

<b>To</b>	The City of Mesa	<b>Fax No.</b>	
		<b>Telephone No.</b>	
<b>From</b>	Don Henning on behalf of Bank of America	<b>Date</b>	29 August. 2016
<b>Project</b>	Bank of America - Signal Butte	<b>Project Number</b>	57.7200.330
<b>Subject</b>	Project Narrative Design Review Submittal	<b>File</b>	5SD
<b>Distribution</b>	Tracy Gessner	<b>This is page</b>	1 of 1

**Memorandum/Discussion/Observations**

**Maricopa County Parcel ID: 304-03-949**

**Introduction:**

This project proposed the construction of a new branch retail bank at the south-west corner of the mulberry marketplace development in mesa, Arizona. The proposed Bank of America retail branch bank will consist of approximately 3,840 total square feet of new construction with a 1,960 square foot drive through canopy. This retail branch will provide (2) proposed and (1) future Drive up ATM locations and (1) night depository location. The building proposed has a max height of 26'-6 1/2". This submittal is to continue our intent to file for an administrative review and approval as required by the City of Mesa to allow for building permit application.

**Description of Proposed Use:**

With direct customer service in mind the stand alone bank branch is noted as one of the Bank of America's most important assets. The proposed branch as shown is a mixture of standard Bank of America design guidelines and Mulberry Marketplace aesthetics. The design team worked directly with the Mulberry Marketplace developer to assure that details and finishes matched those of the anchor and adjacent tenants as well as the established Mulberry Marketplace Design Guidelines. The main structure of the bank consist of exterior masonry walls with cement plaster finish an exterior entry shaded portico and arcade with a standing seam metal roof and detailing to match the anchor building. The exterior of the bank is designed to match the design of the mulberry marketplace and be harmonious with its surroundings.

**Hours of Operation:**

In general Bank of America Branch Banks operate Monday through Friday 9:00am – 5:00pm and Saturday 1:00pm – 5:00pm.

**Site Conditions:**

Existing site conditions can be viewed on the following aerial photo.

**Plans:**

The drawings provided explain in greater detail the context, proposed building, uses and materials.

**Development Master Plan:**

The attached master plan shows the proposed branch bank within the Mulberry Marketplace development (shown as PAD "P3").

**END OF DOCUMENT**

# Memorandum continued

**Gensler**

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<b>Project</b>	Bank of America - Signal Butte	<b>Project Number</b>	57.7200.330
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<b>Date</b>	29 August. 2016	<b>This is page</b>	2 of 1
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**Memorandum / Discussion / Observations**

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Suite 750  
Phoenix AZ 85004  
Tel: +1 602.523.4900  
Fax: +1 602.523.4949

# Bank of America



## SIGNAL BUTTE RETAIL BRANCH

## BULLETIN #01-2016

GENSLER PROJECT NUMBER:  
57.7200.330

## DESIGN REVIEW

08.25.16

10748 E GUADALUPE RD  
MESA, AZ 85212

### Gensler

Architect  
201 East Washington St  
Suite 750  
Phoenix, AZ 85004  
Contact: Don Henning  
Email: don\_henning@gensler.com  
Telephone: 602.523.4900



### Jones Lang LaSalle

Project Manager  
275 Valencia Avenue  
Brea, CA 92823  
Contact: Tracy Gessner  
Telephone: 602.478.9820  
Email: tracy.gessner@am.jll.com

### PK Associates LLC

Structural Engineer  
7434 East McDonald Drive  
Scottsdale, AZ 85250  
Contact: Steve Slonaker  
Telephone: 480.922.8854  
Email: SteveS@pkstructural.com

### Wood/Patel

Civil Engineer  
2051 West Northern, Suite 100  
Phoenix, AZ 85021  
Contact: James S. Campbell, P.E.  
Telephone: 602.335.8506  
Email: jcampbell@woodpatel.com

### Swanson Rink, Inc.

ME Engineer  
5090 N. 40th Street, Suite 162  
Phoenix, AZ 85018  
Contact: Denise Pape  
Telephone: 602.761.2456  
Email: DPape@swansonrink.com

### SBD studio

Landscape Architect  
8603 East Royal Palm, Suite 120  
Scottsdale, AZ 85258  
Contact: Juan Brenes Garcia  
Telephone: 480.284.4100  
Email: jbrenes@sbd-studio.com

**PROJECT INFORMATION**

**BUILDING INFORMATION**

BUILDING ADDRESS:  
10748 E GUADALUPE ROAD  
MESA, AZ 85212

CLIENT PROJECT MANAGER:  
JONES LANG LASALLE  
CONTACT: TRACY GESSNER  
275 VALENCIA AVENUE  
BREA, CA 92823  
TEL. 602.478.9820

