

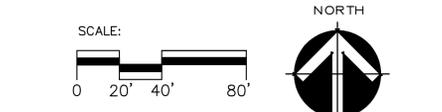
PROJECT DESCRIPTION

AVIVA I (HTG Mesa) IS A PROPOSED 168 UNIT CLASS "A" APARTMENTS DEVELOPMENT ON A SITE WITH A FEW OLD BUILDINGS AND VACANT AREA AT NORTH-WEST CORNER OF FREEWAY 202 & E. BASELINE ROAD SITUATED ON APPROXIMATE 9.61 ACRES. THERE WILL BE THREE 3-STORY & THREE 2-STORY WOOD FRAMED BUILDINGS WITH AN EXPANSIVE ± 8,000 S.F. CLUBHOUSE DESIGNED AS A FOCAL POINT OF ENTIRE DEVELOPMENT. THE CLUBHOUSE IS OVERLOOKING THE POOL AREA LOCATED AT THE INTERIOR OF THE PROJECT. PARKING IS DISTRIBUTED EVENLY ACROSS THE PERIMETER OF THE SITE BLOCKED FROM STREET VIEW BY LUSH LANDSCAPING. THE ARCHITECTURE WILL REFLECT THE URBAN-PEDESTRIAN FEEL OF THE DYNAMIC DOWN-TOWN AREA OF MESA.

VICINITY MAP:



DATE: _____
 I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN FOR THE PURPOSE OF FUTURE AMENDMENTS PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE PL.
 SIGNATURE OF COPYRIGHT OWNER: _____
 VINCENT L. SCARANO
 PRINTED NAME OF COPYRIGHT OWNER



PROJECT DATA

OVERALL SITE DATA:
 ADDRESS: NWC OF BASELINE ROAD AND LOOP 202 MESA, AZ 85209
 APN NUMBERS: 218-57-006K, 218-57-006L, 218-57-006M, 218-57-006R
 NET SITE AREA: ±8.62 ACRES (375,566 S.F.)
 GROSS SITE AREA: ±9.61 ACRES (418,468 S.F.)
 EXISTING USE: VACANT LAND
 PROPOSED USE: CLASS A APARTMENTS
 EXISTING / PROPOSED ZONING: PAD
 NO. OF STORIES: ONE, TWO & THREE
 UNITS PER ACRE: 19.49
 BUILDING HEIGHT: 3 STORIES 40' MAX
 PROVIDED:

UNIT MIX & NET RENTABLE AREAS:

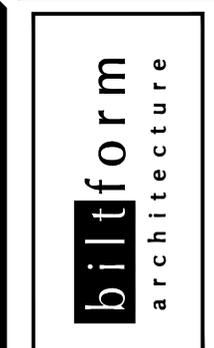
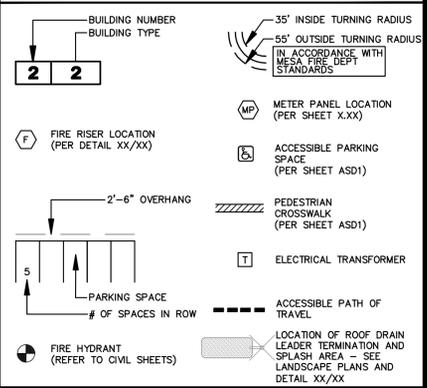
NAME	TYPE	NET S.F. PER UNIT	NO. OF UNITS	TOTAL AREA
UNIT A-1	1 BED/1 BA	760 S.F.	34	25,840 S.F.
UNIT A-2	1 BED/1 BA	760 S.F.	30	22,800 S.F.
UNIT B-1	2 BED/2 BA	1,049 S.F.	66	69,234 S.F.
UNIT B-2	2 BED/2 BA	1,055 S.F.	24	25,320 S.F.
UNIT B-3	2 BED/2 BA	1,068 S.F.	6	6,408 S.F.
UNIT C-1	3 BED/2 BA	1,240 S.F.	8	9,920 S.F.
TOTALS			168	159,522 S.F.

PARKING:

UNCOVERED STALLS	159 PS
CARPOT STALLS	164 PS
GARAGE SPACES	30 PS
TOTAL REQUIRED / PROVIDED	2.1 P.S./UNIT= 353 PS
ACCESSIBLE PARKING:	
COVERED (CARPORT)	4 PS
UNCOVERED	3 PS
TOTAL REQUIRED / PROVIDED (2 VAN ACCESSIBLE)	7 PS

USE AND OCCUPANCY CLASS:
 MULTI FAMILY RESIDENTIAL - R2
 CLUBHOUSE - A3/B
TYPE OF CONSTRUCTION
 TYPE V-A & B

SYMBOL SCHEDULE



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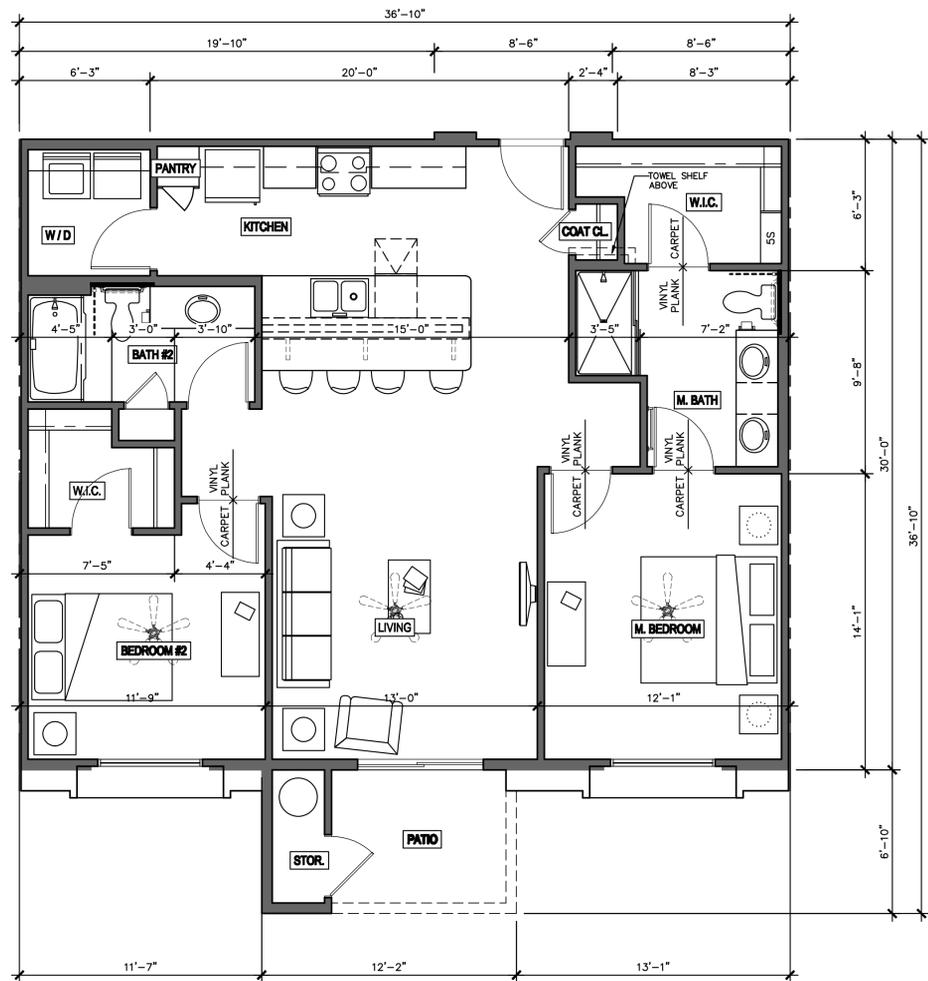
Aviva I (HTG Mesa)
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 Mesa, Arizona
Housing Trust Group, LLC
 3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

REVISIONS:

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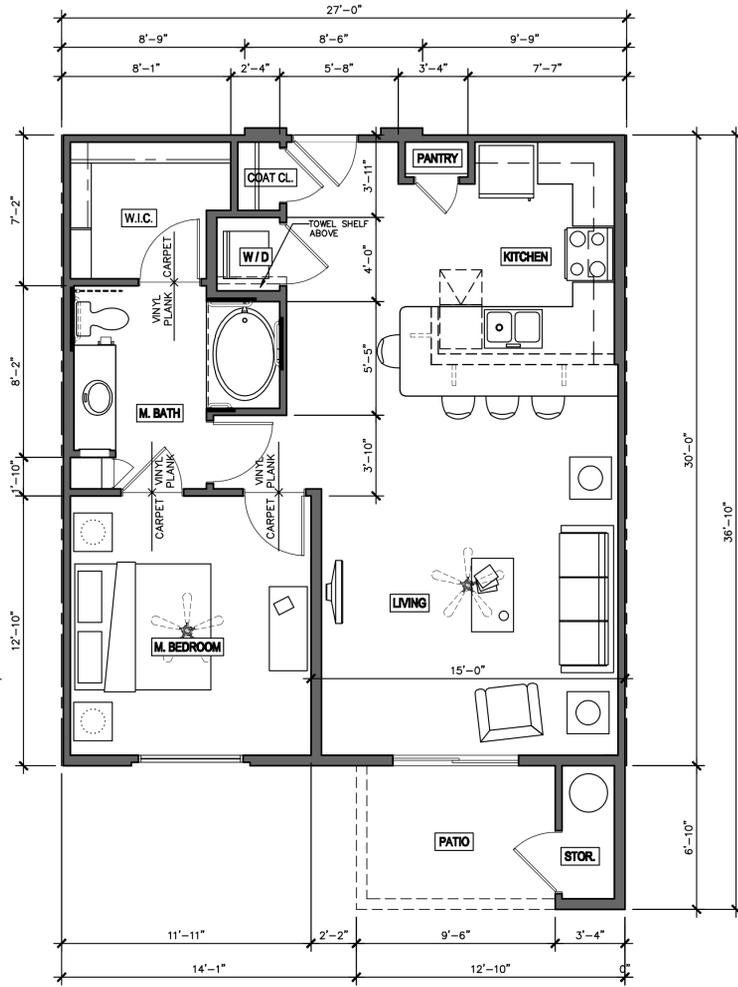
JOB NO: 13-000
 DATE: October 30, 2015
 SCALE: 1" = 40'-0"
 SHEET NO:

A1.0
 ARCHITECTURAL SITE PLAN
 © BILTFORM ARCHITECTURE GROUP, INC.



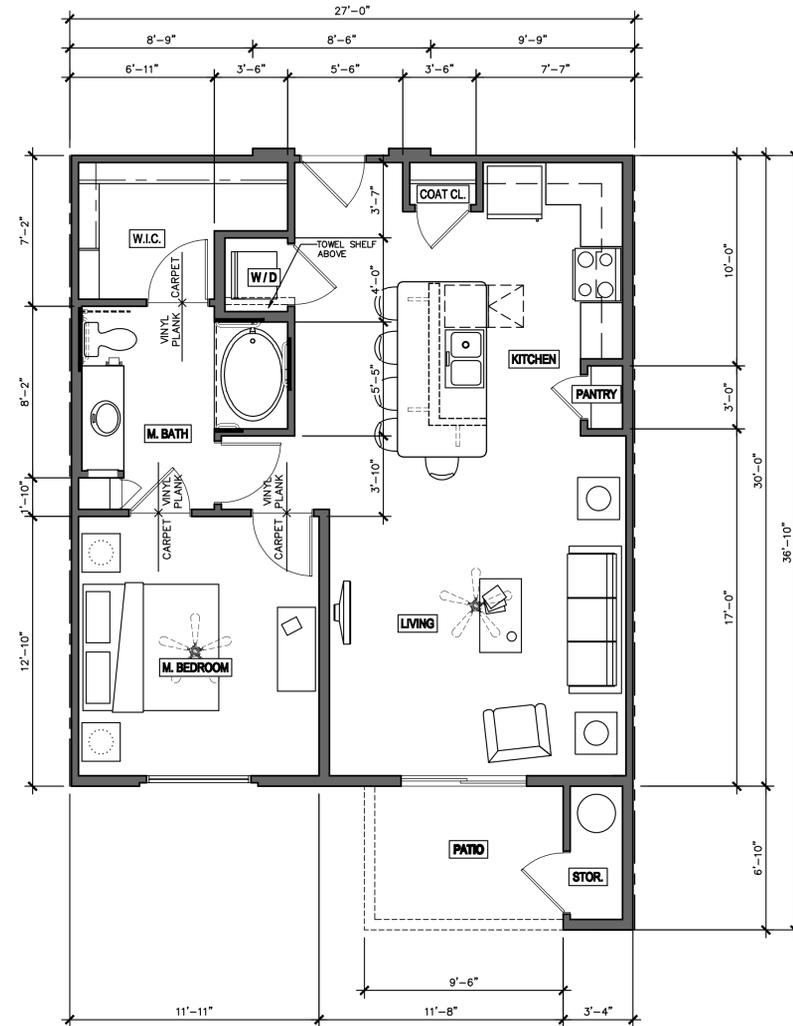
UNIT B1 66 UNITS TOTAL

NET AREA: 1,049 S.F.
 NET LEASABLE AREA: 1,125 S.F.
 GROSS AREA: 1,190 S.F.



UNIT A2 30 UNITS TOTAL

NET AREA: 780 S.F.
 NET LEASABLE AREA: 840 S.F.
 GROSS AREA: 900 S.F.



UNIT A1 34 UNITS TOTAL

NET AREA: 780 S.F.
 NET LEASABLE AREA: 840 S.F.
 GROSS AREA: 900 S.F.



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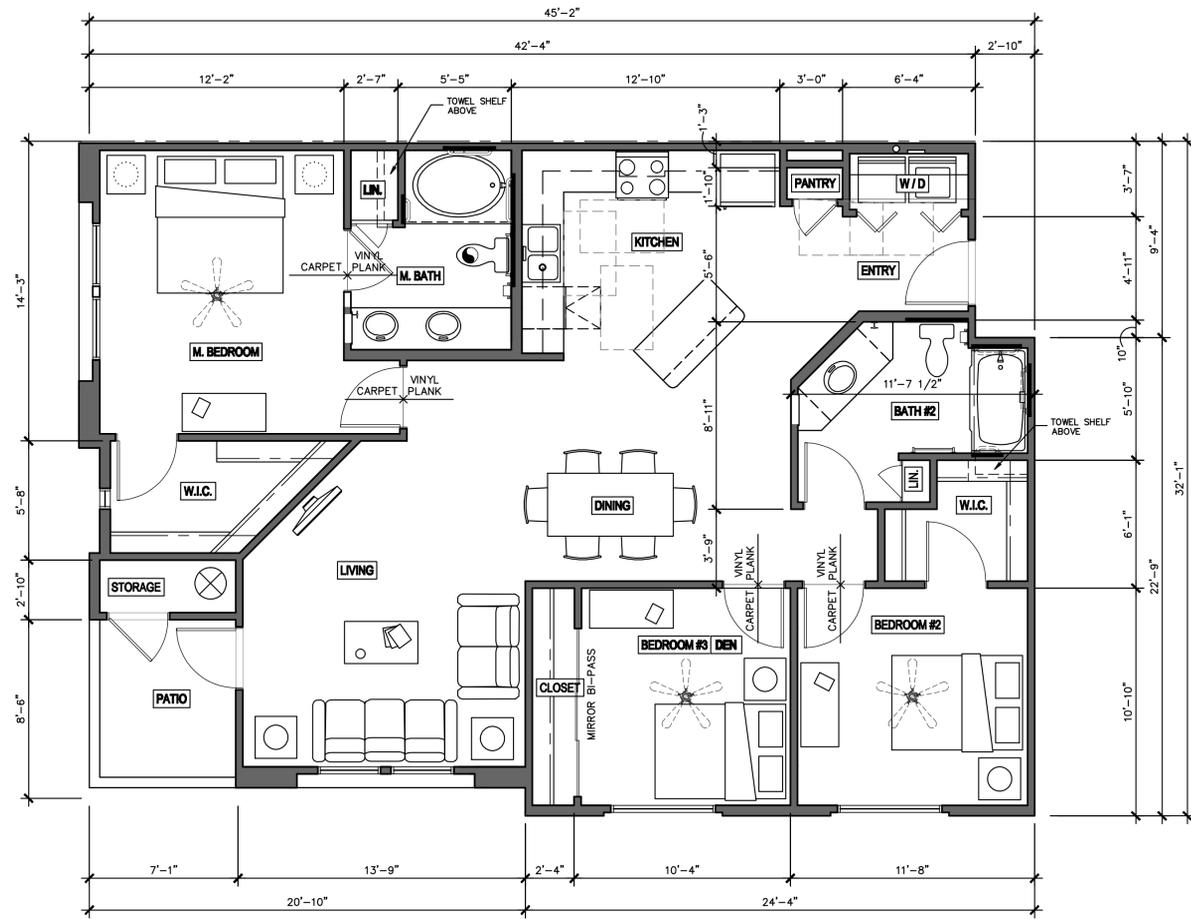
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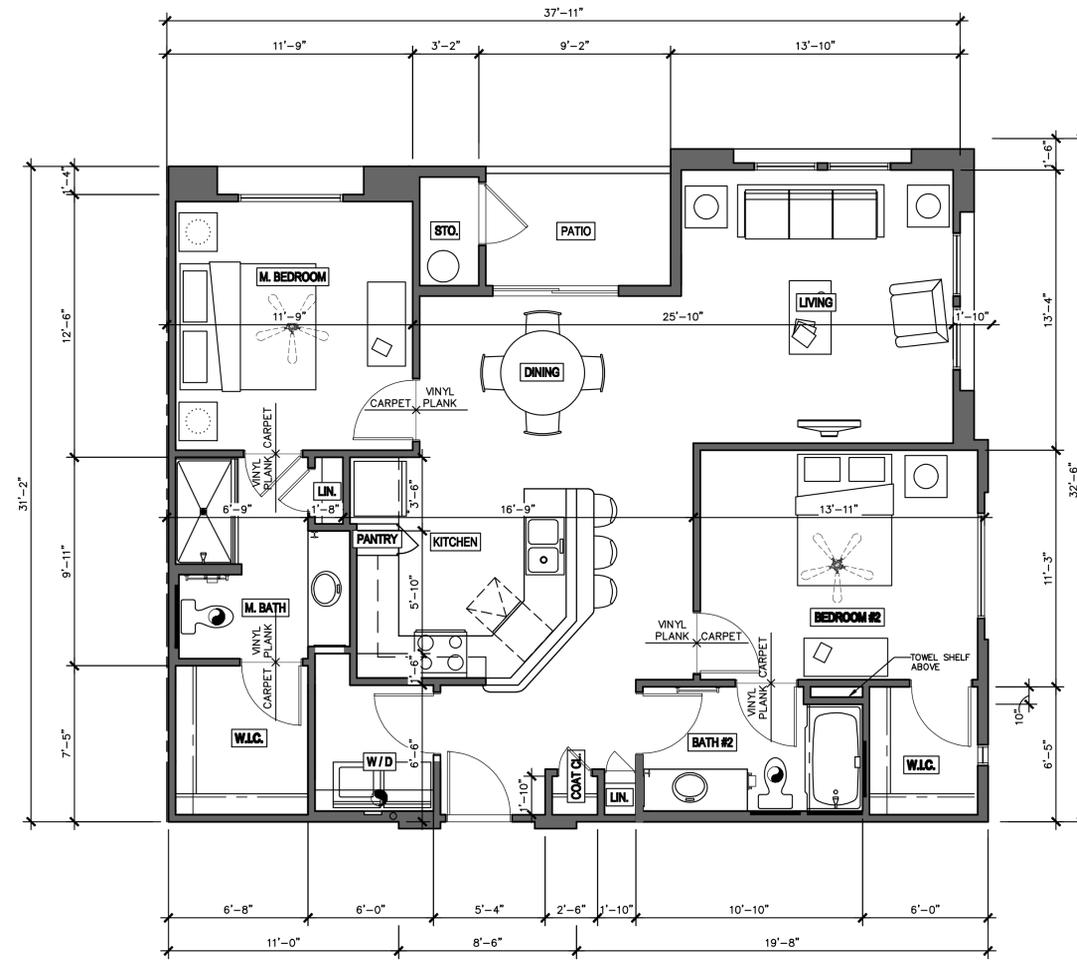
JOB NO: 13-030
 DATE: October 30, 2015
 SCALE: 1/4" = 1'-0"
 SHEET NO:

