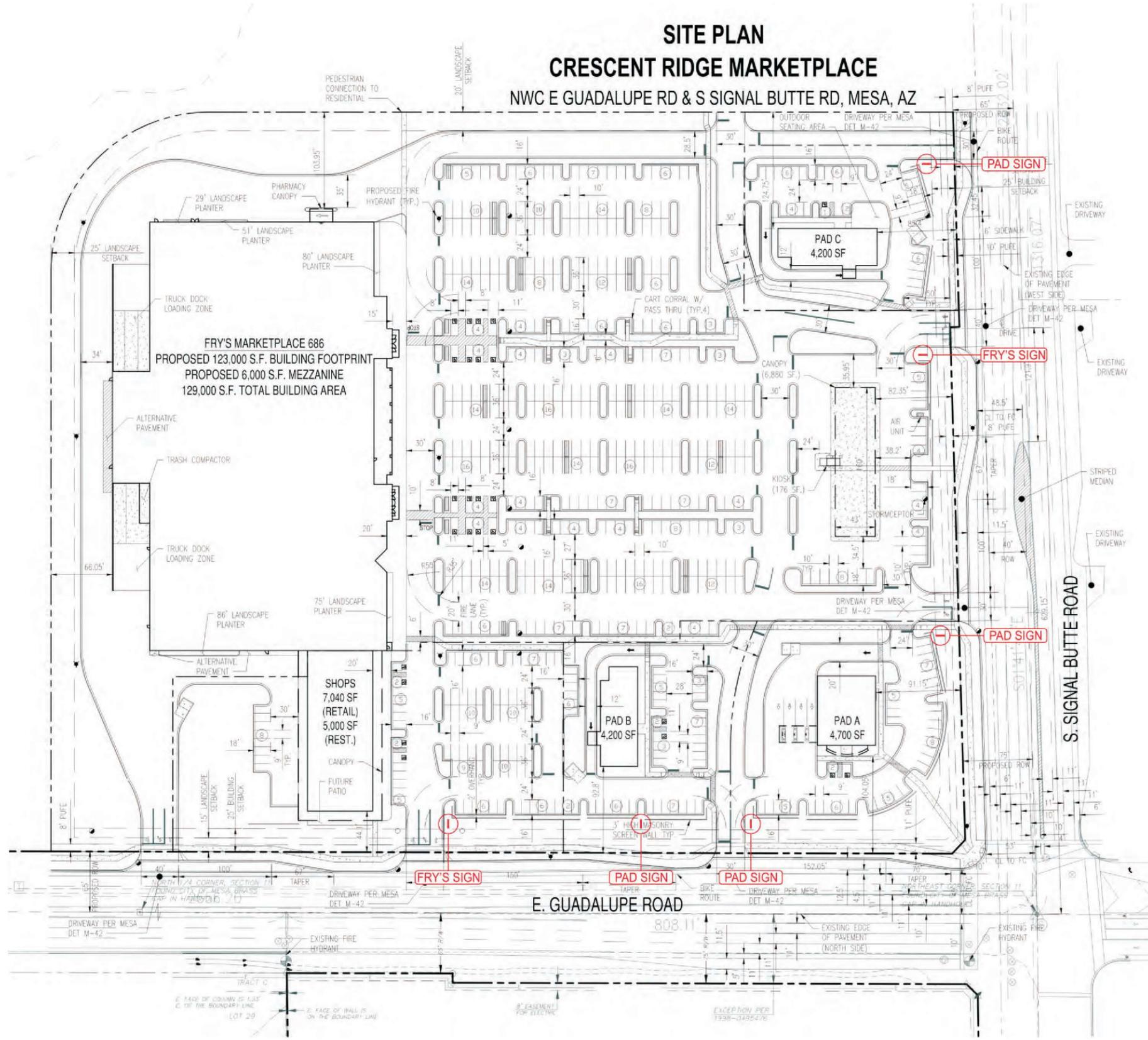
Marketplace



Site Signage Design

SITE PLAN CRESCENT RIDGE MARKETPLACE

NWC E GUADALUPE RD & S SIGNAL BUTTE RD, MESA, AZ



BOOTZ & DUKE Signs
 4028 W. Whitton Ave. - Phoenix, AZ - 85019
 P: (602) 272-9356 F: (602) 272-4608
 www.bootzandduke.com

Customer: Fry's #686	Design # K-2161-14
Address: Guadalupe Rd. & Signal Butte Rd. - Mesa, AZ	Date: June 24, 2014
Salesman: Andy Gibson	Revision: [0]- Date
Designer: Kenney Welker	Page: 1 of 1

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NOTE: ALL SIGNS MANUFACTURED BY BOOTZ AND DUKE SIGNS ARE 120 VOLT ANY OTHER VOLTAGE REQUIREMENTS MUST BE IN WRITING.