PROJECT DESCRIPTION:  
THIS PROJECT PROPOSED THE CONSTRUCTION OF A NEW BRANCH RETAIL BANK AT THE SOUTH-WEST CORNER OF THE MULBERRY MARKETPLACE DEVELOPMENT IN MESA, ARIZONA. THE PROJECT CONSISTS OF THE FOLLOWING:  
 . +/- 4,000 SF OF INTERIOR BANK SPACE WITH TWO DRIVE-THRU LANES AND A PASSING LANE WHICH ALSO SERVES AS THE REFUSE ENCLOSURE ACCESS.  
 . THE EXTERIOR OF THE BANK IS DESIGNED TO MATCH THE DESIGN OF THE MULBERRY MARKETPLACE AND BE HARMONIOUS WITH ITS SURROUNDINGS.  
 . THE MAIN STRUCTURE OF THE BANK CONSIST OF EXTERIOR MASONRY WALLS WITH CEMENT PLASTER FINISH AN EXTERIOR ENTRY SHADED PORTICO AND ARCADE WITH A STANDING SEAM METAL ROOF AND DETAILING TO MATCH THE ANCHOR BUILDING.

APPLICABLE CODES:  
 \* WITH CITY OF MESA AMENDMENTS  
 2006 INTERNATIONAL BUILDING CODE \*  
 2006 INTERNATIONAL ENERGY CONSERVATION CODE \*  
 2006 INTERNATIONAL FIRE CODE \*  
 2006 INTERNATIONAL MECHANICAL CODE \*  
 2006 INTERNATIONAL PLUMBING CODE \*  
 2005 NATIONAL ELECTRICAL CODE \*  
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