A2.1

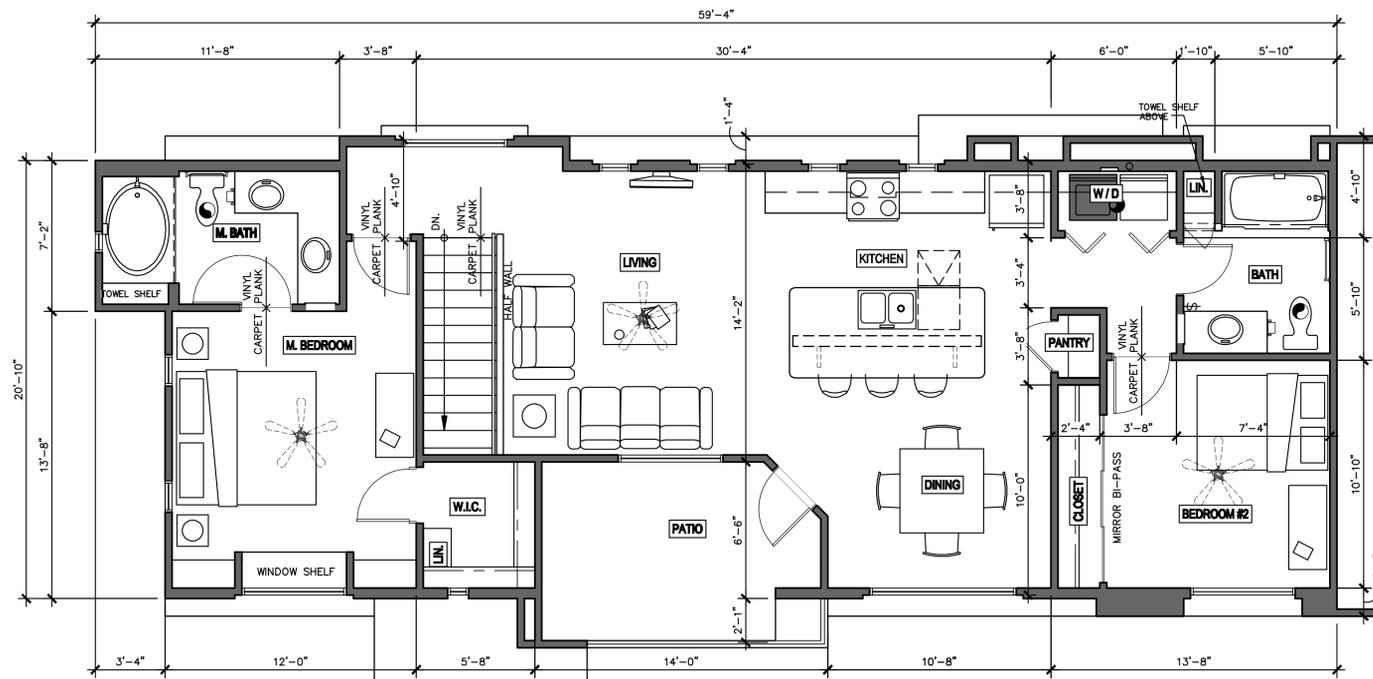
UNIT FLOOR PLANS



UNIT C1 **8 UNITS TOTAL**
 NET AREA: 1,240 S.F.
 NET LEASABLE AREA: 1,320 S.F.
 GROSS AREA: 1,380 S.F.

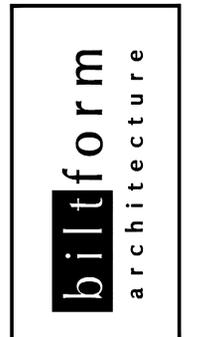


UNIT B2 **24 UNITS TOTAL**
 NET AREA: 1,055 S.F.
 NET LEASABLE AREA: 1,127 S.F.
 GROSS AREA: 1,196 S.F.



UNIT B3 **6 UNITS TOTAL**
 NET AREA: 1,068 S.F.
 NET LEASABLE AREA: 1,126 S.F.
 GROSS AREA: 1,243 S.F.

UNIT FLOOR PLANS



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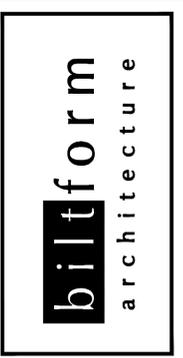
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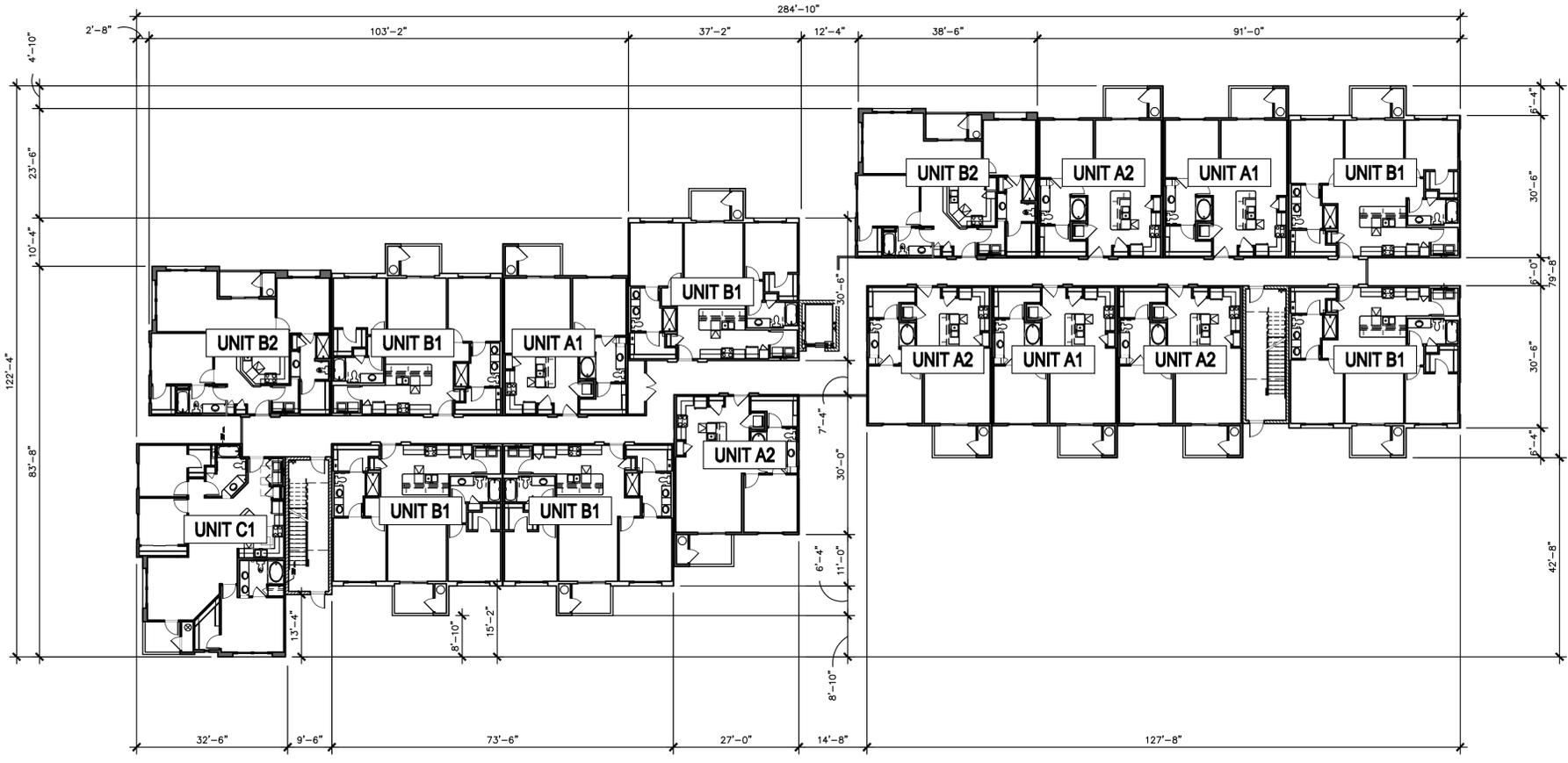
JOB NO: 13-030
 DATE: October 30, 2015
 SCALE: 1/4" = 1'-0"
 SHEET NO:

A2.2



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BLDG. 1 - OVERALL THIRD FLOOR
SCALE: 1/8" = 1'-0"

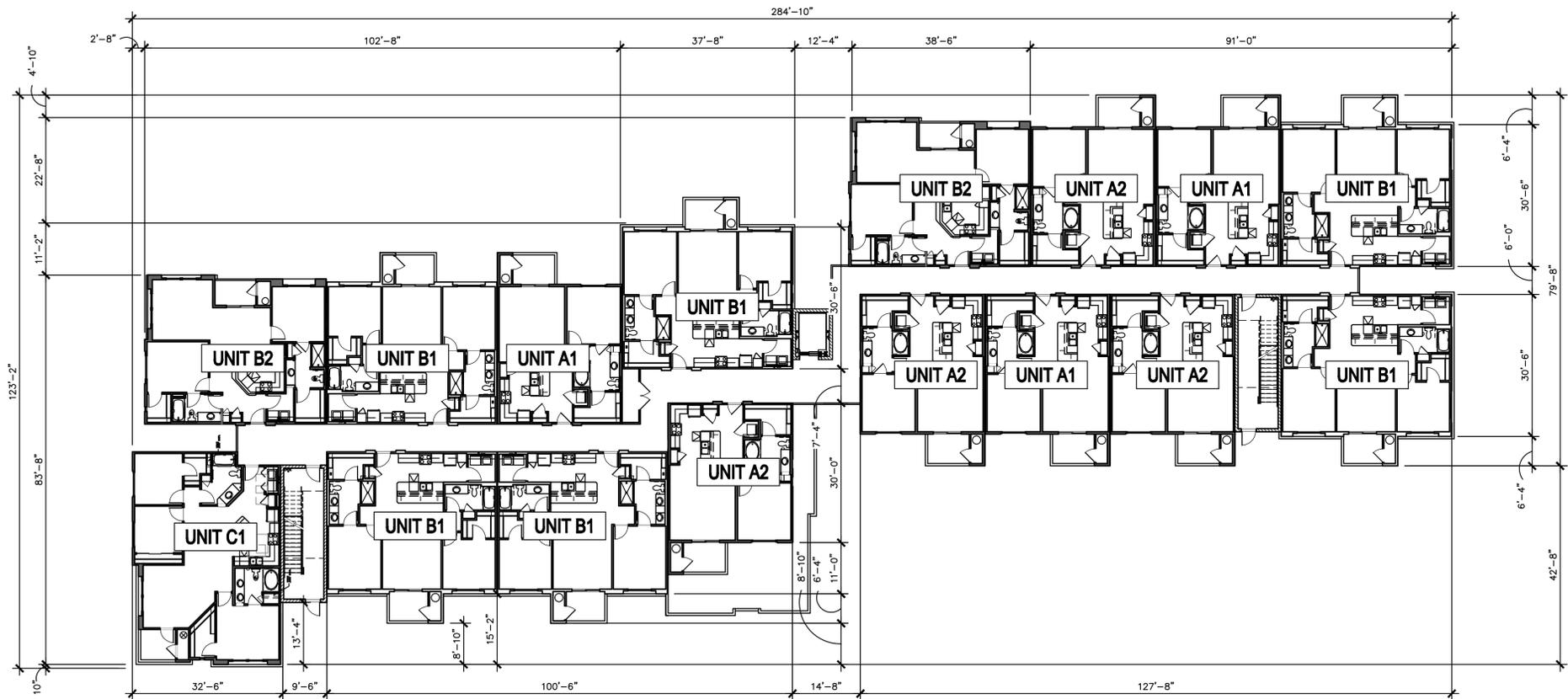
BUILDING 1
OVERALL THIRD FLOOR PLAN

Aviva I (HTG Mesa)
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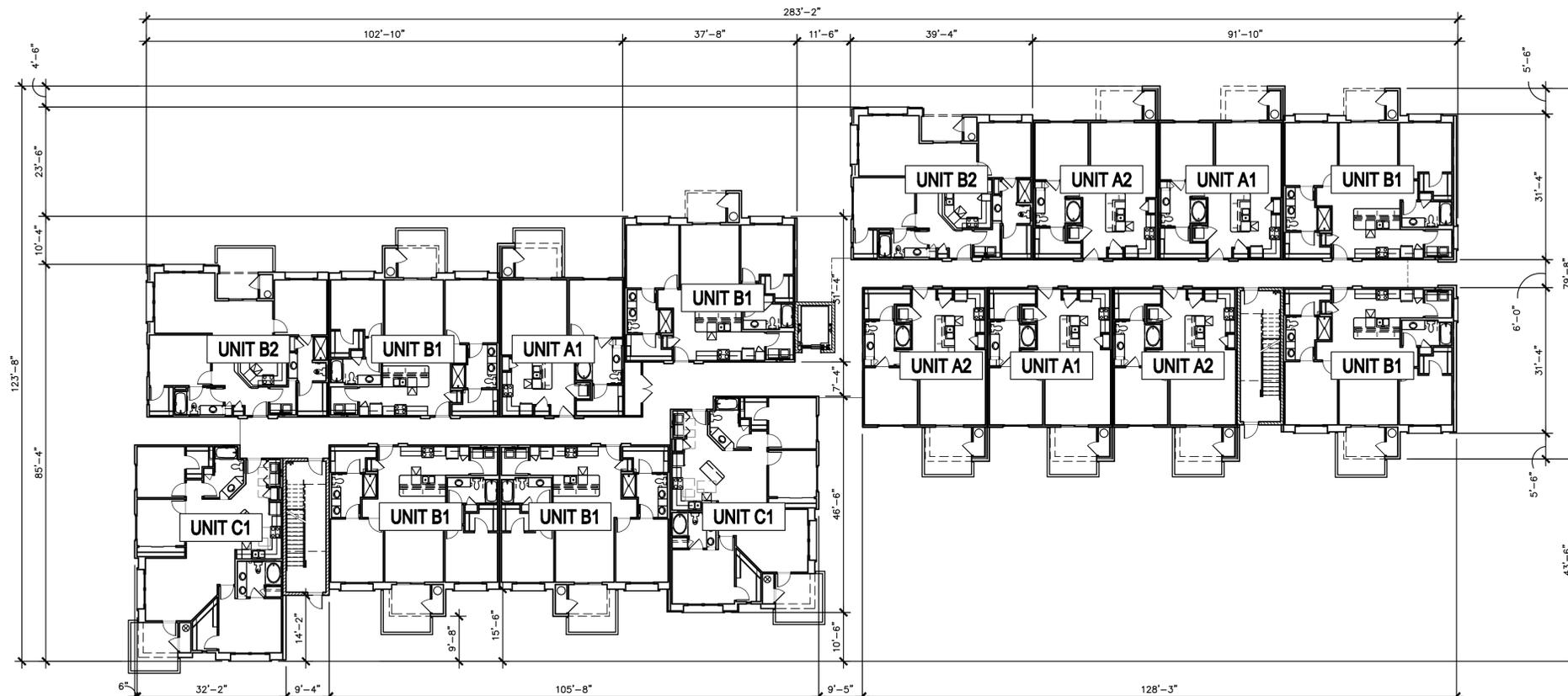
REVISIONS:	
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JOB NO: 13-000
DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A2.3.2

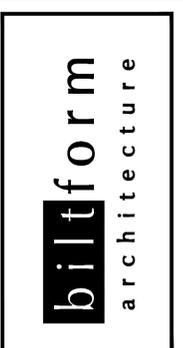


BLDG. 1 - OVERALL SECOND FLOOR
SCALE: 1/16" = 1'-0"



BLDG. 1 - OVERALL FIRST FLOOR
SCALE: 1/16" = 1'-0"

**BUILDING 1 OVERALL
FIRST & SECOND FLOOR PLANS**



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JOB NO: 13-000
DATE: October 30, 2015
SCALE: 1/16" = 1'-0"
SHEET NO:

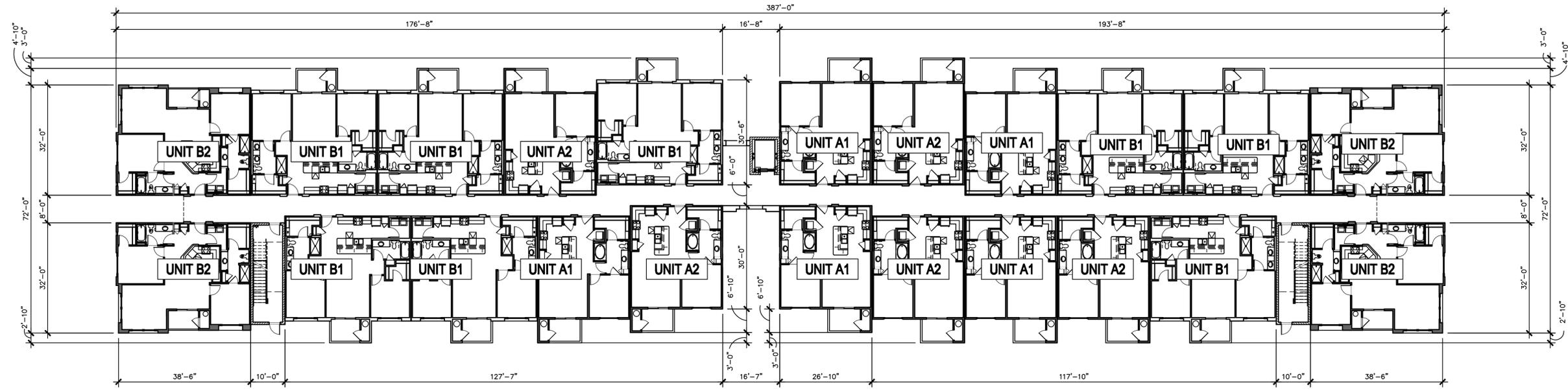
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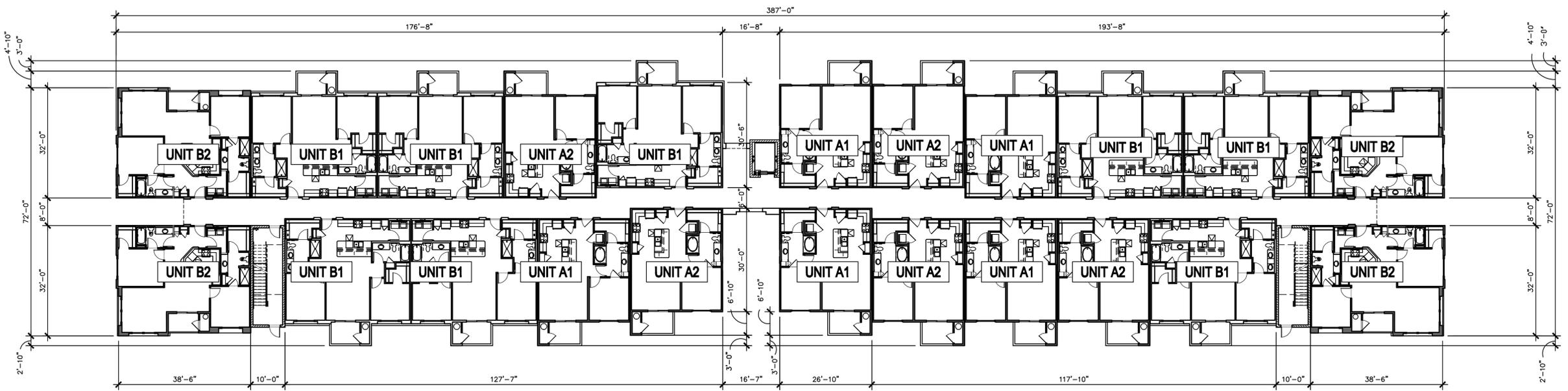
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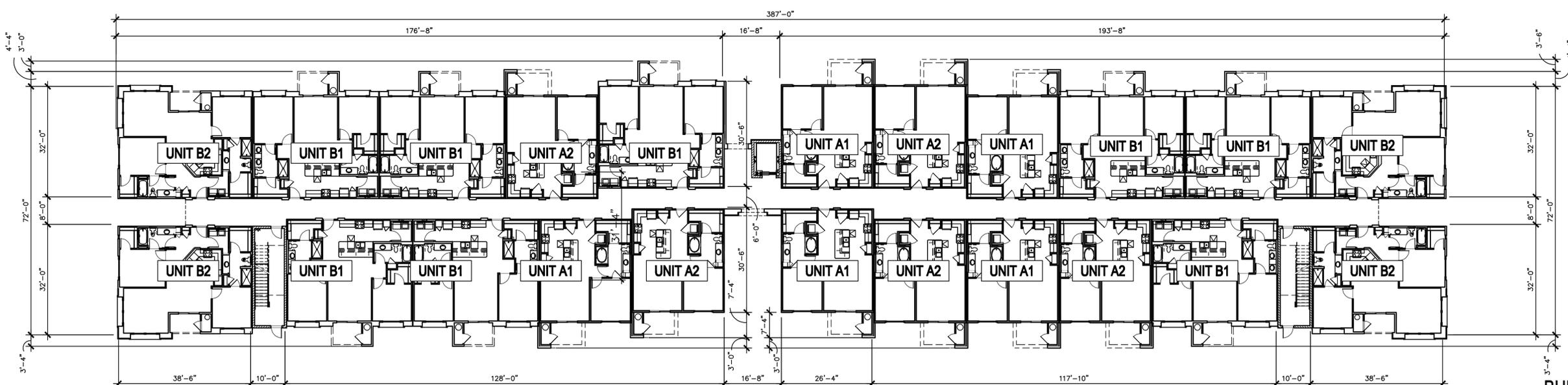
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A BLDG. 1 - OVERALL THIRD FLOOR
SCALE: 1/16" = 1'-0"



B BLDG. 2 - OVERALL SECOND FLOOR
SCALE: 1/16" = 1'-0"



C BLDG. 2 - OVERALL FIRST FLOOR
SCALE: 1/16" = 1'-0"

BUILDING 2 FIRST FLOOR

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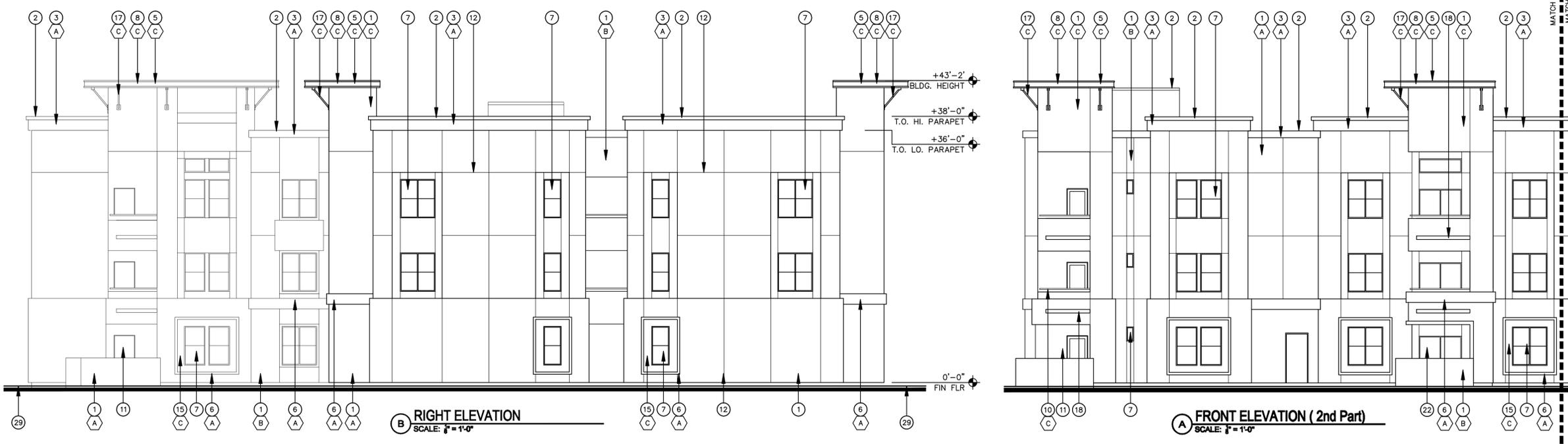
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DATE: October 30, 2015
SCALE: 1/16" = 1'-0"
SHEET NO:

A2.4.1



A FRONT ELEVATION (1st Part)
SCALE: 1/8" = 1'-0"



B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

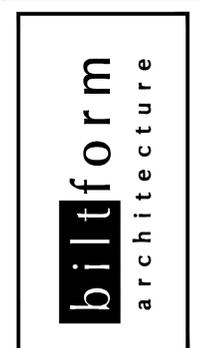
A FRONT ELEVATION (2nd Part)
SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES: #**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
 - FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
 - WINDOW - BRONZE COLORED FRAME.
 - LIGHT GAUGE METAL CHANNEL.
 - PROJECT SIGNAGE. UNDER SEPARATE PERMIT.
 - 42" HIGH TUBE STEEL BALCONY RAILING WITH VERTICAL PICKETS.
 - DOOR.
 - STUCCO CONTROL JOINT.
 - SECTIONAL GARAGE DOOR.
 - RESIDENT AND VISITOR ENTRY FROM STREET.
 - RECESSED WINDOW SURROUND.
 - ALUMINUM STOREFRONT SYSTEM.
 - METAL BRACKET.
 - BALCONY SCUPPER OPENING.
 - CONCRETE STEPS, REFER TO SITE PLAN AND CIVIL DRAWINGS.
 - LINE OF ROOF BEYOND PARAPET TO SHROUD MECHANICAL EQUIPMENT MOUNTED ON ROOF.
 - 42" HIGH RAILING WITH VERTICAL PICKETS AT JULIET BALCONY
 - SLIDING GLASS PATIO DOOR - BRONZE COLORED FRAME.
 - WOOD FRAME COLUMN WITH BRICK VENEER.
 - DWELLING UNIT ROOF DECK.
 - FIRE RISER ACCESS DOOR, PROVIDE SIGNAGE IN ACCORDANCE WITH CITY OF PHOENIX FIRE DEPARTMENT REQUIREMENTS.
 - WOOD FRAME OVERHANG WITH STUCCO FINISH AND METAL FLASHING.
 - SCUPPER THROUGH PARAPET.
 - TELESCOPING DOOR SYSTEM.
 - GROUND PLANE.
 - OPENING - REFER TO BUILDING PLAN.
 - TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

EXTERIOR COLOR SCHEME:

A PRIMARY STUCCO	FRAZEE CL. 3214M "WAVELENGTH"
B SECONDARY STUCCO	FRAZEE CLC 1228W "NEWBURY"
C STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL. 3216A "BRANCHILD"
D STONE VENEER	CORONADO STONE ROCKY MOUNTAIN LEDGE "BITTERROOT"

- GENERAL ELEVATION NOTES:**
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT.
 - SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 - SIGNS AND CARPORT REQUIRE SEPARATE PERMIT.
 - PAINT UNDERSIDE OF BALCONIES TO MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
 - PAINT ALL LOUVERS, VENTS & CAPS TO MATCH ADJACENT FIELD MATERIAL COLOR.
 - FIRST FLOOR PATIO AND SITE WALLS ARE NOT SHOWN ON BUILDING ELEVATIONS FOR CLARITY. SEE SITE PLAN AND SITE DETAILS FOR ADDITIONAL INFORMATION.



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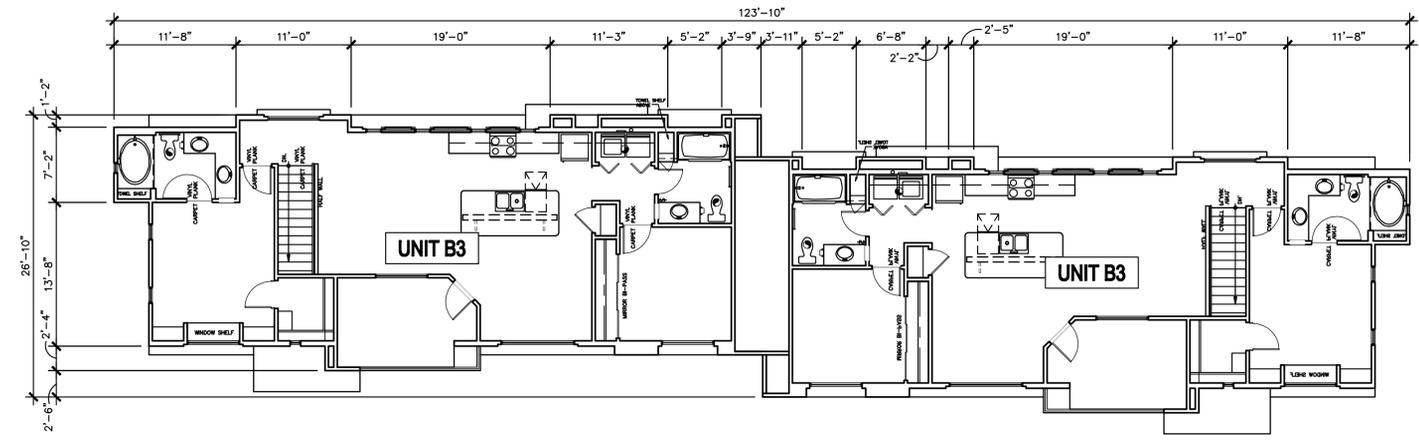
JOB NO: 13-030
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SCALE: 1/8" = 1'-0"
SHEET NO:



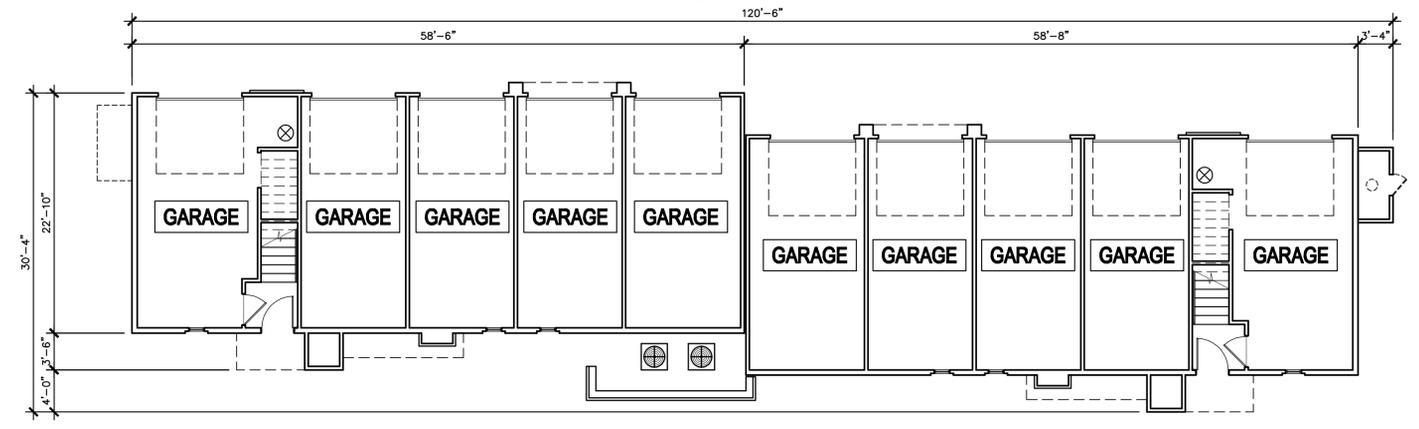
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BLDG. L1 - OVERALL SECOND FLOOR
SCALE: 1/8" = 1'-0"



BLDG. L1 - OVERALL FIRST FLOOR
SCALE: 1/8" = 1'-0"

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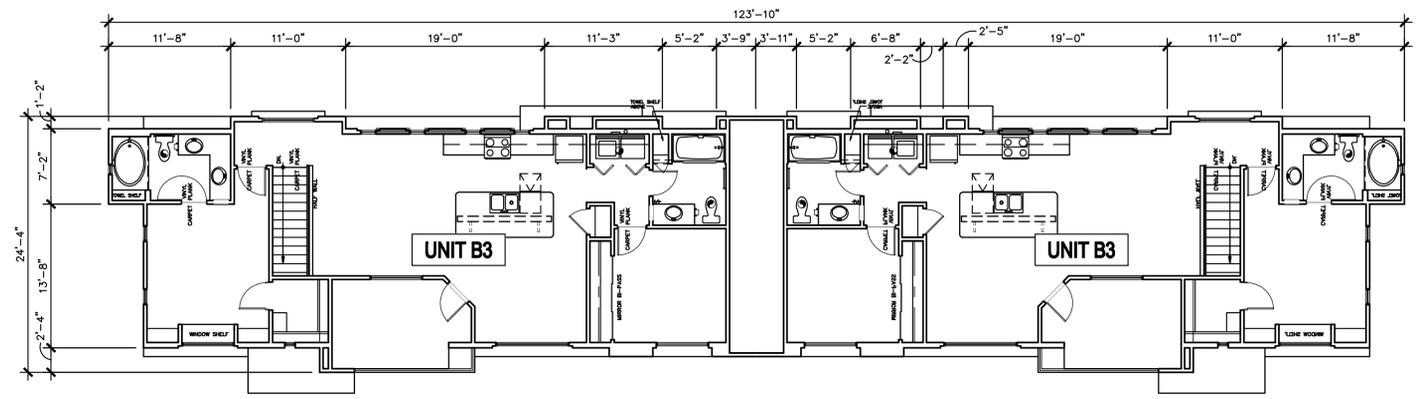
BUILDING LOFT 1 FIRST FLOOR



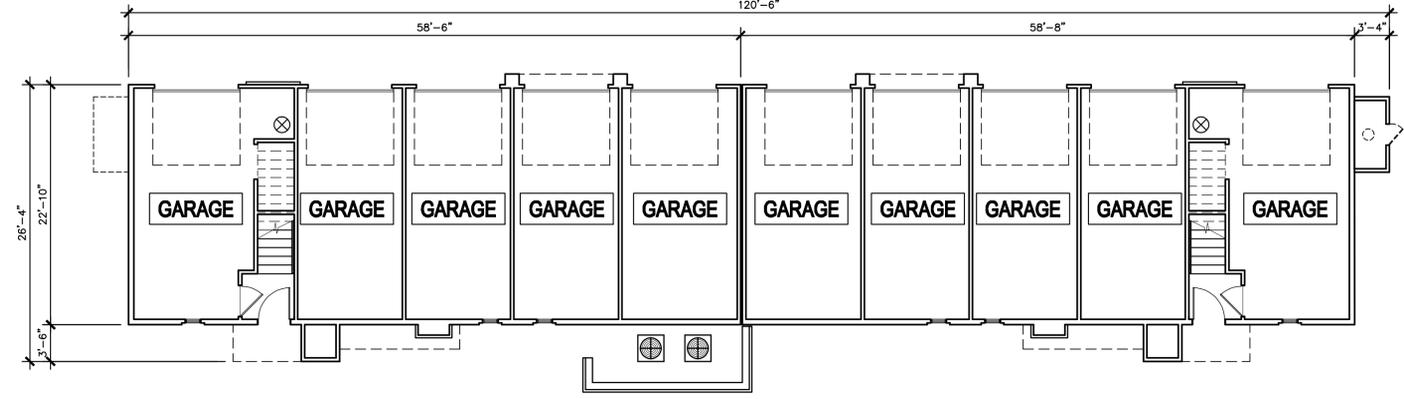
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BLDG. L2 - OVERALL SECOND FLOOR
SCALE: 1/8" = 1'-0"



BLDG. L2 - OVERALL FIRST FLOOR
SCALE: 1/8" = 1'-0"

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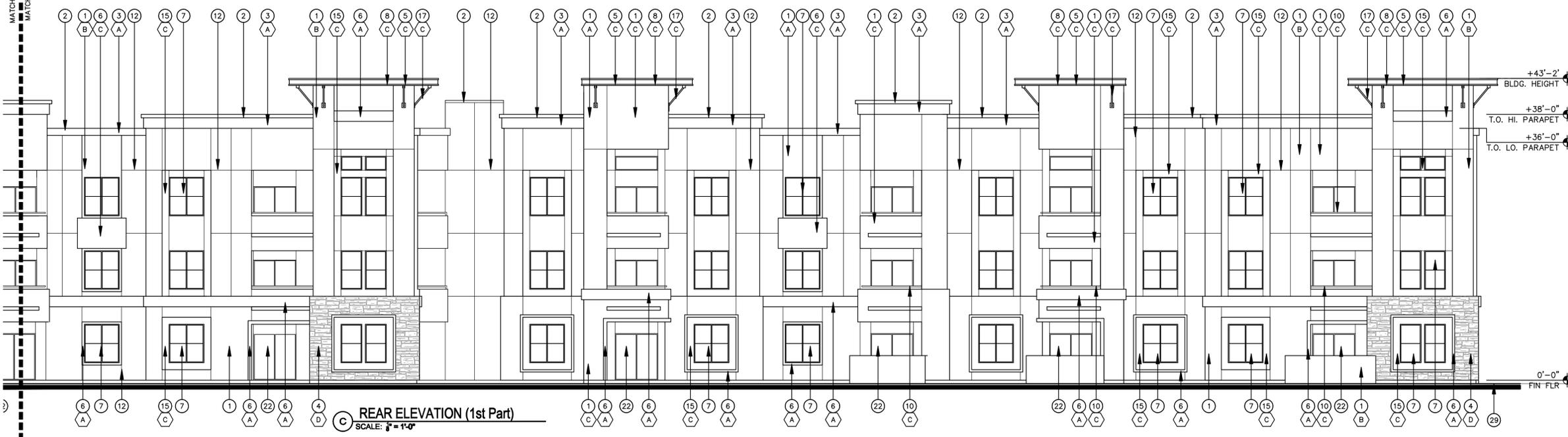
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DATE: October 30, 2015
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MATCH LINE (2nd Part)
MATCH LINE (1st Part)