SCOPE OF WORK:

SCALE: 3/8" = 1'-0"

MANUFACTURE AND INSTALL TWO(2) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
- 3/16" WHITE ACRYLIC WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL TO BACK UP ROUTED PANELS
- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY
- DAKTRONICS FUELITE DISPLAYS FL-3000-16-R/G-DI

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE	
FRY'S	31.78
FUEL	21.66
TENANT PANELS	25.00
TOTAL	78.44

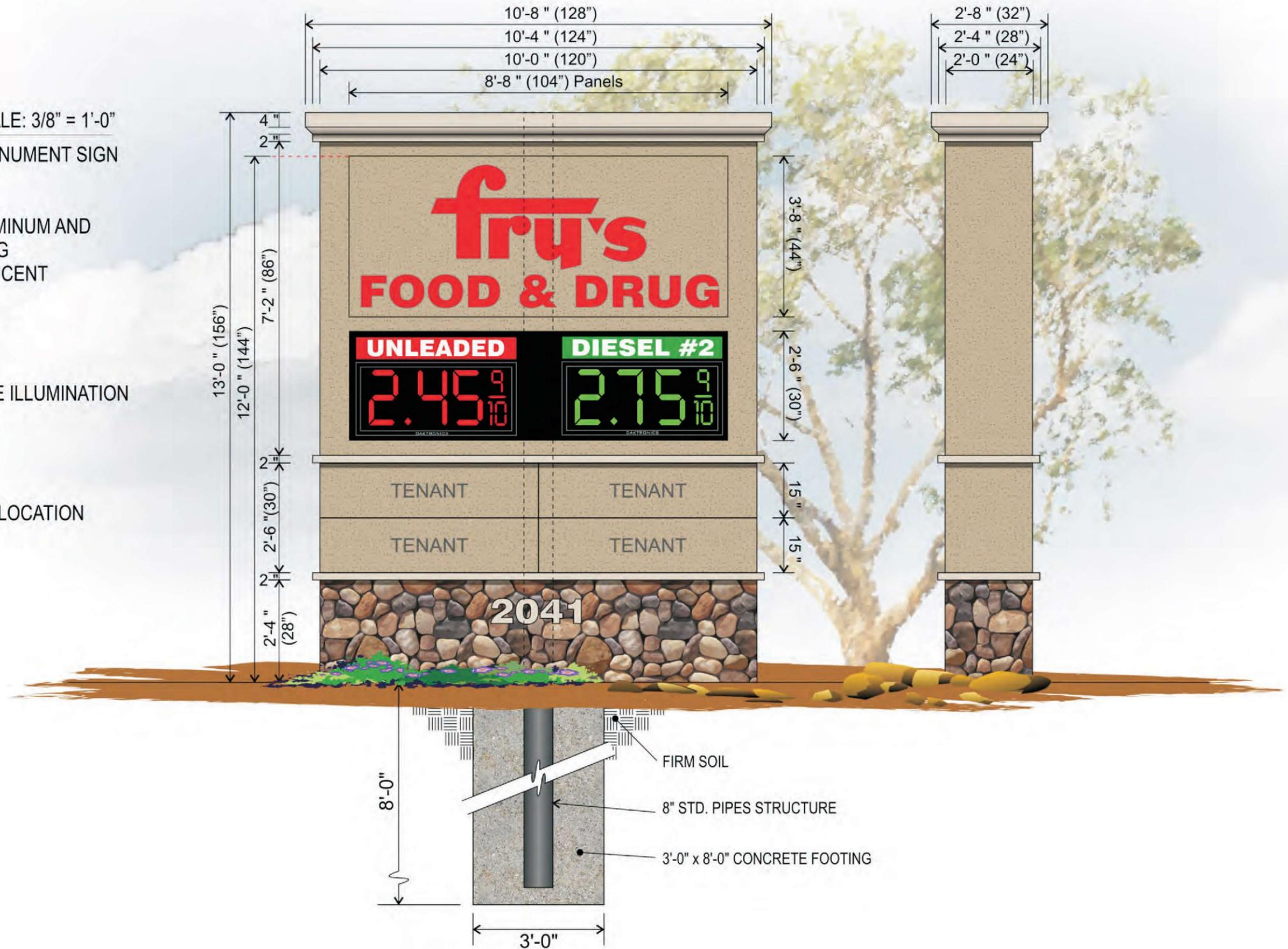
All Signs Shall Be Installed In Accordance With N.E.C. Article 600

Engineering Specifications

All Signs Fabricated as per A.S.A. Specifications & 2012 I.B.C.