**BANK OF AMERICA**

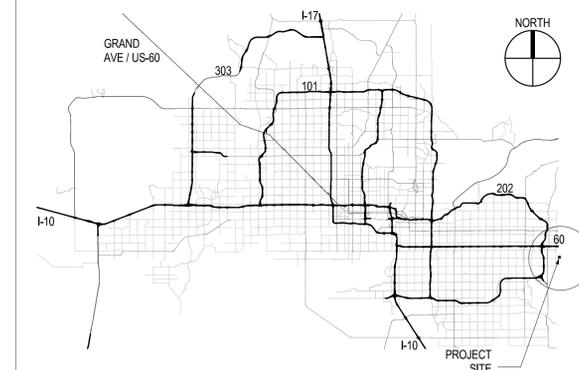
10748 E GUADALUPE RD  
MESA, AZ 85212

**Gensler**

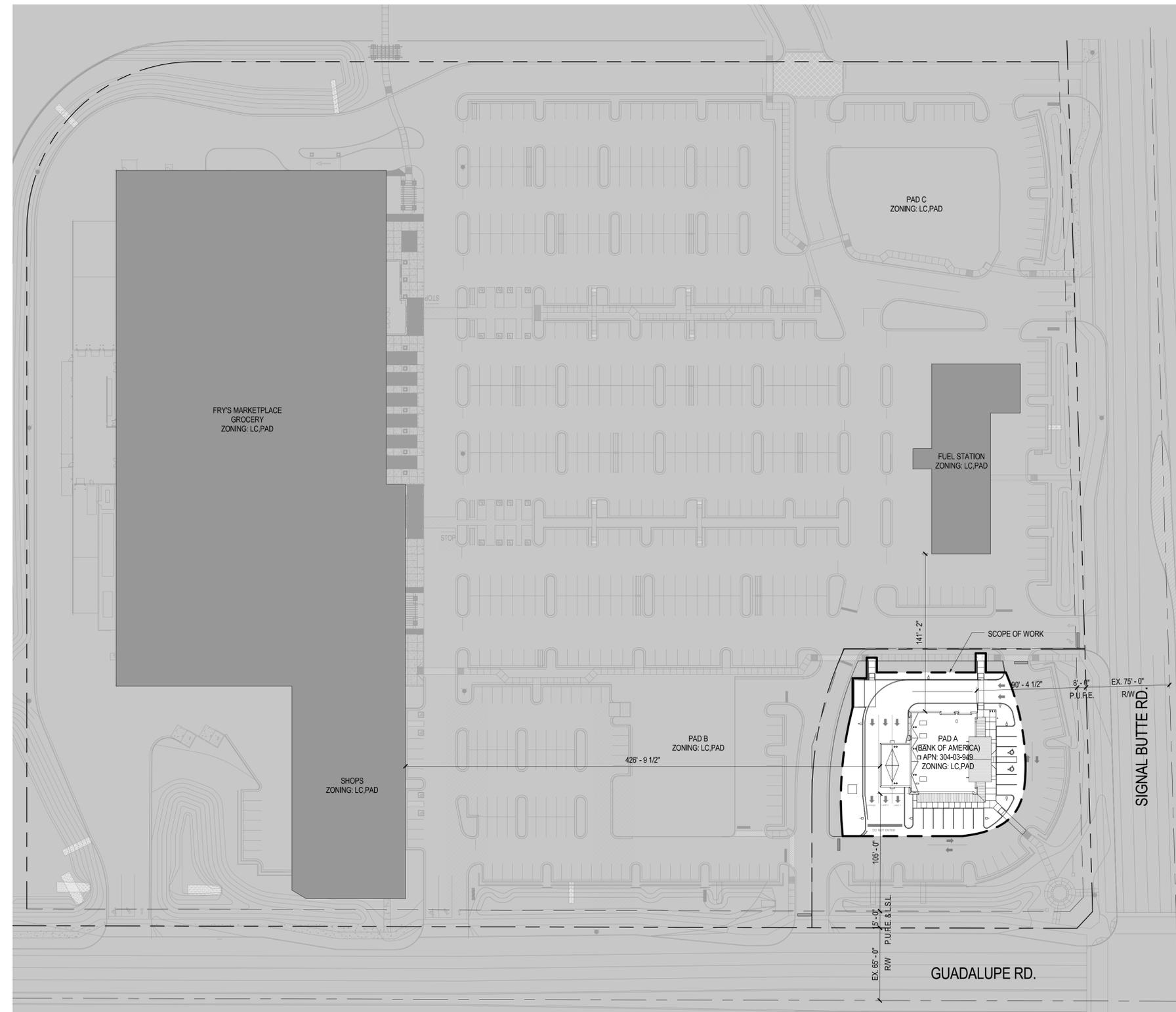
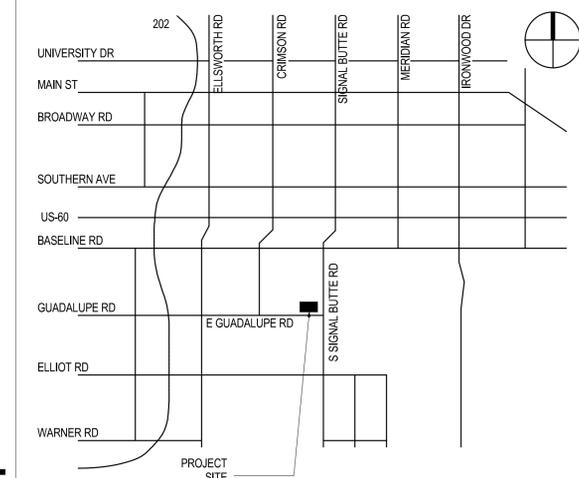
201 East Washington St  
Suite 750  
Phoenix, AZ 85004  
United States  
Tel 602.523.4900  
Fax 602.523.4949