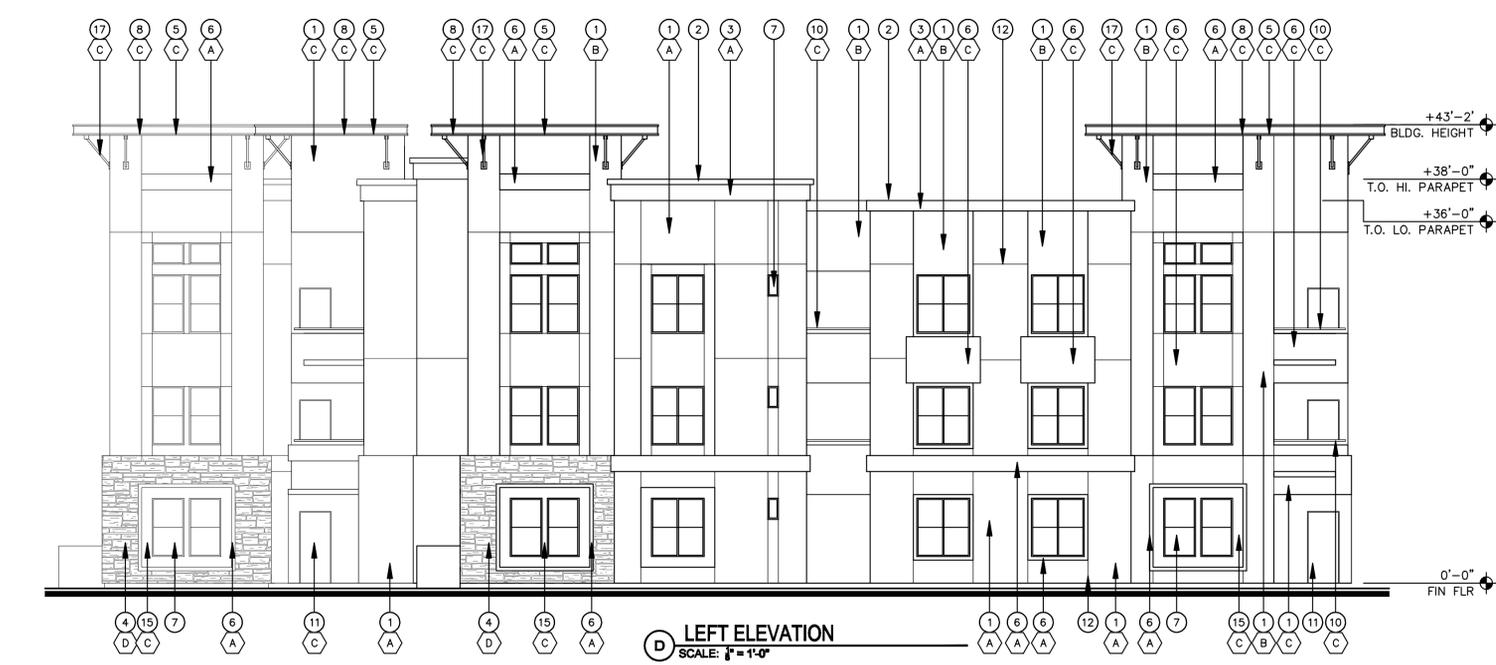
REAR ELEVATION (1st Part)
SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES: #**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
 - FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
 - WINDOW - BRONZE COLORED FRAME.
 - LIGHT GAUGE METAL CHANNEL.
 - PROJECT SIGNAGE. UNDER SEPARATE PERMIT.
 - 42" HIGH TUBE STEEL BALCONY RAILING WITH VERTICAL PICKETS.
 - DOOR.
 - STUCCO CONTROL JOINT.
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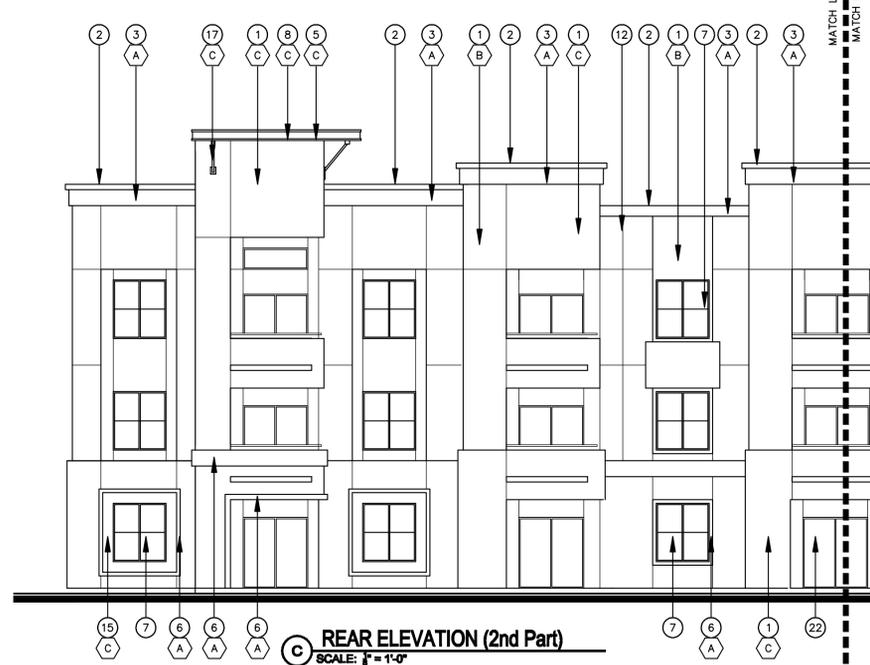
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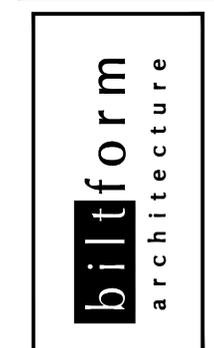
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LEFT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION (2nd Part)
SCALE: 1/8" = 1'-0"



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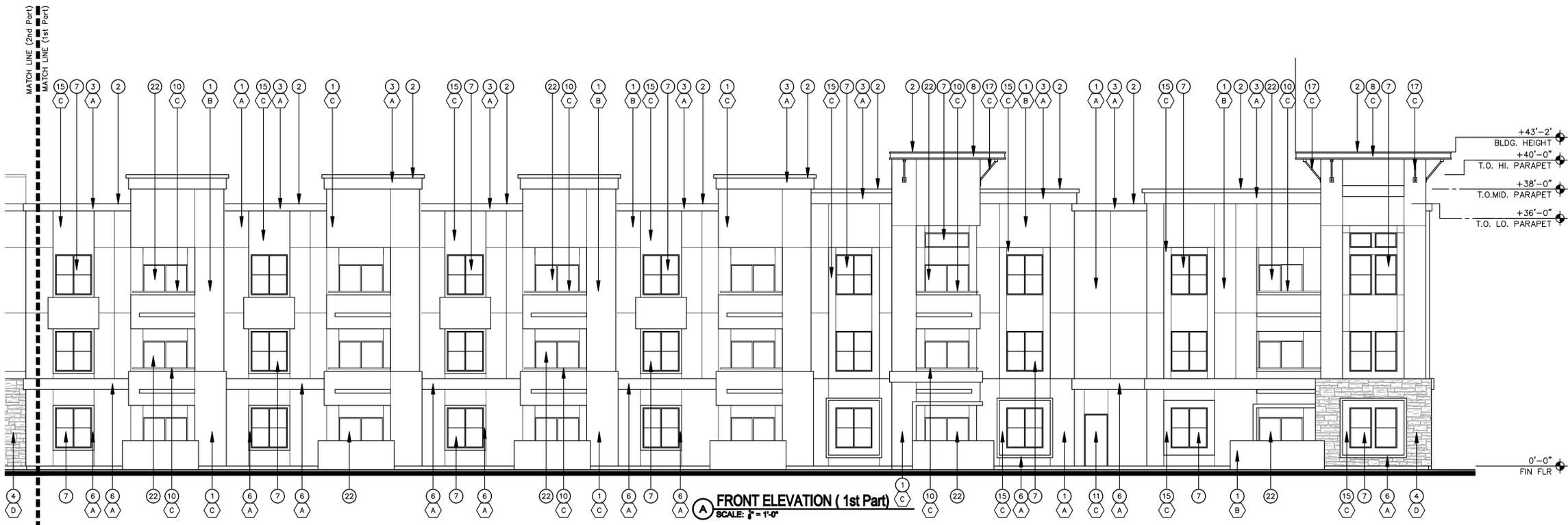
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REVISIONS:

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JOB NO: 13-000
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A3.5.2

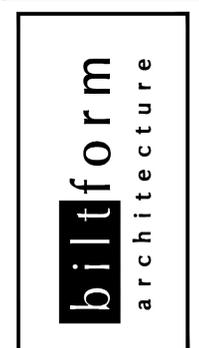


- ELEVATION KEY NOTES: #**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
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 - SECTIONAL GARAGE DOOR.
 - RESIDENT AND VISITOR ENTRY FROM STREET.
 - RECESSED WINDOW SURROUND.
 - ALUMINUM STOREFRONT SYSTEM.
 - METAL BRACKET.
 - BALCONY SCUPPER OPENING.
 - CONCRETE STEPS, REFER TO SITE PLAN AND CIVIL DRAWINGS.
 - LINE OF ROOF BEYOND PARAPET TO SHROUD MECHANICAL EQUIPMENT MOUNTED ON ROOF.
 - 42" HIGH RAILING WITH VERTICAL PICKETS AT JULIET BALCONY
 - SLIDING GLASS PATIO DOOR - BRONZE COLORED FRAME.
 - WOOD FRAME COLUMN WITH BRICK VENEER.
 - DWELLING UNIT ROOF DECK.
 - FIRE RISER ACCESS DOOR. PROVIDE SIGNAGE IN ACCORDANCE WITH CITY OF PHOENIX FIRE DEPARTMENT REQUIREMENTS.
 - WOOD FRAME OVERHANG WITH STUCCO FINISH AND METAL FLASHING.
 - SCUPPER THROUGH PARAPET.
 - TELESCOPING DOOR SYSTEM.
 - GROUND PLANE.
 - OPENING - REFER TO BUILDING PLAN.
 - TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

EXTERIOR COLOR SCHEME:

(A) PRIMARY STUCCO	FRAZEE CL. 3214M "WAVELENGTH"
(B) SECONDARY STUCCO	FRAZEE CLC 1228W "NEWBURY"
(C) STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL. 3216A "BRANCHILD"
(D) STONE VENEER	CORONADO STONE ROCKY MOUNTAIN LEDGE "BITTERROOT"

- GENERAL ELEVATION NOTES:**
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT.
 - SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 - SIGNS AND CARPORT REQUIRE SEPARATE PERMIT.
 - PAINT UNDERSIDE OF BALCONIES TO MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
 - PAINT ALL LOUVERS, VENTS & CAPS TO MATCH ADJACENT FIELD MATERIAL COLOR.
 - FIRST FLOOR PATIO AND SITE WALLS ARE NOT SHOWN ON BUILDING ELEVATIONS FOR CLARITY. SEE SITE PLAN AND SITE DETAILS FOR ADDITIONAL INFORMATION.



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 11480 north cave creek road, suite 11
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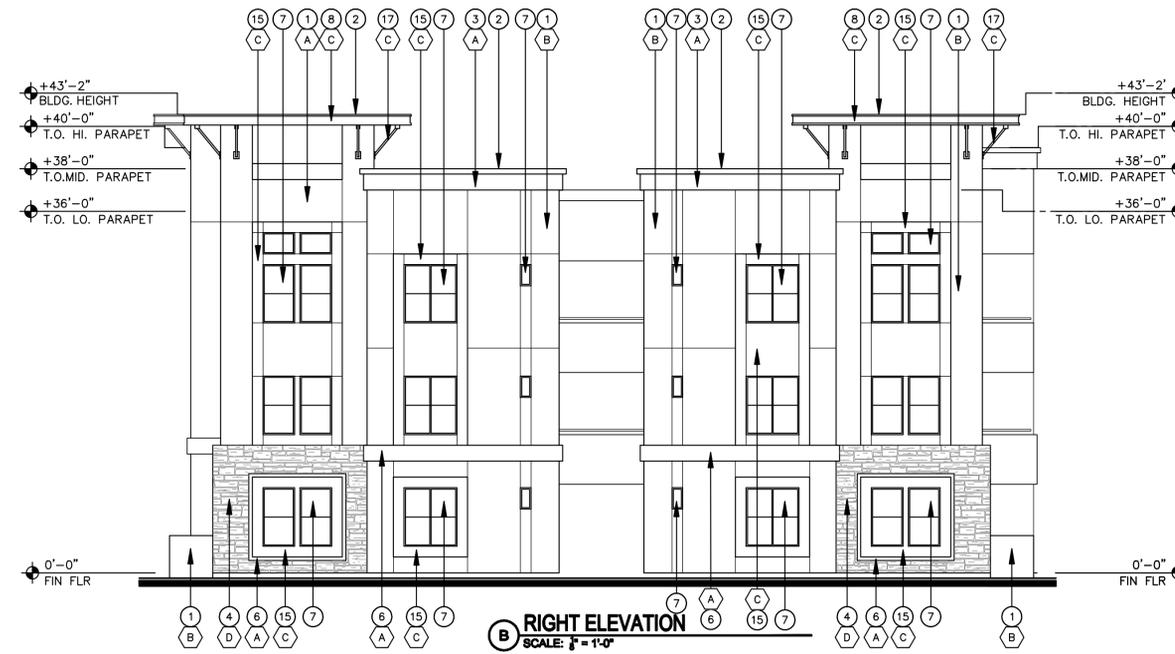
Aviva I (HTG Mesa)
 East of the Santan Freeway on Baseline Road
 Mesa, Arizona
Housing Trust Group, LLC
 3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

REVISIONS:

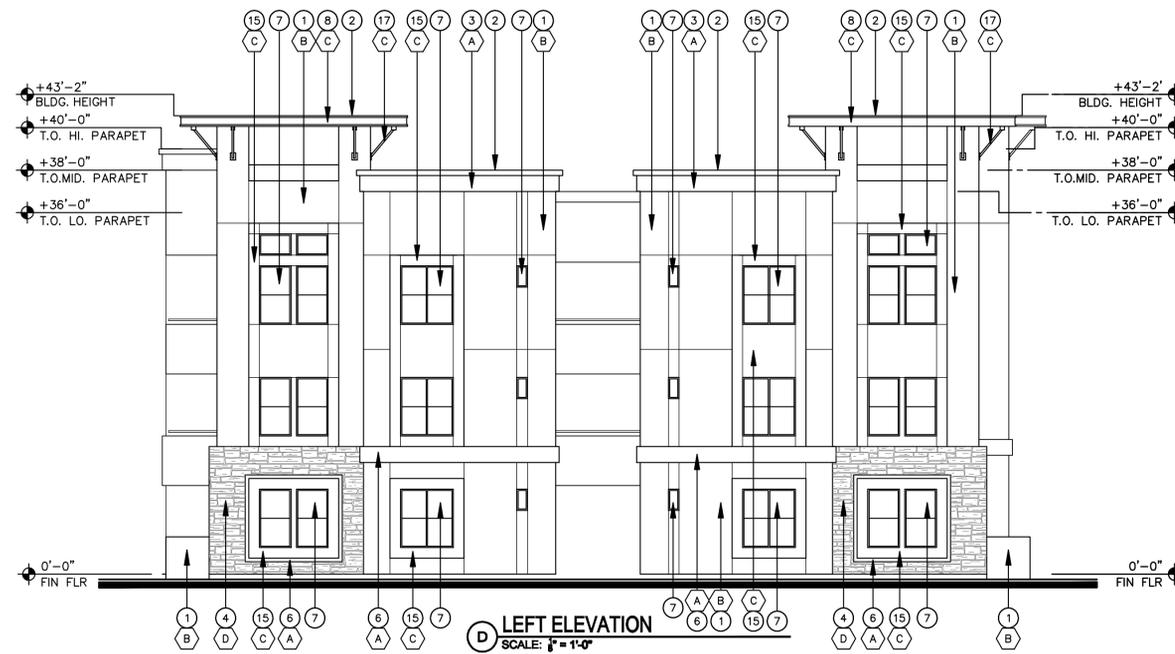
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JOB NO: 13-000
 DATE: October 30, 2015
 SCALE: 1/8" = 1'-0"
 SHEET NO:

A4.5.1



B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



D LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES: #

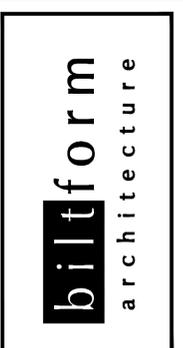
1. EXTERIOR STUCCO SYSTEM.
2. METAL PARAPET CAP.
3. FOAM/STUCCO PARAPET CAP.
4. STONE VENEER.
5. METAL CANOPY.
6. FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
7. WINDOW - BRONZE COLORED FRAME.
8. LIGHT GAUGE METAL CHANNEL.
9. PROJECT SIGNAGE. UNDER SEPARATE PERMIT.
10. 42" HIGH TUBE STEEL BALCONY RAILING WITH VERTICAL PICKETS.
11. DOOR.
12. STUCCO CONTROL JOINT.
13. SECTIONAL GARAGE DOOR.
14. RESIDENT AND VISITOR ENTRY FROM STREET.
15. RECESSED WINDOW SURROUND.
16. ALUMINUM STOREFRONT SYSTEM.
17. METAL BRACKET.
18. BALCONY SCUPPER OPENING.
19. CONCRETE STEPS, REFER TO SITE PLAN AND CIVIL DRAWINGS.
20. LINE OF ROOF BEYOND PARAPET TO SHROUD MECHANICAL EQUIPMENT MOUNTED ON ROOF.
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22. SLIDING GLASS PATIO DOOR - BRONZE COLORED FRAME.
23. WOOD FRAME COLUMN WITH BRICK VENEER.
24. DWELLING UNIT ROOF DECK.
25. FIRE RISER ACCESS DOOR. PROVIDE SIGNAGE IN ACCORDANCE WITH CITY OF PHOENIX FIRE DEPARTMENT REQUIREMENTS.
26. WOOD FRAME OVERHANG WITH STUCCO FINISH AND METAL FLASHING.
27. SCUPPER THROUGH PARAPET.
28. TELESCOPING DOOR SYSTEM.
29. GROUND PLANE.
30. OPENING - REFER TO BUILDING PLAN.
31. TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

EXTERIOR COLOR SCHEME:

A PRIMARY STUCCO	FRAZEE CL 3214M "WAVELENGTH"
B SECONDARY STUCCO	FRAZEE CLC 1228W "NEWBURY"
C STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL 3216A "BRANCHILD"
D STONE VENEER	CORONADO STONE ROCKY MOUNTAIN LEDGE "BITTERROOT"