Electrical Specifications

All Signs Fabricated as per 2011 N.E.C. Specifications




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Designer: Kenney Welker	Page: 1 of 1

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SCOPE OF WORK:

SCALE: 3/8" = 1'-0"

MANUFACTURE AND INSTALL FOUR(4) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
- 3/16" WHITE ACRYLIC WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL TO BACK UP ROUTED PANELS
- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE
TENANT PANELS 34.67

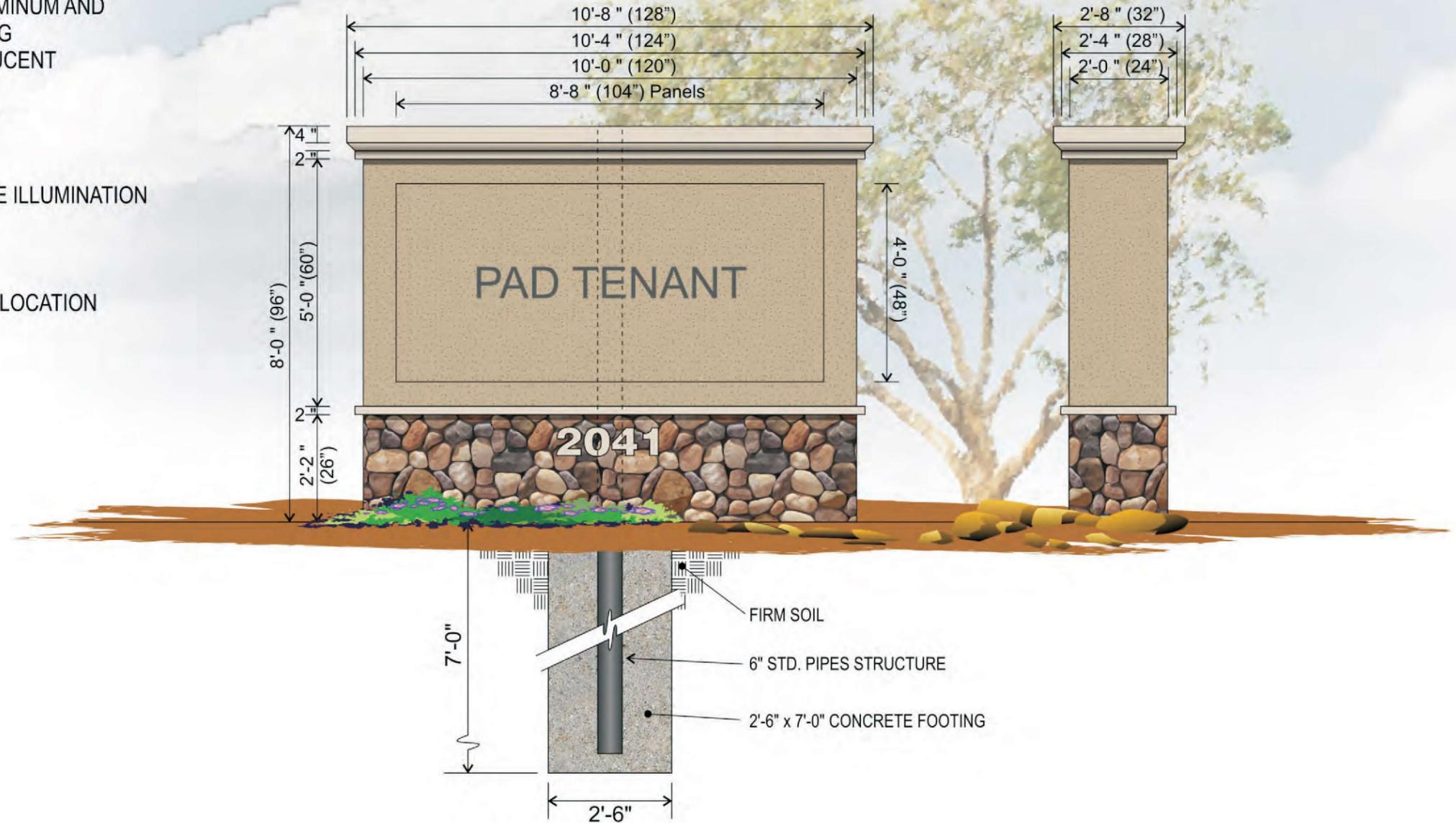
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Engineering Specifications