Date	Description
08.25.16	DESIGN REVIEW

**LOCATION MAP**



**VICINITY MAP**

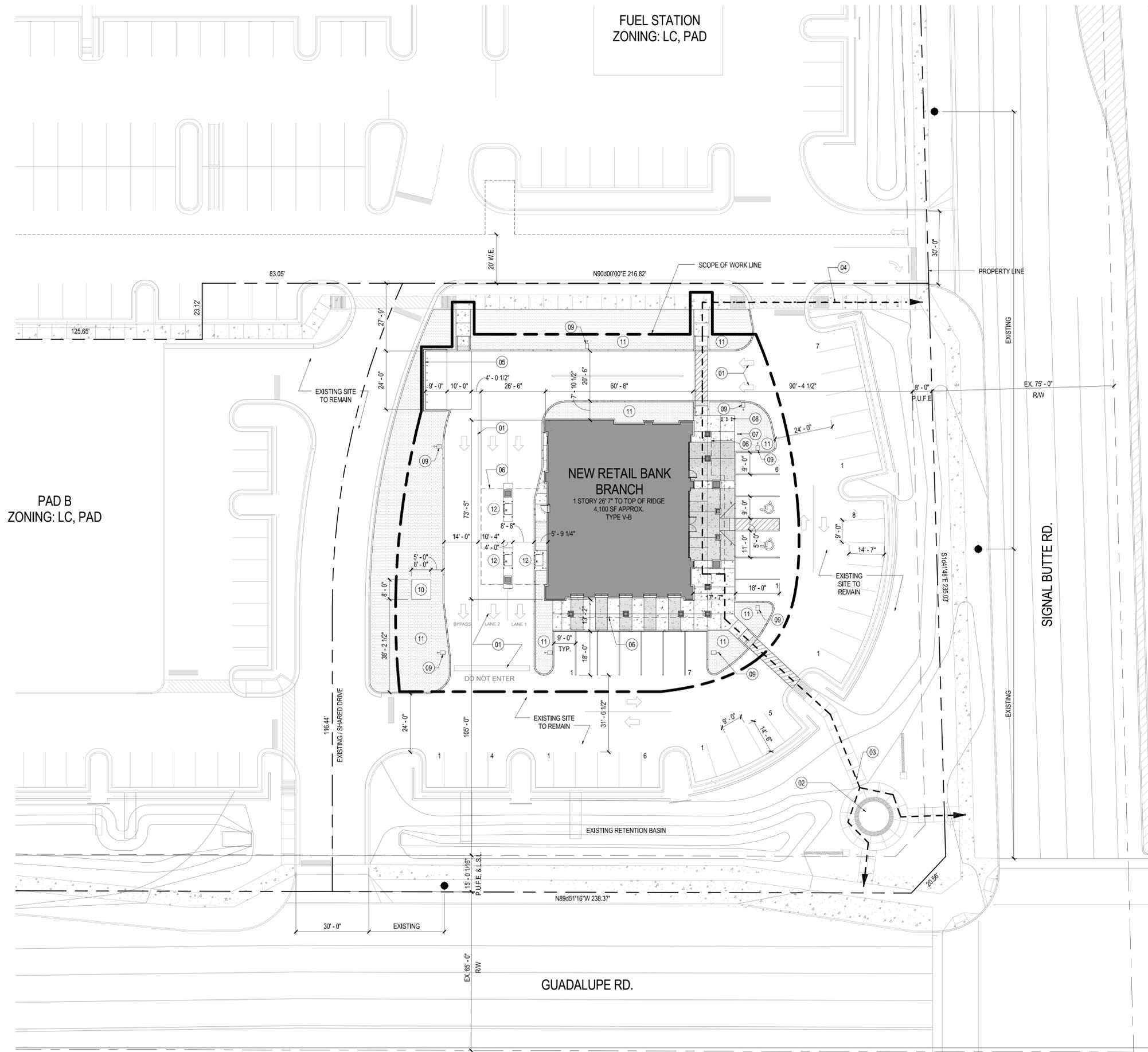


Seal / Signature



Project Name  
**SIGNAL BUTTE RETAIL BRANCH**  
 Project Number  
**57.7200.330**  
 Description  
**CONTEXT SITE PLAN AND PROJECT INFORMATION**

Scale  
As indicated



FUEL STATION ZONING: LC, PAD

PAD B ZONING: LC, PAD

**NEW RETAIL BANK BRANCH**  
1 STORY 26'7" TO TOP OF RIDGE  
4,100 SF APPROX.  
TYPE V-B

GUADALUPE RD.

SIGNAL BUTTE RD.

**SHEET NOTES**

- 01 NEW STRIPING ON ASPHALT. REFER TO CIVIL DRAWINGS
- 02 ARCHITECTURAL FEATURE (BY DEVELOPMENT)
- 03 ACCESSIBLE ROUTE TO PUBLIC WAY
- 04 ALTERNATE ACCESSIBLE ROUTE TO PUBLIC WAY
- 05 DOUBLE WIDE BIN ENCLOSURE
- 06 LINE OF CANOPY ABOVE
- 07 FLAG POLE LOCATION
- 08 BIKE RACKS
- 09 LIGHT POLE - (25' AFG)
- 10 ELECTRICAL TRANSFORMER PAD
- 11 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS

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Date	Description
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**GENERAL NOTES**

ZONING: LC, PAD

**FIRE SEPARATION DISTANCE**  
EAST FACE TO PROPERTY LINE: 98' - 2"  
WEST FACE TO PROPERTY LINE: 77'-10"  
NORTH FACE TO PROPERTY LINE: 55'-7"  
SOUTH FACE TO PROPERTY LINE: 104' - 8"

USE: B-BUSINESS

OCCUPANCY: 42 APPROX.