GENERAL ELEVATION NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGNS AND CARPORT REQUIRE SEPARATE PERMIT.
4. PAINT UNDERSIDE OF BALCONIES TO MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
5. PAINT ALL LOUVERS, VENTS & CAPS TO MATCH ADJACENT FIELD MATERIAL COLOR.
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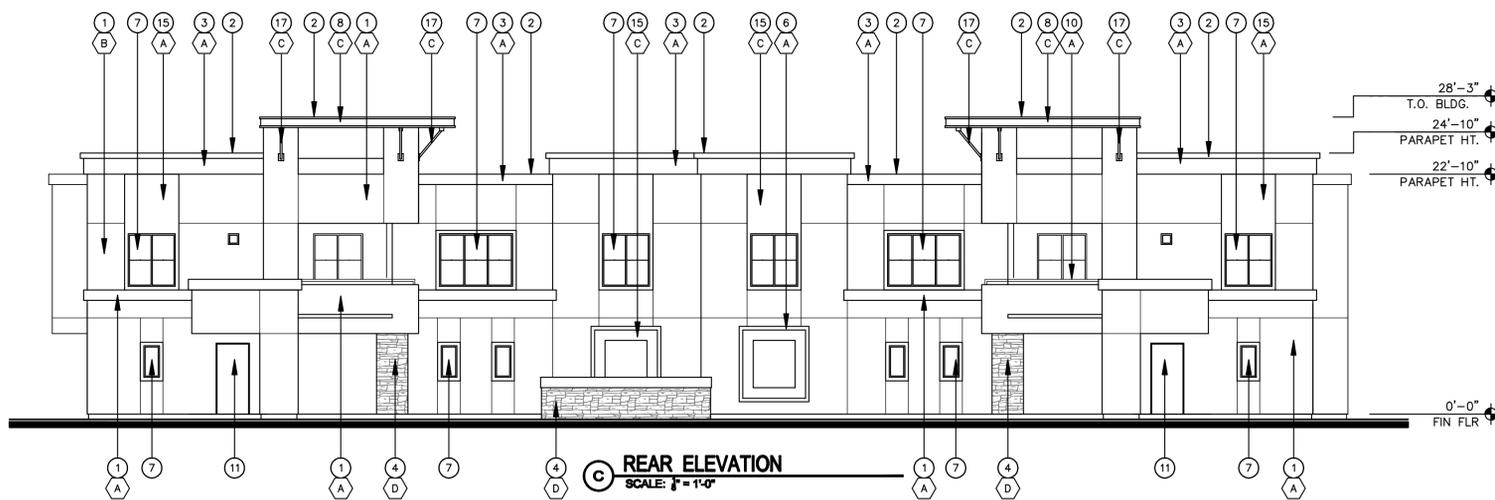
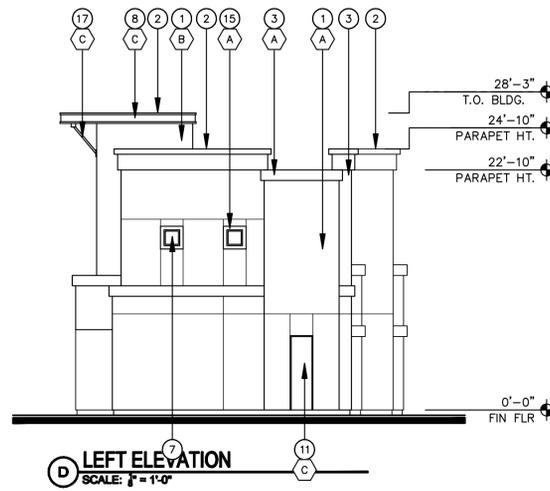
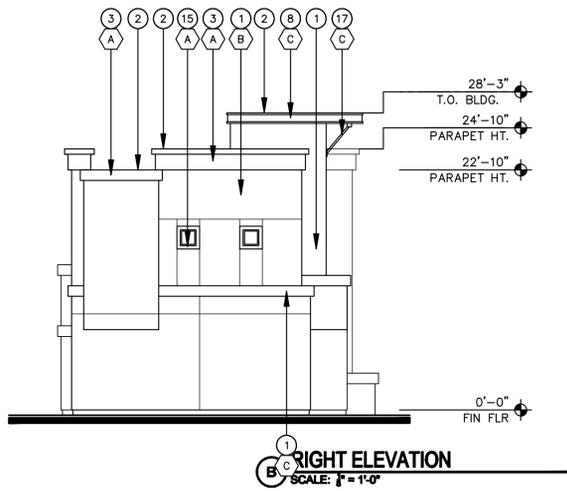
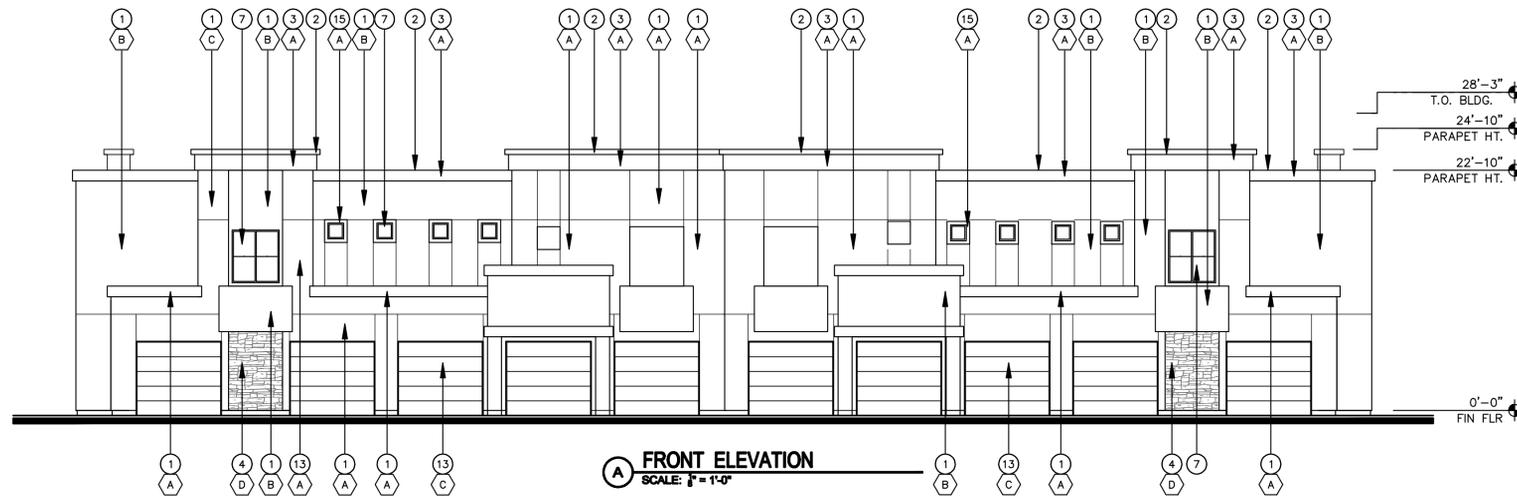
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Housing Trust Group, LLC
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REVISIONS:

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4	-

JOB NO: 13-000
DATE: September 10th, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A4.5.2

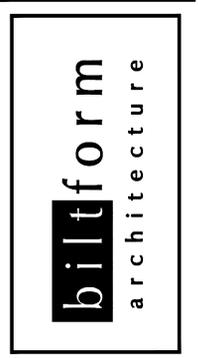


- ELEVATION KEY NOTES: #**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
 - FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
 - WINDOW - BRONZE COLORED FRAME.
 - LIGHT GAUGE METAL CHANNEL.
 - PROJECT SIGNAGE. UNDER SEPARATE PERMIT.
 - 42" HIGH TUBE STEEL BALCONY RAILING WITH VERTICAL PICKETS.
 - DOOR.
 - STUCCO CONTROL JOINT.
 - SECTIONAL GARAGE DOOR.
 - RESIDENT AND VISITOR ENTRY FROM STREET.
 - RECESSED WINDOW SURROUND.
 - ALUMINUM STOREFRONT SYSTEM.
 - METAL BRACKET.
 - BALCONY SCUPPER OPENING.
 - CONCRETE STEPS, REFER TO SITE PLAN AND CIVIL DRAWINGS.
 - LINE OF ROOF BEYOND PARAPET TO SHROUD MECHANICAL EQUIPMENT MOUNTED ON ROOF.
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 - TELESCOPING DOOR SYSTEM.
 - GROUND PLANE.
 - OPENING - REFER TO BUILDING PLAN.
 - TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

EXTERIOR COLOR SCHEME:

A PRIMARY STUCCO	FRAZEE CL 3214M "WAVELENGTH"
B SECONDARY STUCCO	FRAZEE CLC 1228W "NEWBURY"
C STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL 3216A "BRANCHILD"
D STONE VENEER	CORONADO STONE ROCKY MOUNTAIN LEDGE "BITTERROOT"

- GENERAL ELEVATION NOTES:**
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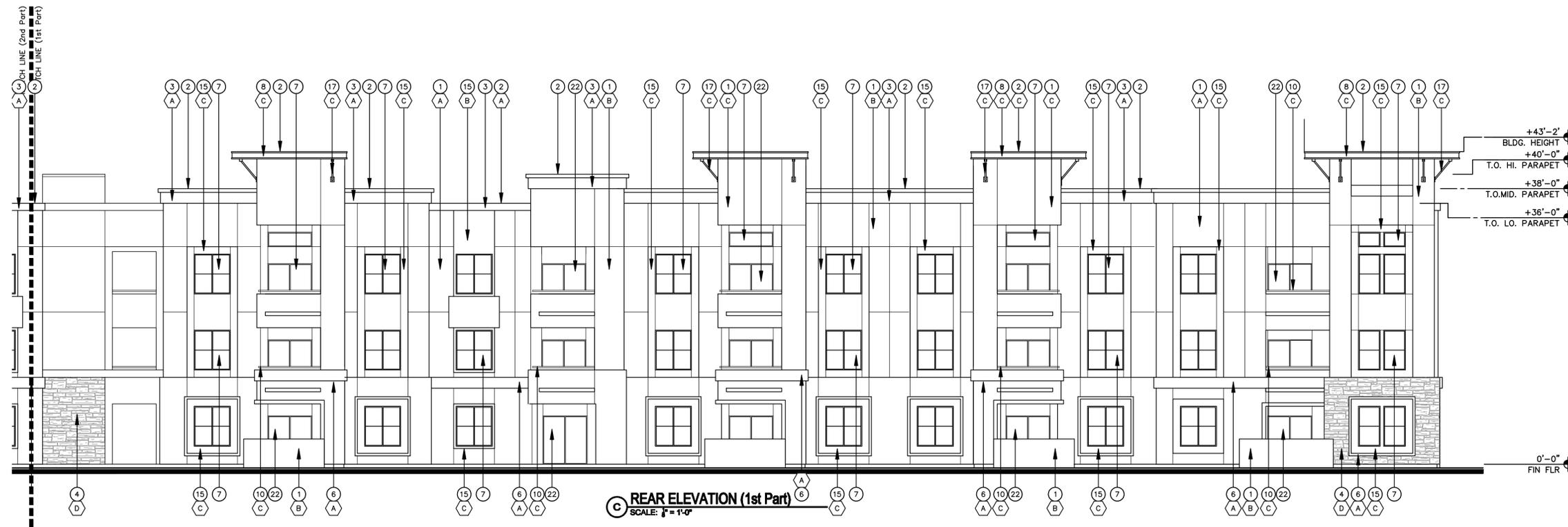
Aviva I (HTG Mesa)
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Mesa, Arizona
Housing Trust Group, LLC
3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

REVISIONS:

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JOB NO: 13-030
DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A5.4.1



REAR ELEVATION (1st Part)
SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES:**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
 - FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
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 - PROJECT SIGNAGE. UNDER SEPARATE PERMIT.
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 - STUCCO CONTROL JOINT.
 - SECTIONAL GARAGE DOOR.
 - RESIDENT AND VISITOR ENTRY FROM STREET.
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 - GROUND PLANE.
 - OPENING - REFER TO BUILDING PLAN.
 - TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

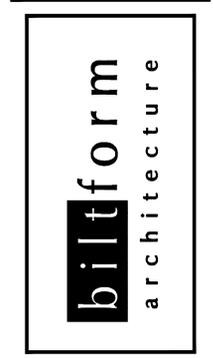
EXTERIOR COLOR SCHEME:

(A) PRIMARY STUCCO	FRAZEE CL 3214M "WAVELENGTH"
(B) SECONDARY STUCCO	FRAZEE CLC 1228W "NEWBURY"
(C) STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL 3216A "BRANCHILD"
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REAR ELEVATION (2nd Part)
SCALE: 1/8" = 1'-0"



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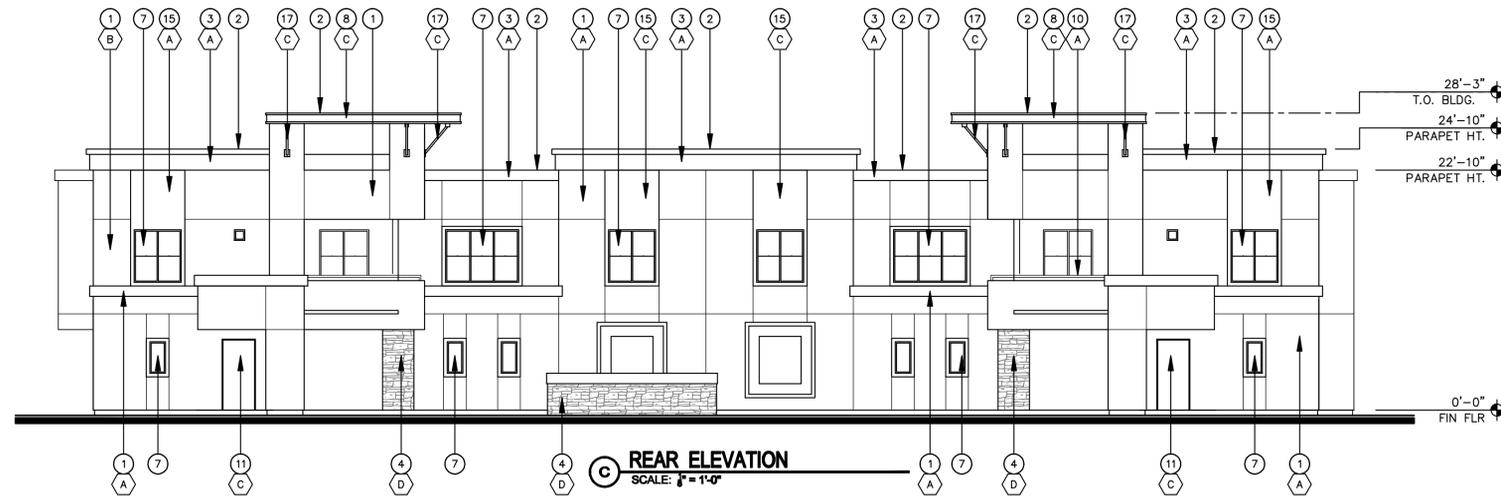
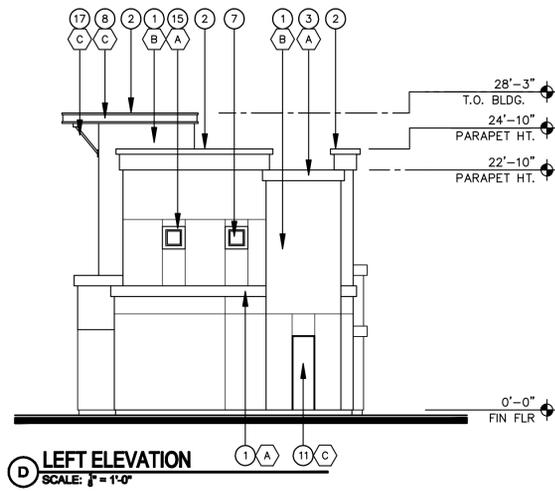
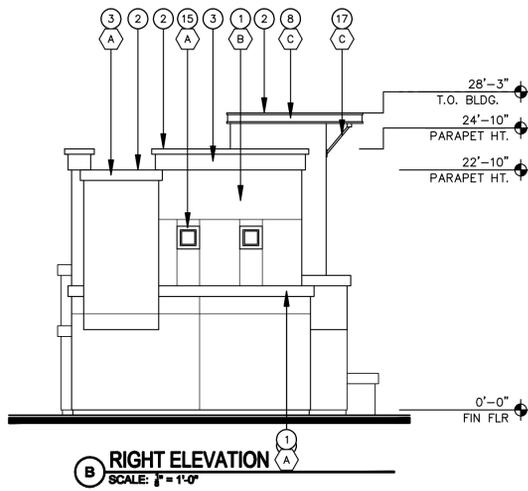
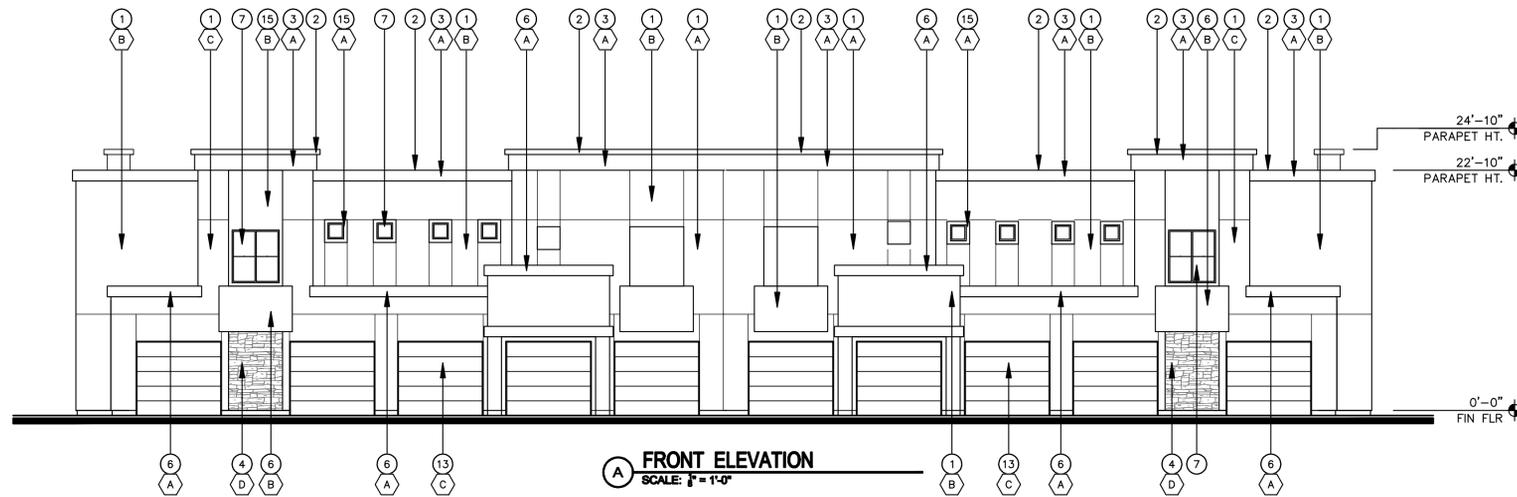
Aviva I (HTG Mesa)
East of the Santan Freeway on Baseline Road
Mesa, Arizona
Housing Trust Group, LLC
3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

REVISIONS:

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JOB NO: 13-030
DATE: September 16th, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A4.5.3

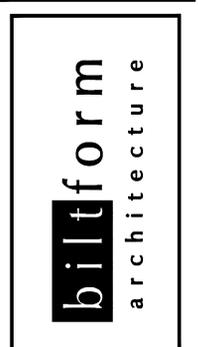


- ELEVATION KEY NOTES: #**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
 - FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
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 - DOOR.
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 - OPENING - REFER TO BUILDING PLAN.
 - TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

EXTERIOR COLOR SCHEME:

A PRIMARY STUCCO	FRAZEE CL 3214M "WAVELENGTH"
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C STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL 3216A "BRANCHILD"
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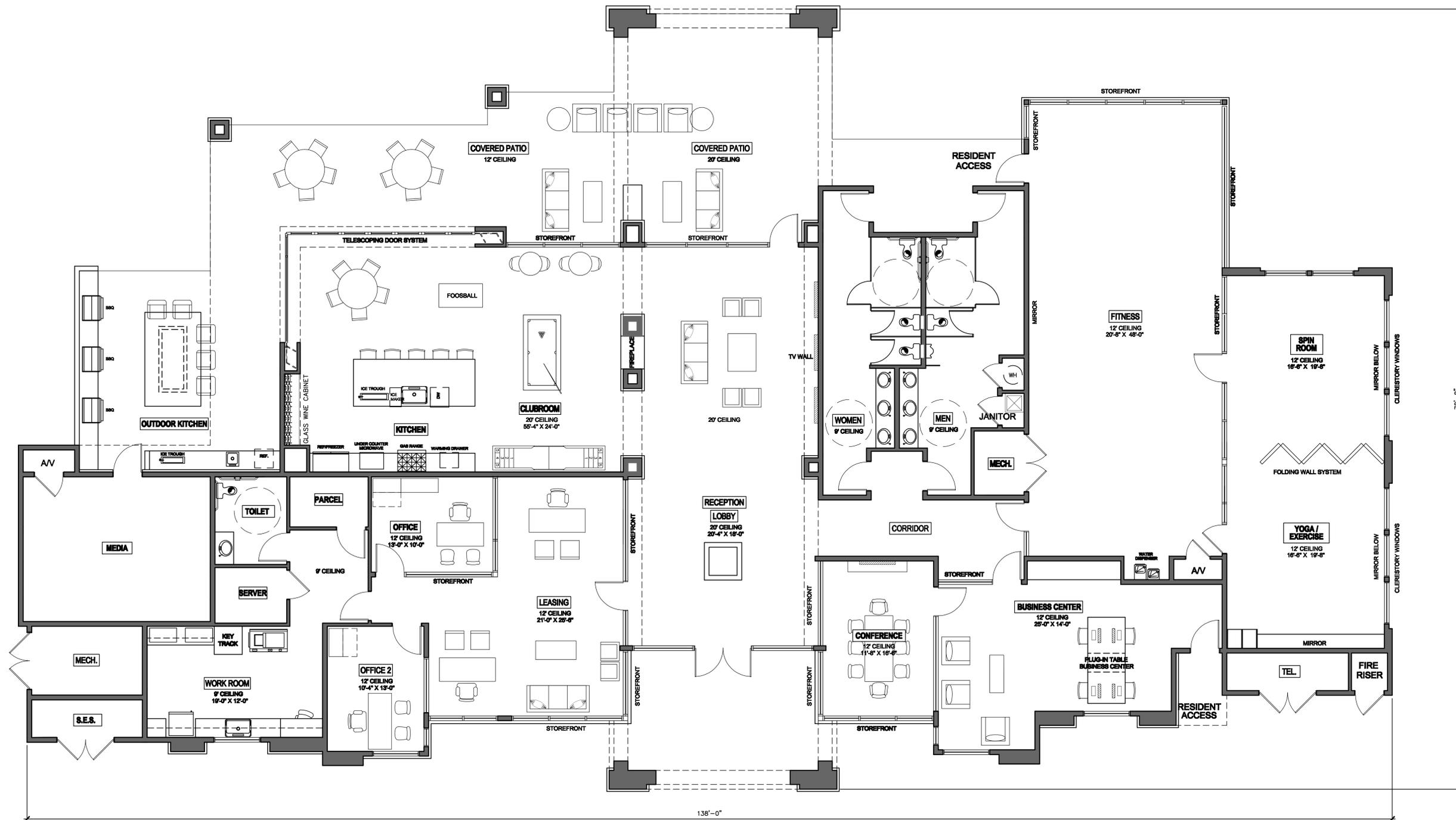
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REVISIONS:

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2	-
3	-
4	-

JOB NO: 13-030
DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A6.4.1



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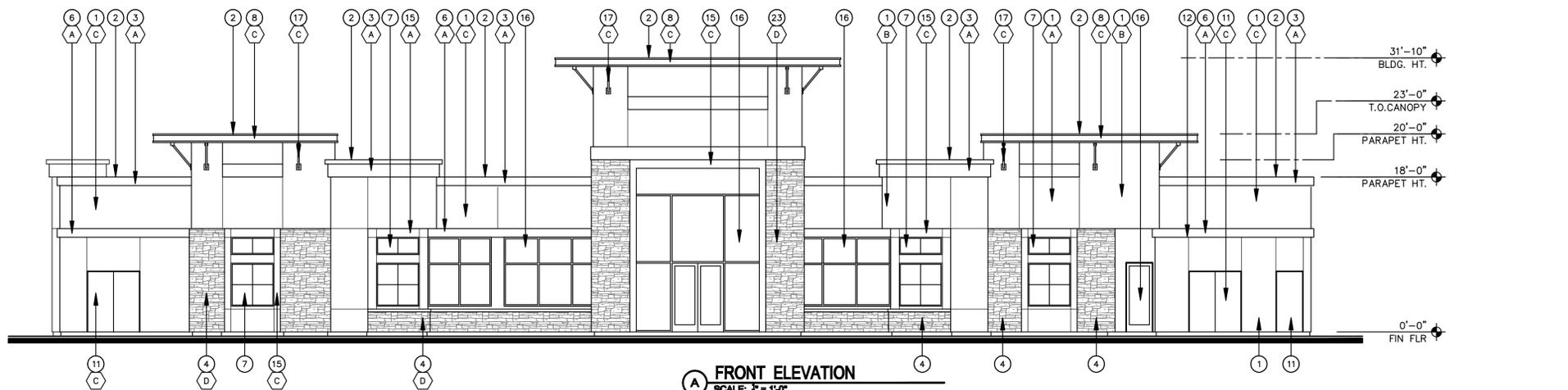
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JOB NO: 13-030
DATE: October 30, 2015
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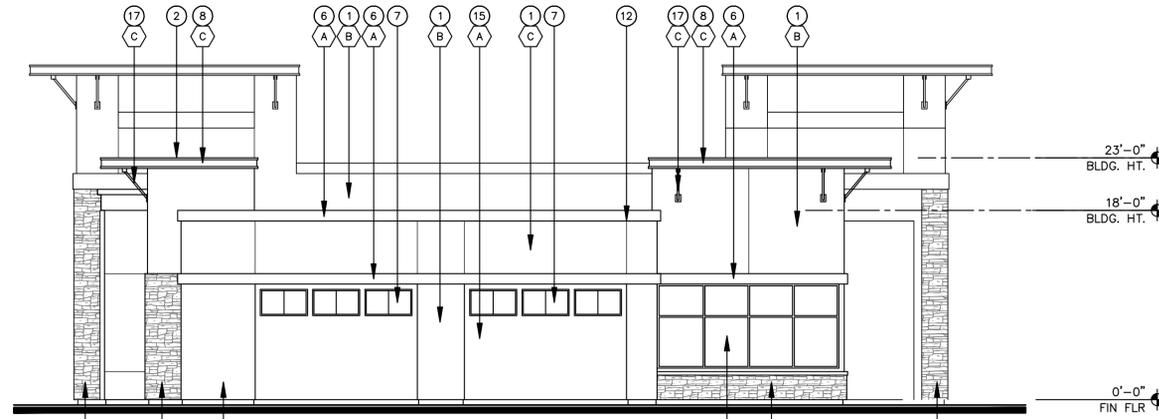
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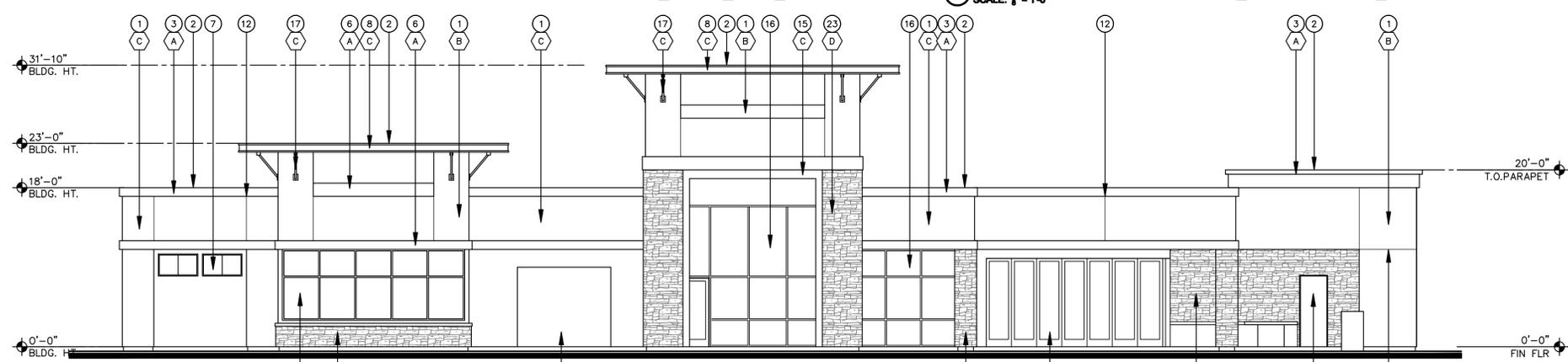
CLUBHOUSE PLAN
6,450 S.F. NET AC / 8,534 S.F. GROSS



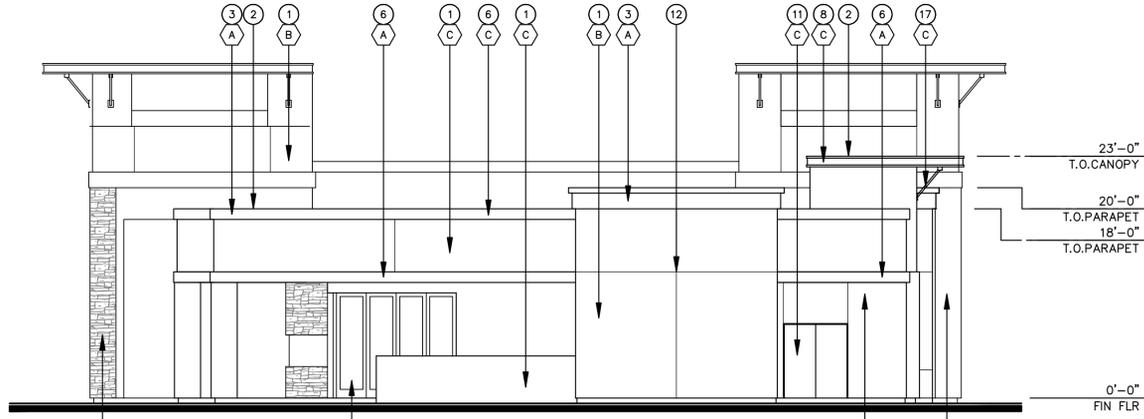
A FRONT ELEVATION
SCALE: 1/8" = 1'-0"



B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



C REAR ELEVATION
SCALE: 1/8" = 1'-0"



D LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES: #

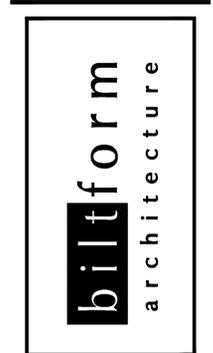
1. EXTERIOR STUCCO SYSTEM.
2. METAL PARAPET CAP.
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4. STONE VENEER.
5. METAL CANOPY.
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8. LIGHT GAUGE METAL CHANNEL.
9. PROJECT SIGNAGE, UNDER SEPARATE PERMIT.
10. 42" HIGH TUBE STEEL BALCONY RAILING WITH VERTICAL PICKETS.
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EXTERIOR COLOR SCHEME:

A) PRIMARY STUCCO	FRAZEE CL 3214M "WAVELENGTH"
B) SECONDARY STUCCO	FRAZEE CLC 1228W "NEWBURY"
C) STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL 3216A "BRAINCHILD"
D) STONE VENEER	CORONADO STONE ROCKY MOUNTAIN LEDGE "BITTERROOT"

GENERAL ELEVATION NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGNS AND CARPORT REQUIRE SEPARATE PERMIT.
4. PAINT UNDERSIDE OF BALCONIES TO MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
5. PAINT ALL LOUVERS, VENTS & CAPS TO MATCH ADJACENT FIELD MATERIAL COLOR.
6. FIRST FLOOR PATIO AND SITE WALLS ARE NOT SHOWN ON BUILDING ELEVATIONS FOR CLARITY. SEE SITE PLAN AND SITE DETAILS FOR ADDITIONAL INFORMATION.



biltform architecture
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11460 north cave creek road - suite 111
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Phone 602.285.9200 Fax 602.285.9229



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Aviva I (HTG Mesa)
East of the Santan Freeway on Baseline Road
Mesa, Arizona
Housing Trust Group, LLC
3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

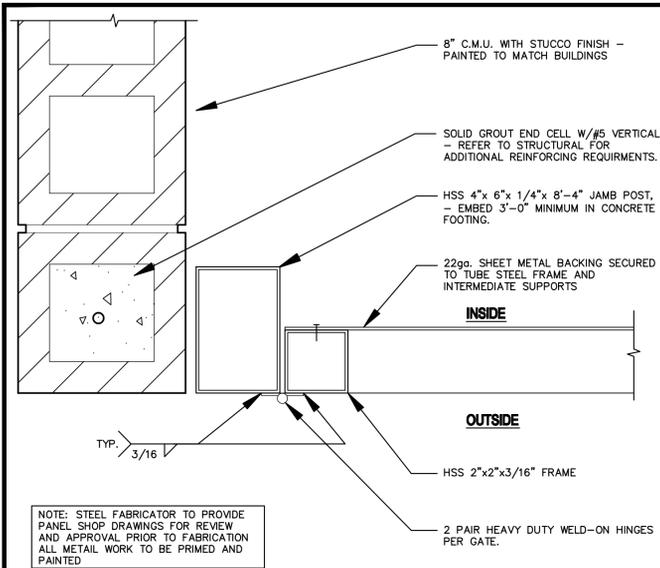
REVISIONS:

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JOB NO: 15-030
DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

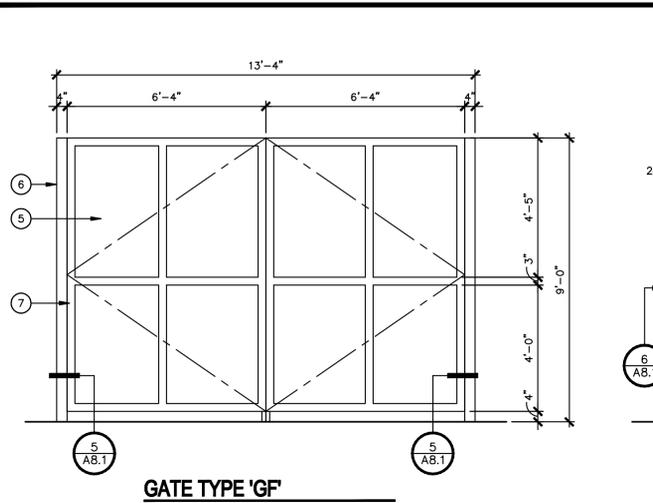
A7.2

ELEVATIONS - CLUB HOUSE



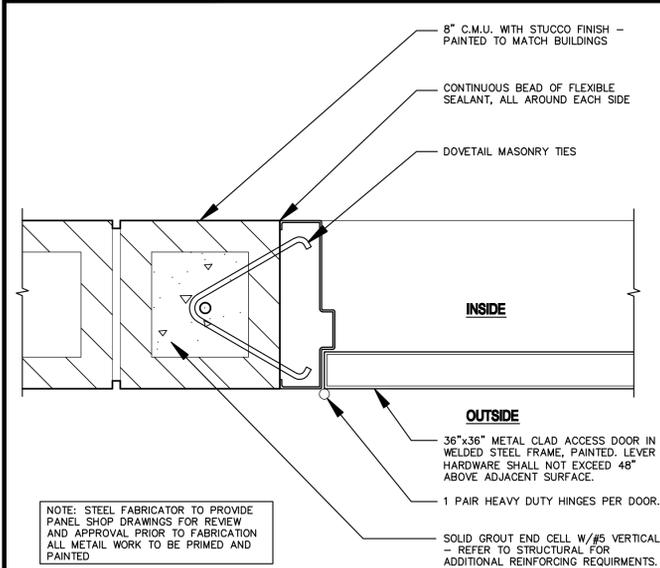
5 TRASH ENCLOSURE GATE DETAIL

3" = 1'-0"



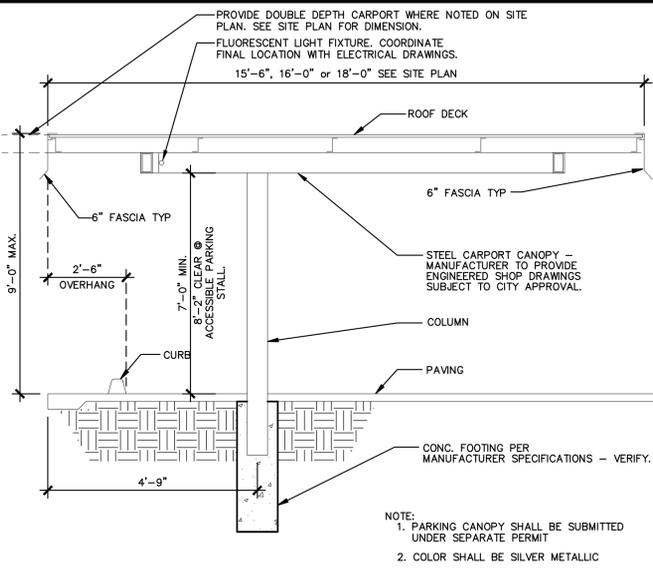
3 TRASH ENCLOSURE GATE ELEVATIONS

3/8" = 1'-0"



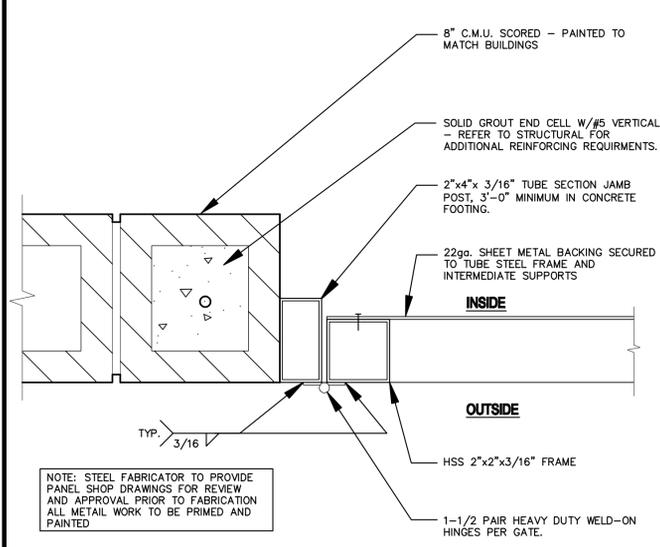
6 TRASH ENCLOSURE GATE DETAIL

3" = 1'-0"



4 PARKING CANOPY

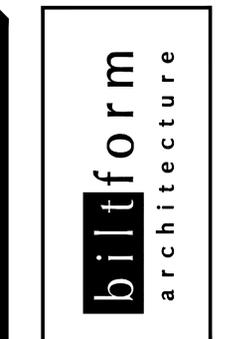
SCALE: 3/8" = 1'-0"



7 MAN GATE DETAIL

3" = 1'-0"

- ELEVATION KEY NOTES: #
- HSS 3"x 3"x 3/16" FRAME, PAINTED
 - SQUARE WEAVE WIRE MESH, PLAIN STEEL COLD ROLLED, 1/2" SQUARE OPENING, 0.120 WIRE DIAMETER, WELD TO ANGLE FRAME
 - 1 1/2"x 1 1/2"x 1/8" STEEL ANGLE, WELD TO TUBE STEEL FRAME.
 - 2"x 2"x 3/16" TUBE STEEL GATE FRAME.
 - 22 GAUGE SHEET METAL BACKING, SECURED TO TUBE STEEL FRAME AND INTERMEDIATE SUPPORTS.
 - HSS 4"x 6"x 1/4" JAMB POST, PAINTED
 - HSS 2"x 2"x 3/16" GATE FRAME, PAINTED
 - HSS 2"x 4"x 3/16" JAMB POST, PAINTED
 - 36"x36" METAL CLAD DOOR IN WELDED STEEL FRAME, PAINTED. LEVER TYPE HARDWARE SHALL NOT EXCEED 48" ABOVE ADJACENT SURFACE. PROVIDE SELF CLOSING DEVICE.
 - METER PACK LOCATION, REFER TO ELECTRICAL PLANS FOR EXACT LOCATION, CONFIGURATION AND SPECIFICATIONS. PAINT TO MATCH SURROUNDING BUILDING COLOR.
- NOTE: ALL METAL WORK TO BE PRIMED AND PAINTED TO MATCH BUILDING