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Electrical Specifications

All Signs Fabricated as per 2011 N.E.C. Specifications




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Address: Guadalupe Rd. & Signal Butte Rd. - Mesa, AZ	Date: June 24, 2014
Salesman: Andy Gibson	Revision: [0]~ Date
Designer: Kenney Welker	Page: 1 of 1

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PAD B OPTION

SCALE: 3/8" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL FOUR(4) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
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- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE
TENANT PANELS 34.67

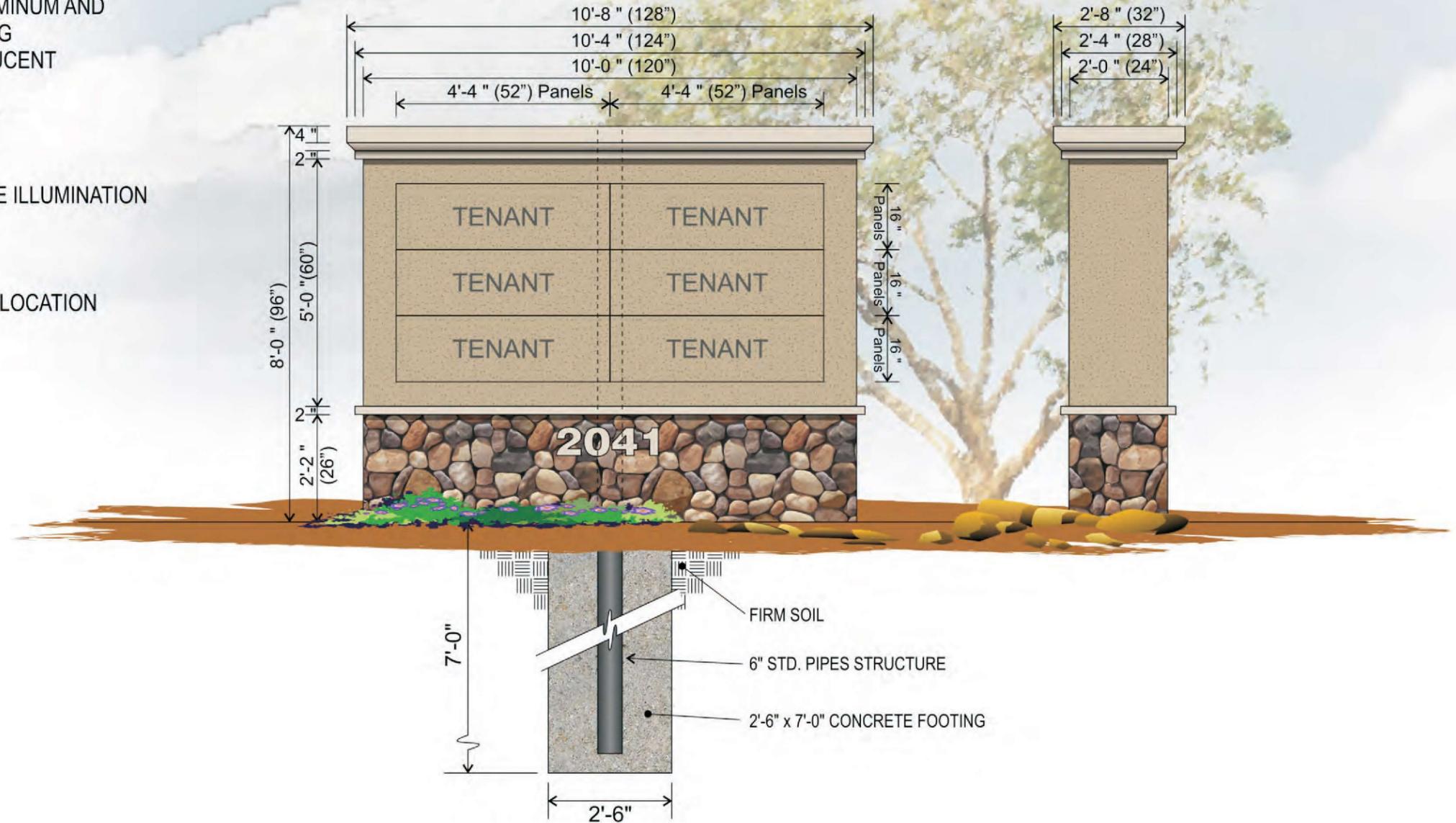
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Engineering Specifications

All Signs Fabricated as per
A.S.A. Specifications & 2012 I.B.C.

Electrical Specifications

All Signs Fabricated as per
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Salesman: Andy Gibson

Designer: Kenney Welker

Design # K-2161-14

Date: June 24, 2014

Revision: [0]~ Date

Page: 1 of 1

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