TYPE OF CONSTRUCTION: V-B

BUILDING FOOTPRINT: 4,121 SF  
FOOTPRINT W/ CANOPY: 6,586 SF

PROPOSED BUILDING HEIGHT: 26'-6"

**PARKING CALCULATIONS:**

SPACES REQUIRED: 1 PER 375 SF = 11  
PROVIDED: 43 (41 STANDARD, 2 ADA)

SITE ACREAGE: 22,524 SF (0.52 ACRES)  
NET ACREAGE: 16,724 SF (0.38 ACRES)

Seal / Signature



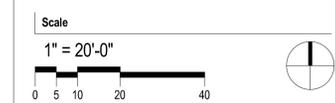
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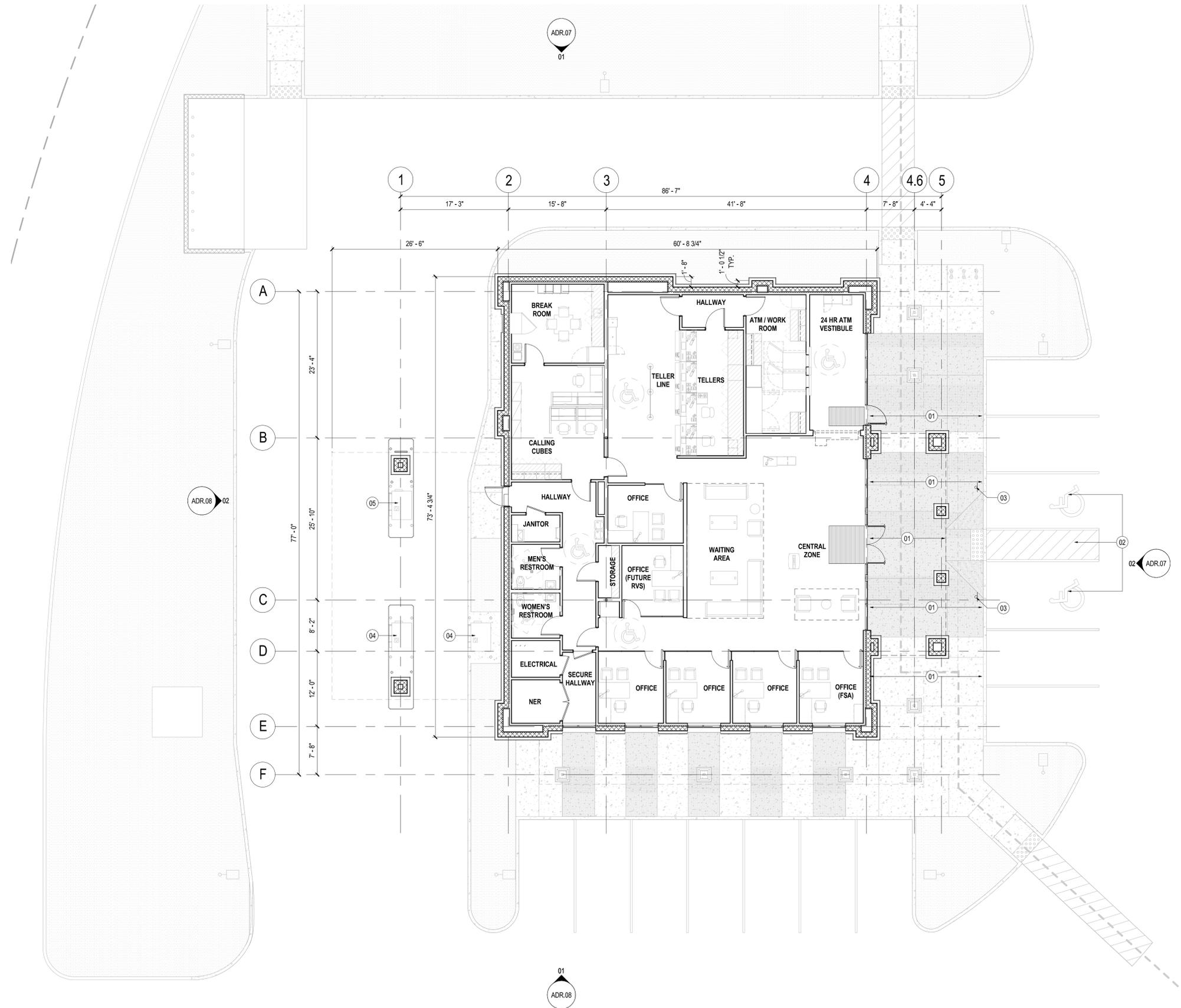
Description  
**SITE PLAN**

**LEGEND**

- GREY CONCRETE
- COLORED CONCRETE
- ADA ACCESSIBLE ROUTE
- FIRE HYDRANT



**ADR.02**



**SHEET NOTES**

- 01 CONCRETE FINISH.
- 02 ACCESSIBLE PARKING STALL - 4" YELLOW PAINT STRIPING WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- 03 ACCESSIBLE PARKING SIGN - ADA-COMPLIANT SIGN PER BANK STANDARDS.
- 04 DRIVE UP ATM.
- 05 FUTURE ATM.