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JOB NO: 13-030
DATE: October 30, 2015
SCALE:
SHEET NO: NO SCALE

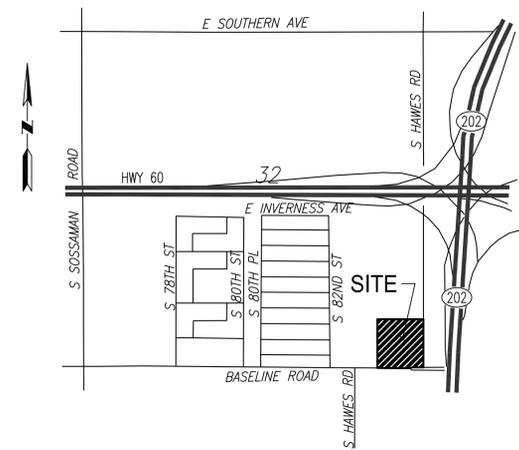
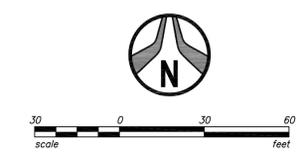
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GATE DETAILS & PARKING CANOPY DETAILS

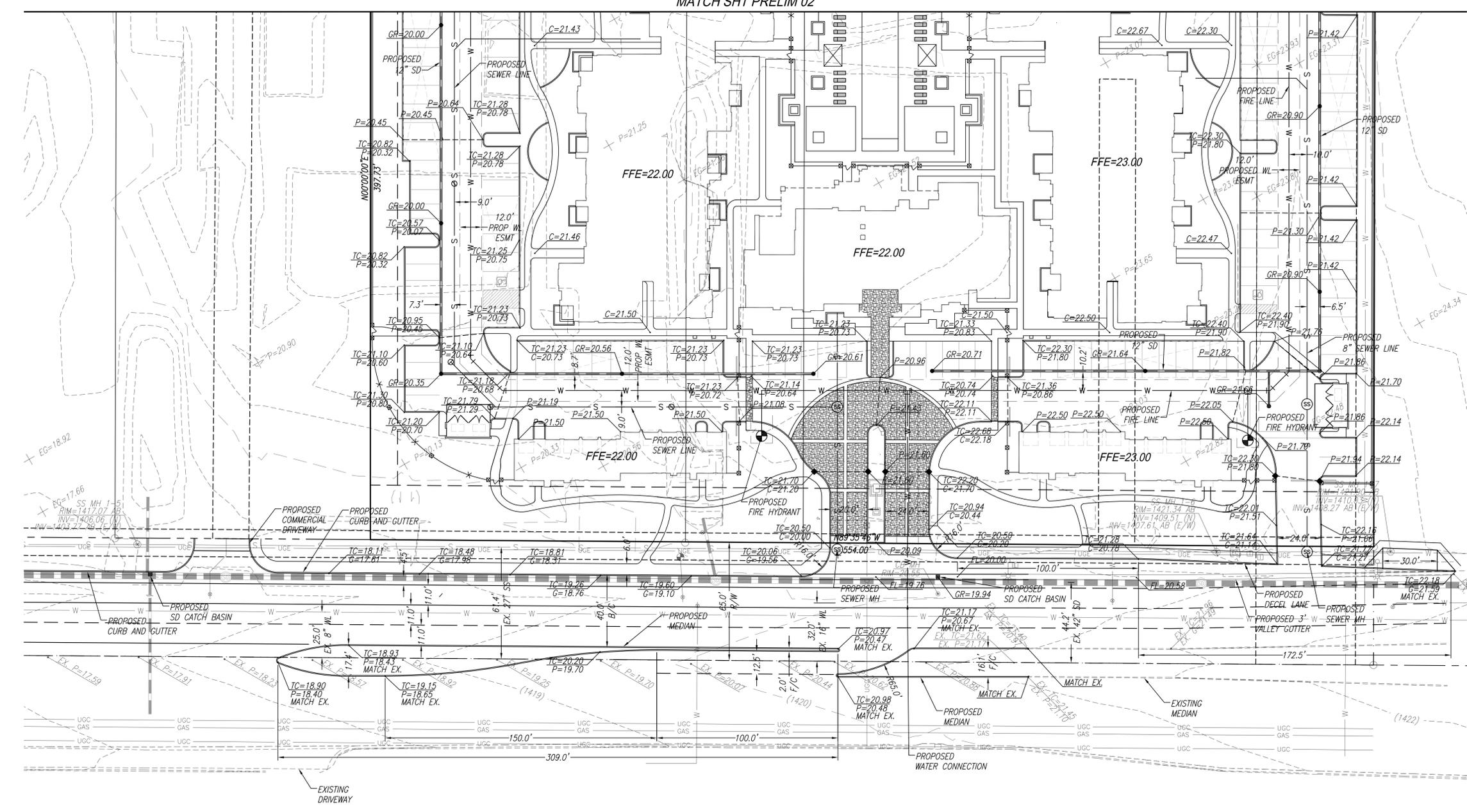
PRELIMINARY GRADING AND DRAINAGE PLAN FOR BASELINE APARTMENTS

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND	
	DRYWELL
	PROPOSED HDPE STORM DRAIN
	PROPOSED 24" SD INLET
	PROPOSED TYPE "F" SD INLET
	FIRE HYDRANT
	DRAINAGE FLOW DIRECTION
	GRADE BREAK
	PROPOSED ELEVATIONS
	EXISTING ELEVATIONS
	CONCRETE CURB (AND GUTTER)
	PROPOSED SMH
	PROPOSED 2" WATER METER
	EXISTING GAS
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELEC.
	EXISTING STORM DRAIN



MATCH SHT PRELIM 02



VICINITY MAP:
SCALE: NTS

CIVIL ENGINEER
HUBBARD ENGINEERING
1201 S. ALMA SCHOOL RD, SUITE 12000
MESA, AZ 85210
PHONE: (480) 892-3313
CONTACT: SHAWN D. HANRAHAN

SURVEY
HUBBARD ENGINEERING
1840 S. STAPLEY DR. SUITE #137
MESA, AZ 85204
PHONE: (480) 892-3313
FAX: (480) 892-7051
CONTACT: ADRIAN BURCHAM, PLS

BASIS OF BEARING
BASIS OF BEARING IS N89°35'46"W ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

OWNER
HOUSING TRUST GROUP
3225 AVIATION AVE., SUITE 602
COCONUT GROVE, FL 33133
PHONE: 786-347-4535
CONTACT: JOSE ROMERO

ARCHITECT
BILTFORM ARCHITECTURE GROUP OF COMPANIES
11480 N. CAVE CREEK ROAD, SUITE 11
PHOENIX, AZ 85020
PHONE: 602-285-9200
CONTACT: VINCE SCARANO

SITE INFO:
APN# 218-57-006L, 218-57-006M AND 218-57-006K
AREA IS 375,566 SQ. FT. OR 8.6218 ACRES

UTILITIES ARE PRELIMINARY SIZED AND ARE SUBJECT TO CHANGE BASED ON MPE PLANS AND FIRE SPRINKLER PLANS

DRAINAGE CALCULATIONS
F.E.M.A. FIRM PANEL 2295 OF 4425
04013C2295L, OCT. 16, 2013 SHADED ZONE X

VOLUME REQUIRED:
Cw=0.85 PER TABLE 8.1
P=2.2 INCHES, 100-YR, 2-HR
PER CITY OF MESA
DRAINAGE AREA = 375,566 SF
Vr=C x P/12 x A
Vr=0.85 x 2.2/12 x 375,566
Vr=58,526 CF

VOLUME PROVIDED:
Vp UNDERGROUND CMP 8 FT DIA. = 1,165 LF
TOTAL Vp = 58,544 CF

OF DRYWELLS:
DRYWELLS = Vr / 19,440 CF
DRYWELLS = 58,526/19,440 = 3.0

1201 S. Alma School Rd. Suite 12000 Mesa, AZ 85210 Ph: 480.892.3313 www.hubbardengineering.com

HUBBARD ENGINEERING

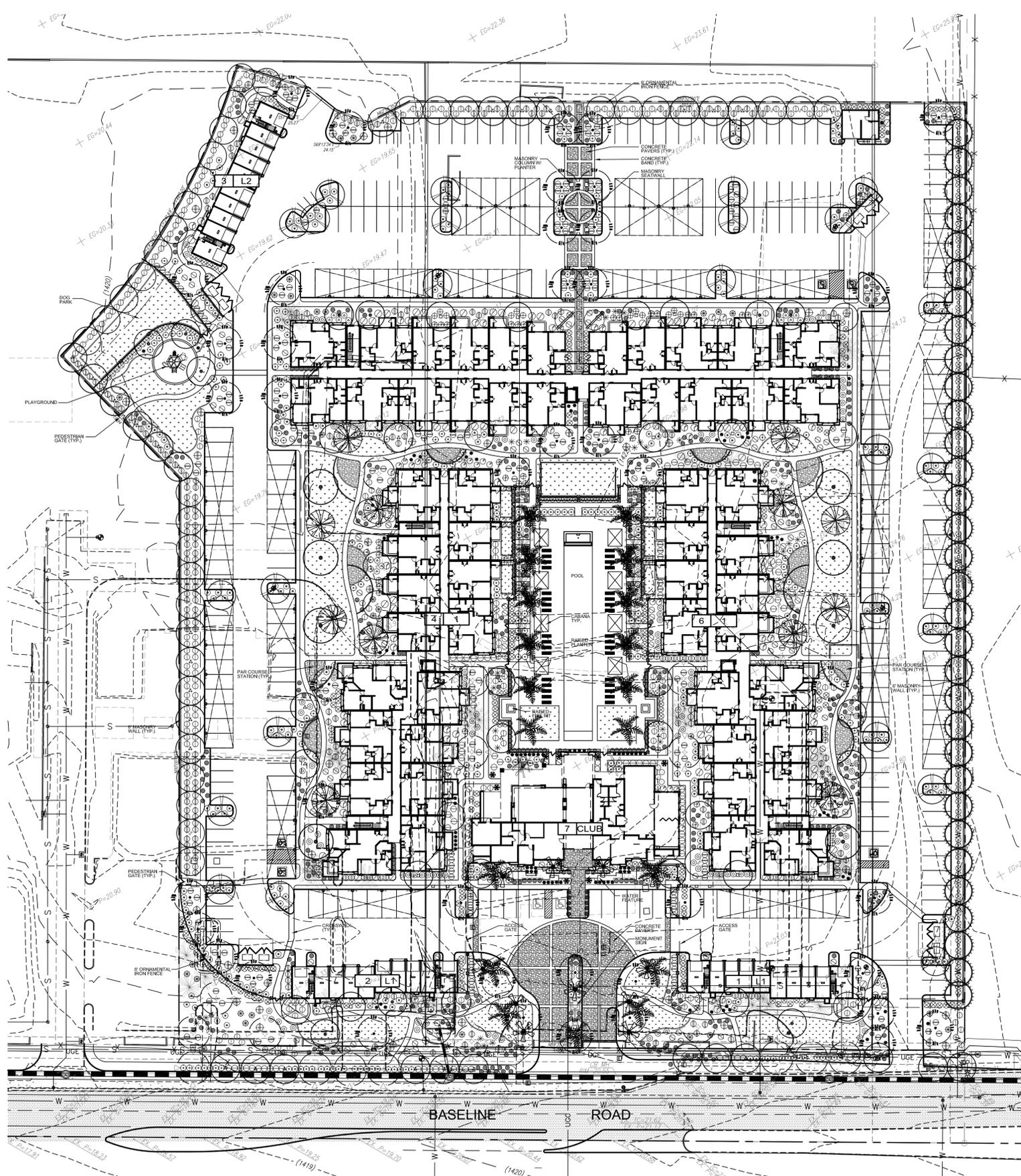
PRELIMINARY GRADING AND DRAINAGE PLAN
BASELINE APARTMENTS
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 32 TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

Date	11/02/15	Project Eng.	M. WOLF, P.E.
Project No.	15161	Project Mgr.	S. HANRAHAN

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SHT: 01 OF 02
PRELIM 01

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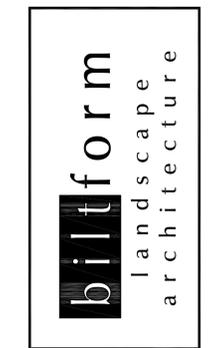
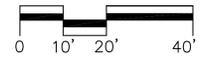
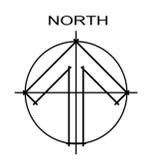


PRELIMINARY LANDSCAPE PLAN

1"=40'-0"

PLANT LEGEND

TREES	SIZE/ SPECIFICATION
<i>Prunus cerasifera</i> "purpurea" Purple Leaf Plum	36" Box: 2.0" Cal. 8'H x 4'W Standard
<i>Quercus virginiana</i> Southern Live Oak	24" Box: 1.0" Cal. 7'H x 3'W Double Stake
<i>Prosopis chilensis</i> "Hybrid" Thornless Chilean Mesquite	15 Gallon: .75" Cal. 4'H x 2'W Double Stake
<i>Dalbergia sissoo</i> Sissoo Tree	24" Box: 1.25" Cal. 8'H x 3'W Double Stake
<i>Ulmus parvifolia</i> Chinese Elm	36" Box: 1.75" Cal. 10'H x 6'W Double Stake
<i>Acacia salicina</i> Willow Acacia	24" Box: 1.25" Cal. 7'H x 2.5'W Double Stake
<i>Pistacia chinensis</i> Chinese Pistache	36" Box: 3.0" Cal. 12'H x 6'W
<i>Cercidium hybrid</i> "Desert Museum" Hybrid	36" Box: 1.75" Cal. 8'H x 5'W
<i>Washingtonia robusta</i> Mexican Fan Palm	15- 18' Trunk Height Skin Trunk Full Height
<i>Syagrus romanzoffianum</i> Queen Palm	15 Gal/ 24" Box Skin Trunk Full Height
<i>Pyrus calleryana</i> "bradford" Bradford Pear	24" Box: 1.0" Cal. 8'H x 3'W Double Stake
<i>Phoenix dactylifera</i> Date Palm	18' Trunk Height Diamond Cut Trunk
<i>Pinus Eldarica</i> Model Pine	36" Box: 3.0" Cal. 10'H x 5'W Double Stake
SHRUBS	SIZE
<i>Dalea frutescens</i> Black Dalea	5 Gallon
<i>Tecoma hybrid</i> Orange Jubilee	15 Gallon
<i>Phoenix roebelenii</i> Pigmy Date Palm	15 Gallon
<i>Caesalpinia pulcherrima</i> Red Bird of Paradise	5 Gallon
<i>Senna phyllodenia</i> Silver- Leaf Senna	5 Gallon
<i>Leucophyllum candida</i> "Thundercloud" Sage	5 Gallon
<i>Hesperaloe parviflora</i> Red Yucca	5 Gallon
<i>Dasylium wheeleri</i> Desert Spoon	5 Gallon
<i>Xylosma congestum</i> Shiny Xylosma	5 Gallon
<i>Dodonea viscosa</i> Hopseed Bush	5 Gallon
<i>Nerium oleander</i> "Pelite Pink" Dwarf	5 Gallon
<i>Rapiolepis indica</i> "Pink Lady" Indian Hawthorn	5 Gallon
<i>Pittosporum tobira</i> Mock Orange	5 Gallon
<i>Feijoa sellowiana</i> Pineapple Guava	5 Gallon
<i>Hibiscus rosa-sinensis</i> Chinese Hibiscus	5 Gallon
<i>Ruellia peninsularis</i> Baja Ruellia	5 Gallon
<i>Juniperus chinensis</i> "Sea- Green" Juniper	5 Gallon
<i>Dietes bicolor</i> Fortnight Lily	1 Gallon
<i>Tecomaria capensis</i> Cape Honeysuckle	5 Gallon
<i>Sophora secundiflora</i> Texas Mountain Laurel	5 Gallon
<i>Thevetia peruviana</i> Yellow Oleander	15 Gallon
<i>Muhlenbergia capilaris</i> Regal Mist Deer Grass	5 Gallon
GROUNDCOVERS	SIZE
<i>Lantana montevidensis</i> Gold Mound Lantana	1 Gallon
<i>Convolvulus cneorum</i> Bush Morning Glory	1 Gallon
<i>Rosemarinus officinalis</i> Rosemary	1 Gallon
<i>Lampranthus spectabilis</i> Trailing Ice Plant	1 Gallon
<i>Wedelia trilobata</i> Yellow Dots	1 Gallon
<i>Seasonal annuals</i>	4" Pots @ 6" O.C.
<i>Cynodon dactylon</i> Midiron Hybrid	Sod
VINES	SIZE
<i>Bougainvillea</i> San Diego Red	5 Gallon W/ 4'x 4' Trellis
<i>Ficus pumila</i> Creeping Fig	1 Gallon
LANDSCAPE MATERIALS	SIZE
Decomposed granite "Desert Gold"	3/4" Sized 2" Depth
Concrete header Extruded	6"x 6"
Boulders Decomposed Granite	Surface Select 1', 2', 3' Dia.