**BANK OF AMERICA**

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Date	Description
08.25.16	DESIGN REVIEW

**GENERAL NOTES**

Seal / Signature



Project Name

SIGNAL BUTTE RETAIL BRANCH

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57.7200.330

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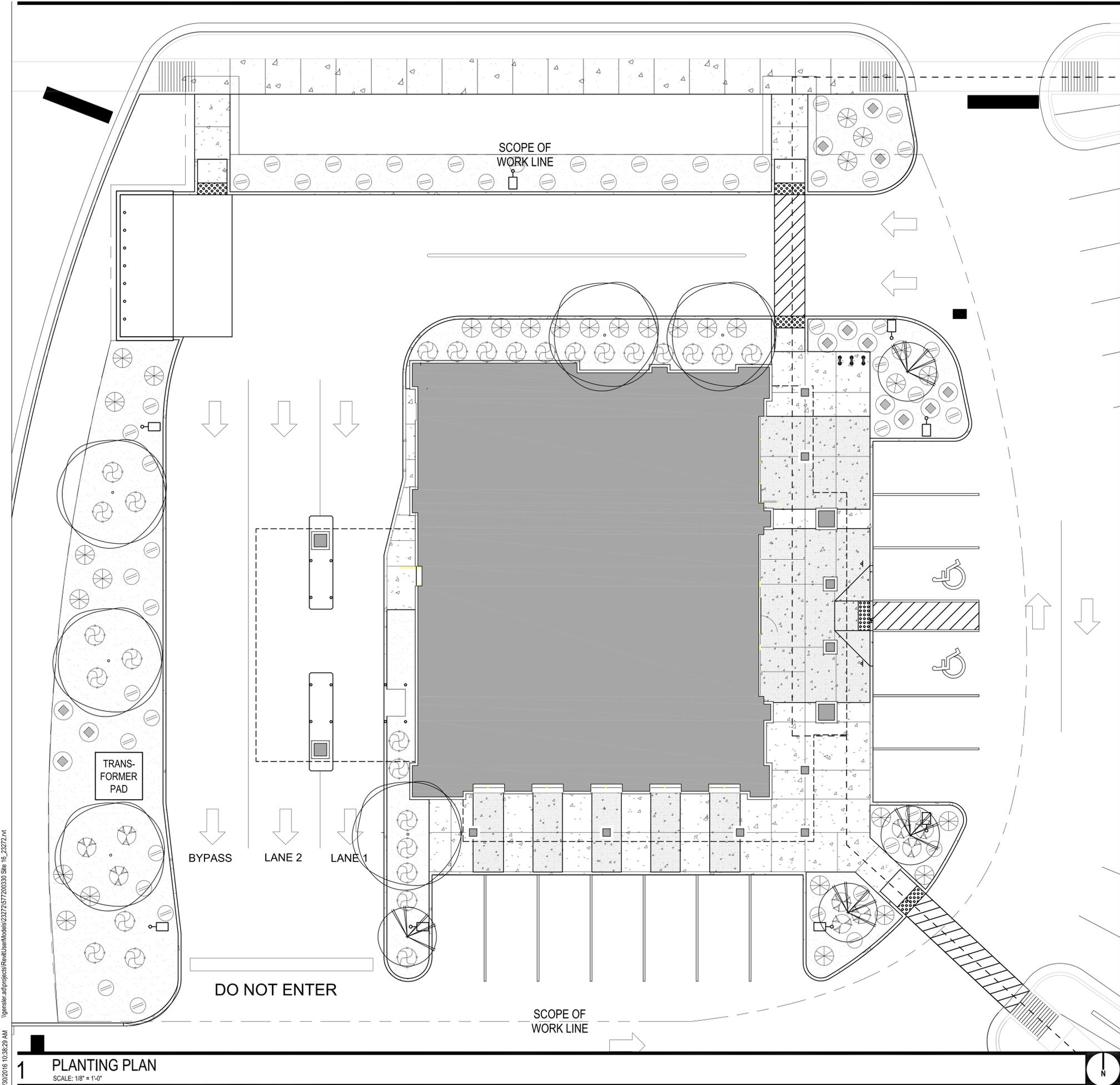
FLOOR PLAN

Scale

1/8" = 1'-0"