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11460 North Cave Creek Rd. suite 6
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Phone 602.285.9200 Fax 602.285.9229
email: dave@biltform.com



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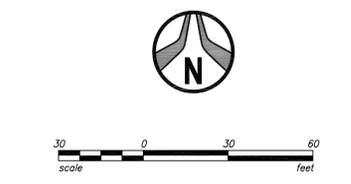
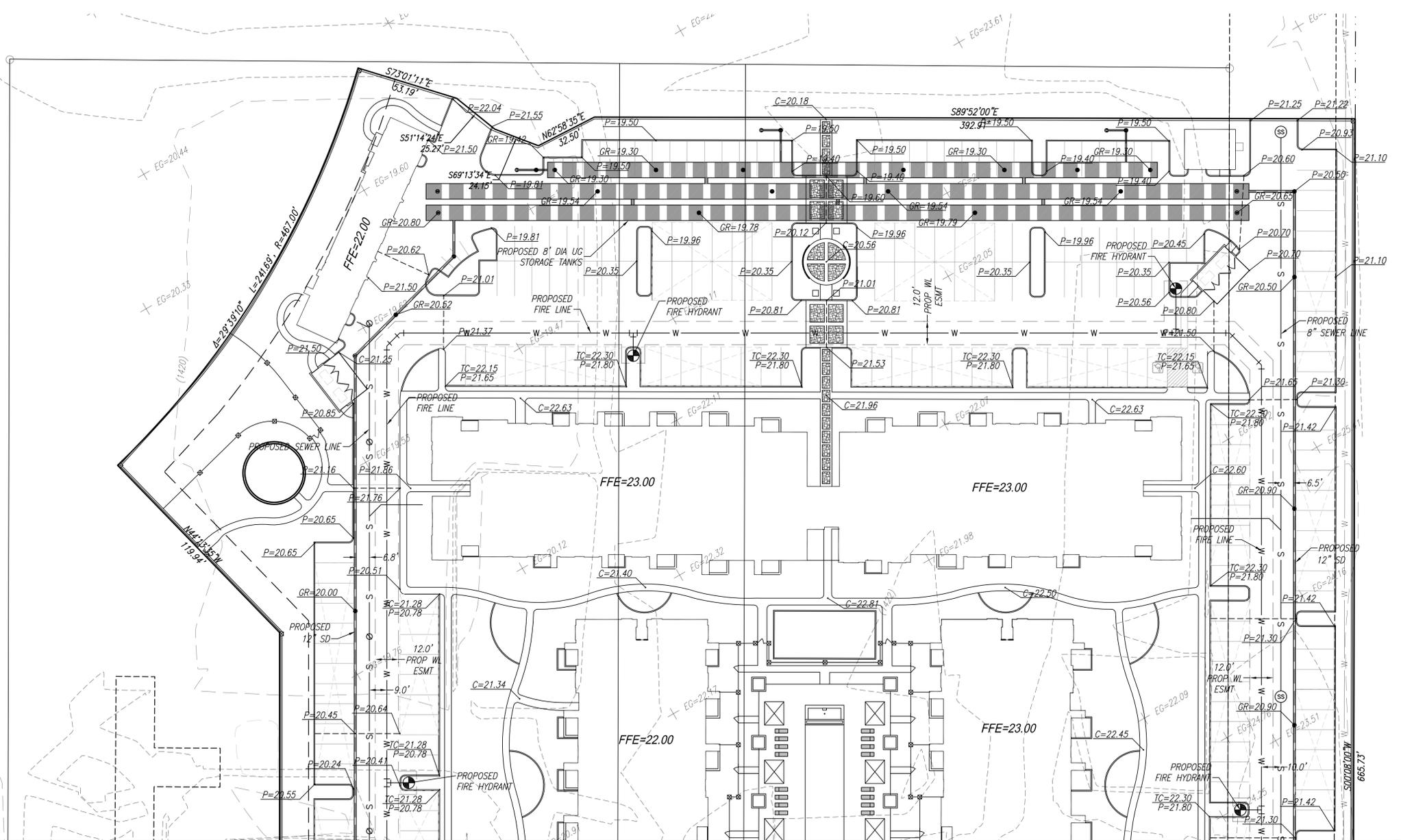
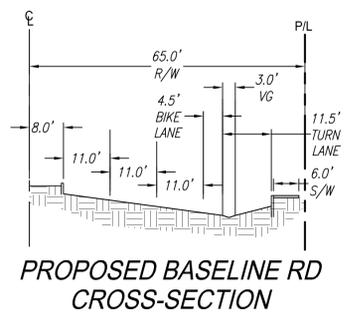
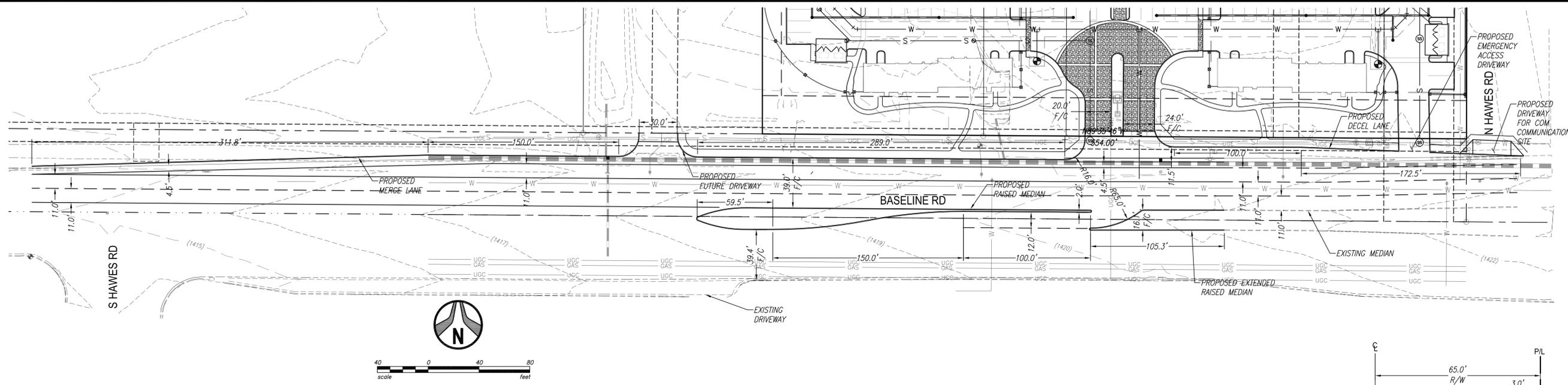
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JOB NO: 13-030L
DATE: Nov. 3, 2015
SCALE: 1" = 40'-0"
SHEET NO:

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PRELIMINARY LANDSCAPE PLAN



MATCH SHT PRELIM 01

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PRELIMINARY GRADING AND DRAINAGE PLAN
BASELINE APARTMENTS
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 32
TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE GILA AND SILVER RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA

Date	11/02/15
Project No.	15161
Project Mgr.	S. HANRAHAN
Project Eng.	M. WOLF, P.E.

CONSULT FOR PRELIMINARY DESIGN RECORDING AND RISK

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SHT: 02 OF 02
PRELIM 02

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A FRONT ELEVATION (1st Part)
SCALE: 1/8" = 1'-0"



B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

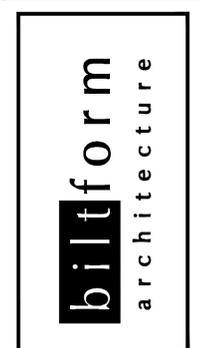
A FRONT ELEVATION (2nd Part)
SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES: #**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
 - FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
 - WINDOW - BRONZE COLORED FRAME.
 - LIGHT GAUGE METAL CHANNEL.
 - PROJECT SIGNAGE. UNDER SEPARATE PERMIT.
 - 42" HIGH TUBE STEEL BALCONY RAILING WITH VERTICAL PICKETS.
 - DOOR.
 - STUCCO CONTROL JOINT.
 - SECTIONAL GARAGE DOOR.
 - RESIDENT AND VISITOR ENTRY FROM STREET.
 - RECESSED WINDOW SURROUND.
 - ALUMINUM STOREFRONT SYSTEM.
 - METAL BRACKET.
 - BALCONY SCUPPER OPENING.
 - CONCRETE STEPS, REFER TO SITE PLAN AND CIVIL DRAWINGS.
 - LINE OF ROOF BEYOND PARAPET TO SHROUD MECHANICAL EQUIPMENT MOUNTED ON ROOF.
 - 42" HIGH RAILING WITH VERTICAL PICKETS AT JULIET BALCONY
 - SLIDING GLASS PATIO DOOR - BRONZE COLORED FRAME.
 - WOOD FRAME COLUMN WITH BRICK VENEER.
 - DWELLING UNIT ROOF DECK.
 - FIRE RISER ACCESS DOOR. PROVIDE SIGNAGE IN ACCORDANCE WITH CITY OF PHOENIX FIRE DEPARTMENT REQUIREMENTS.
 - WOOD FRAME OVERHANG WITH STUCCO FINISH AND METAL FLASHING.
 - SCUPPER THROUGH PARAPET.
 - TELESCOPING DOOR SYSTEM.
 - GROUND PLANE.
 - OPENING - REFER TO BUILDING PLAN.
 - TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

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3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

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JOB NO: 13-000
DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A3.5.1C

MATCH LINE (2nd Part)
MATCH LINE (1st Part)



C REAR ELEVATION (1st Part)
SCALE: 1/8" = 1'-0"



D LEFT ELEVATION
SCALE: 1/8" = 1'-0"

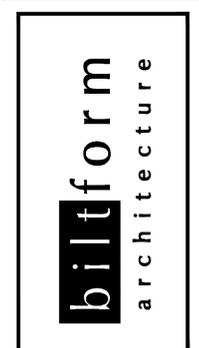
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DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A3.5.2C



FRONT ELEVATION (1st Part)
SCALE: 1/8" = 1'-0"



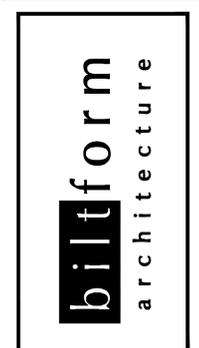
FRONT ELEVATION (2nd Part)
SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES: #**
- EXTERIOR STUCCO SYSTEM.
 - METAL PARAPET CAP.
 - FOAM/STUCCO PARAPET CAP.
 - STONE VENEER.
 - METAL CANOPY.
 - FOAM OR WOOD FRAME/POP-OUT WITH STUCCO FINISH.
 - WINDOW - BRONZE COLORED FRAME.
 - LIGHT GAUGE METAL CHANNEL.
 - PROJECT SIGNAGE. UNDER SEPARATE PERMIT.
 - 42" HIGH TUBE STEEL BALCONY RAILING WITH VERTICAL PICKETS.
 - DOOR.
 - STUCCO CONTROL JOINT.
 - SECTIONAL GARAGE DOOR.
 - RESIDENT AND VISITOR ENTRY FROM STREET.
 - RECESSED WINDOW SURROUND.
 - ALUMINUM STOREFRONT SYSTEM.
 - METAL BRACKET.
 - BALCONY SCUPPER OPENING.
 - CONCRETE STEPS, REFER TO SITE PLAN AND CIVIL DRAWINGS.
 - LINE OF ROOF BEYOND PARAPET TO SHROUD MECHANICAL EQUIPMENT MOUNTED ON ROOF.
 - 42" HIGH RAILING WITH VERTICAL PICKETS AT JULIET BALCONY
 - SLIDING GLASS PATIO DOOR - BRONZE COLORED FRAME.
 - WOOD FRAME COLUMN WITH BRICK VENEER.
 - DWELLING UNIT ROOF DECK.
 - FIRE RISER ACCESS DOOR. PROVIDE SIGNAGE IN ACCORDANCE WITH CITY OF PHOENIX FIRE DEPARTMENT REQUIREMENTS.
 - WOOD FRAME OVERHANG WITH STUCCO FINISH AND METAL FLASHING.
 - SCUPPER THROUGH PARAPET.
 - TELESCOPING DOOR SYSTEM.
 - GROUND PLANE.
 - OPENING - REFER TO BUILDING PLAN.
 - TUBE STEEL ELECTRICAL EQUIPMENT ENCLOSURE WITH TUBE STEEL GATE WITH METAL MESH SCREEN.

EXTERIOR COLOR SCHEME:

(A) PRIMARY STUCCO	FRAZEE CL. 3214M "WAVELENGTH"
(B) SECONDARY STUCCO	FRAZEE CLC 1228W "NEWBURY"
(C) STUCCO 3 DOORS, STAIRS, CANOPIES CARPORTS & RAILINGS	FRAZEE CL. 3216A "BRANCHILD"
(D) STONE VENEER	CORONADO STONE ROCKY MOUNTAIN LEDGE "BITTERROOT"

- GENERAL ELEVATION NOTES:**
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT.
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 - SIGNS AND CARPORT REQUIRE SEPARATE PERMIT.
 - PAINT UNDERSIDE OF BALCONIES TO MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
 - PAINT ALL LOUVERS, VENTS & CAPS TO MATCH ADJACENT FIELD MATERIAL COLOR.
 - FIRST FLOOR PATIO AND SITE WALLS ARE NOT SHOWN ON BUILDING ELEVATIONS FOR CLARITY. SEE SITE PLAN AND SITE DETAILS FOR ADDITIONAL INFORMATION.



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Aviva I (HTG Mesa)
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Mesa, Arizona
Housing Trust Group, LLC
3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

REVISIONS:

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2	-
3	-
4	-

JOB NO: 13-000
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A4.5.1C



B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



D LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES: #

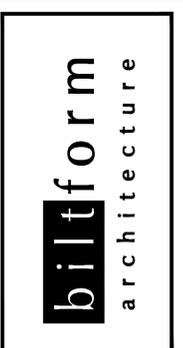
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D STONE VENEER	CORONADO STONE ROCKY MOUNTAIN LEDGE "BITTERROOT"

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JOB NO: 13-030

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SCALE: 1/8" = 1'-0"

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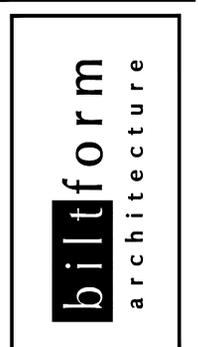
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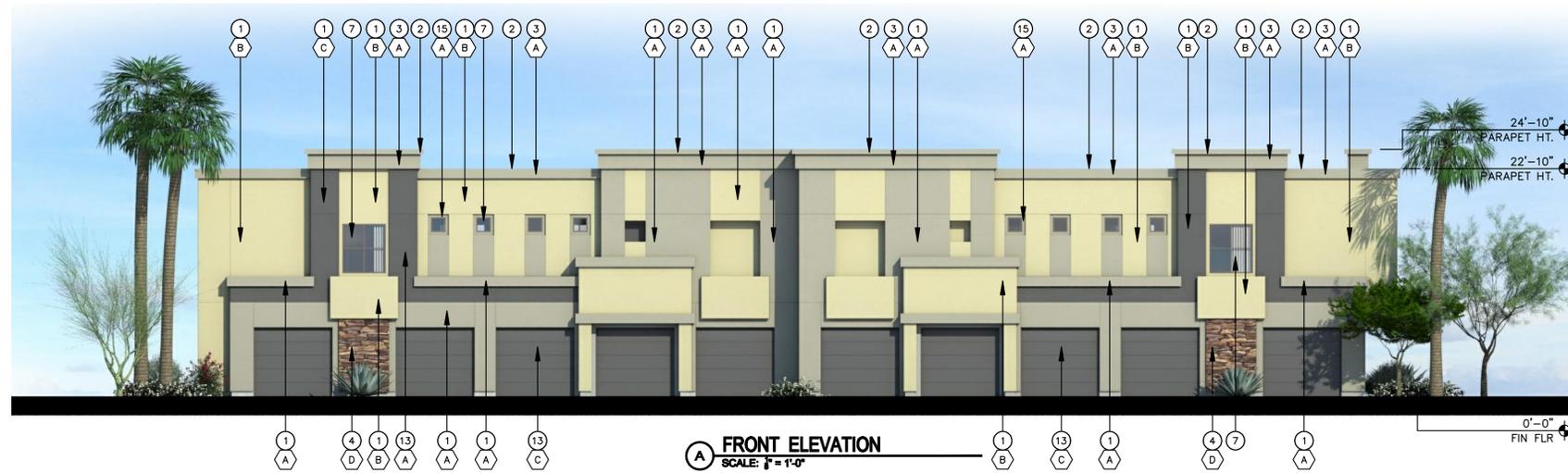
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JOB NO: 13-030
DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
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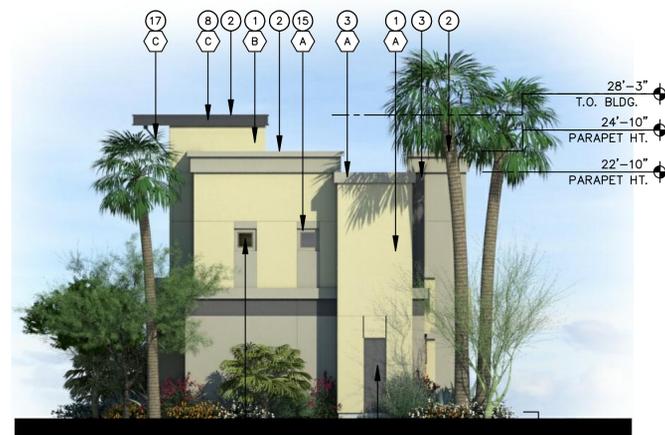
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A FRONT ELEVATION
SCALE: 1/8" = 1'-0"



B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



D LEFT ELEVATION
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C REAR ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES: #

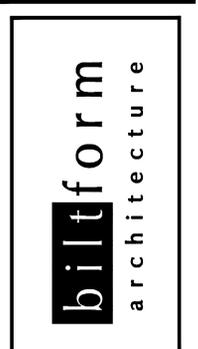
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GENERAL ELEVATION NOTES:

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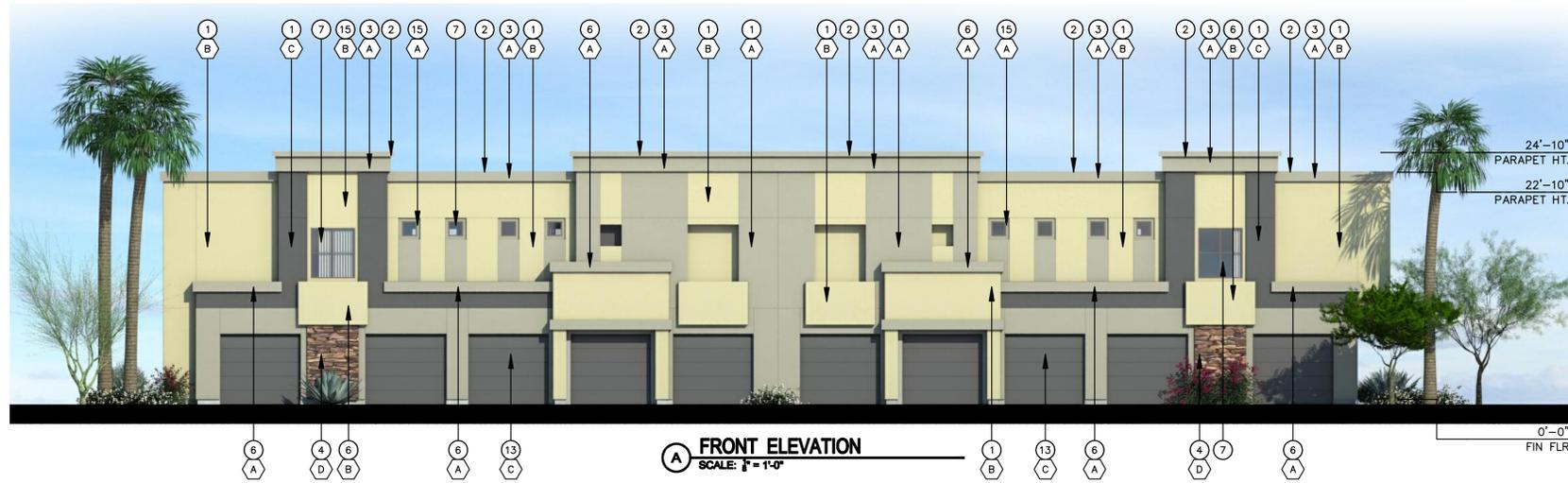
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JOB NO: 13-030
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A5.4.1C



A FRONT ELEVATION
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B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



D LEFT ELEVATION
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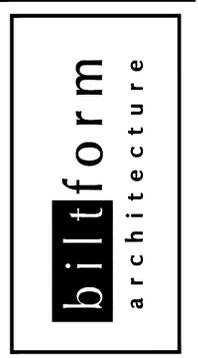
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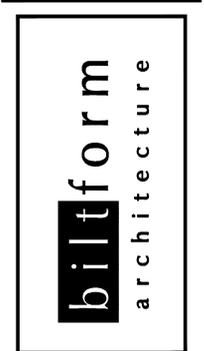
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companies, llc.

11460 north cave creek road . suite 11
phoenix . arizona 85020
Phone 602.285.9200 Fax 602.285.9229



EXPIRES 09/30/2016

Aviva I (HTG Mesa)
East of the Santan Freeway on Baseline Road
Mesa, Arizona

Housing Trust Group, LLC
3225 Aviation Avenue Suite 602 Coconut Grove, FL 33133

REVISIONS:

△	-
△	-
△	-
△	-
△	-

JOB NO: 15-030
DATE: October 30, 2015
SCALE: 1/8" = 1'-0"
SHEET NO:

A7.2C

ELEVATIONS - CLUB HOUSE