**ADR.03**



**PLANT PALETTE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	CALIPER
<b>TREES</b>					
	<i>Quercus virginiana</i> 'Heritage'	Southern Live Oak	6	24" Box	2" MIN.
	<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise	4	24" Box	2" MIN.
<b>SHRUBS/ ACCENTS/ VINES</b>					
	<i>Bougainvillea</i> 'Torch Glow'	Torch Glow Bougainvillea	9	5 Gallon	
	<i>Leucophyllum frutescens</i> 'Compacta'	Compact Texas Sage	28	5 Gallon	
	<i>Hesperaloe parviflora</i> 'Brakelight'	Red Yucca	30	5 Gallon	
	<i>Euphorbia Rigida</i>	Gopher Plant	16	5 Gallon	
<b>GROUNDCOVERS</b>					
	<i>Lantana montevidensis</i>	Trailing Lantana 'Purple & New Gold'	46	1 Gallons	
<b>TOP DRESS MATERIAL</b>					
	Decomposed Granite	3/4" select Table Mesa Brown	4,275	S.F.	

Note: A 2" min. thickness must be provided in all landscape areas. Submit samples to Landscape Architect for approval. All futures phases of development must be covered with granite as a method of dust control.

Note: Contractor to 'repair and replace ANY disturbed Landscape and Irrigation'.

**BANK OF AMERICA**

E GUADALUPE RD AND  
S SIGNAL BUTTE RD  
MESA, AZ 85212

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SBD Studio  
8603 E. Royal Palm, Suite 120  
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480.284.4100  
www.sbd-studio.com

Date	Description
04/21/2016	Preliminary Design Review
08/23/2016	Design Review Submittal

Seal / Signature



Project Name

Bank of America  
Signal Butte

Project Number

57.7200.330

Description

LANDSCAPE PLAN

Scale

1/8" = 1'-0"

**L1.00**



# BANK OF AMERICA

10748 E GUADALUPE RD  
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### SHEET NOTES

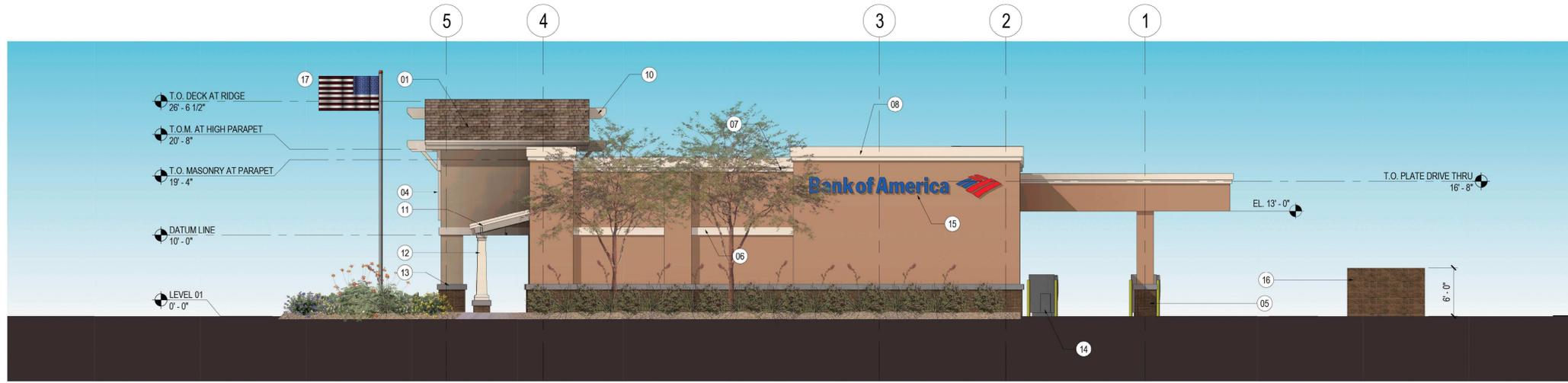
- 01 BORAL ROOFING RAMADA CONCRETE ROOF TILE. REFER TO LEGEND
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### LEGEND

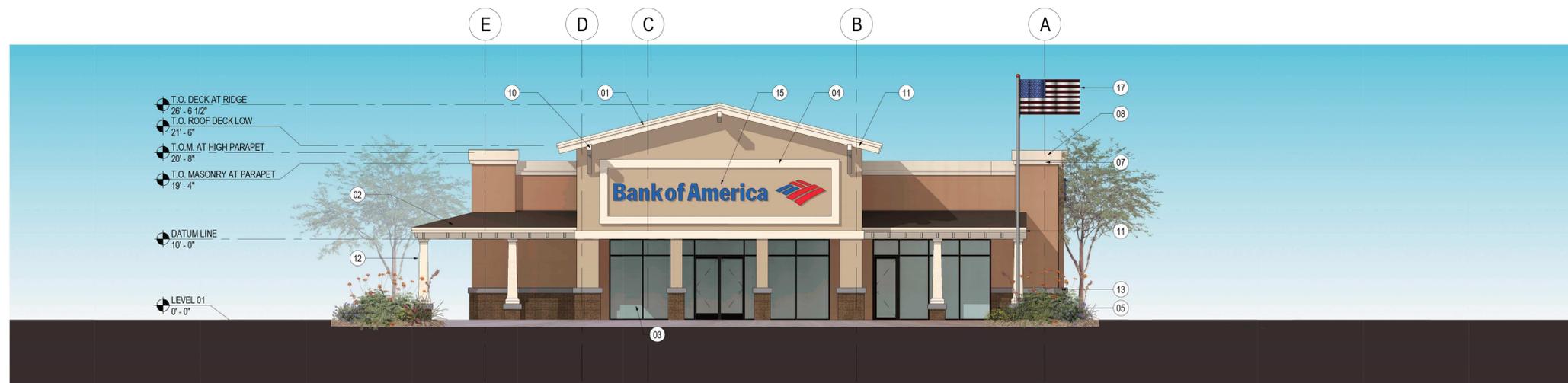
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- STANDING SEAM METAL ROOF - BERRIDGE - COLOR: "DARK BRONZE"

Date	Description
08.25.16	DESIGN REVIEW

### GENERAL NOTES



**01 NORTH ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"



**02 EAST ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"

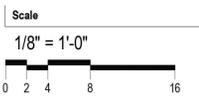
Seal / Signature



Project Name  
**SIGNAL BUTTE RETAIL BRANCH**

Project Number  
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Description  
**EXTERIOR ELEVATIONS**



**ADR.05**

# BANK OF AMERICA

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MESA, AZ 85212

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Tel 602.523.4900  
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### GENERAL NOTES

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Seal / Signature



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Description  
**EXTERIOR ELEVATIONS**

Scale  
**1/8" = 1'-0"**



**ADR.06**



**01 SOUTH ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"



**02 WEST ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"

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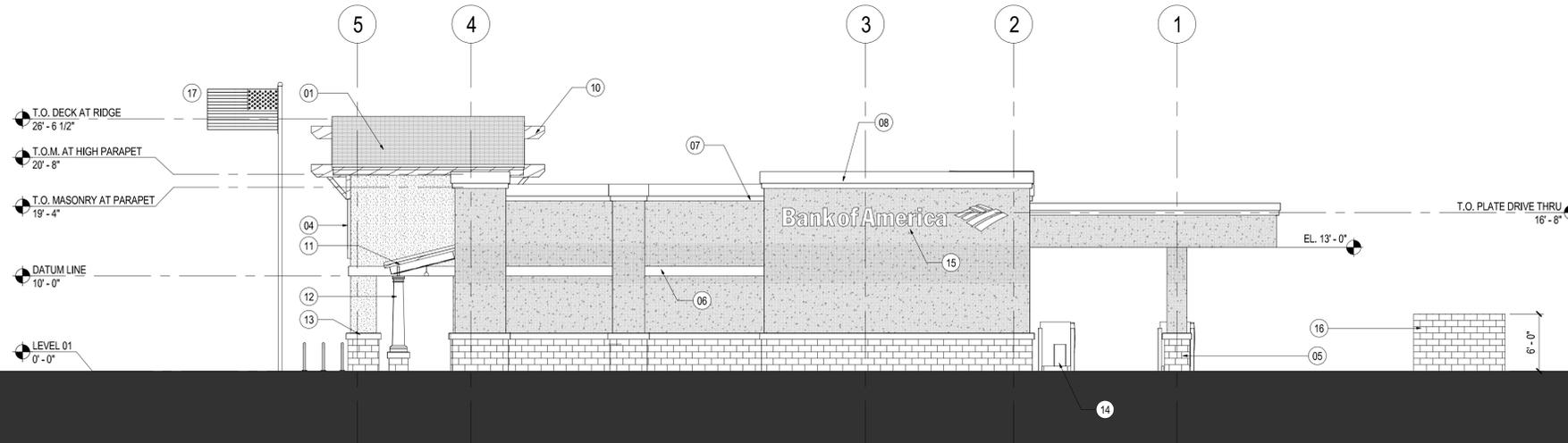
EXTERIOR ELEVATIONS (B&W)

Scale

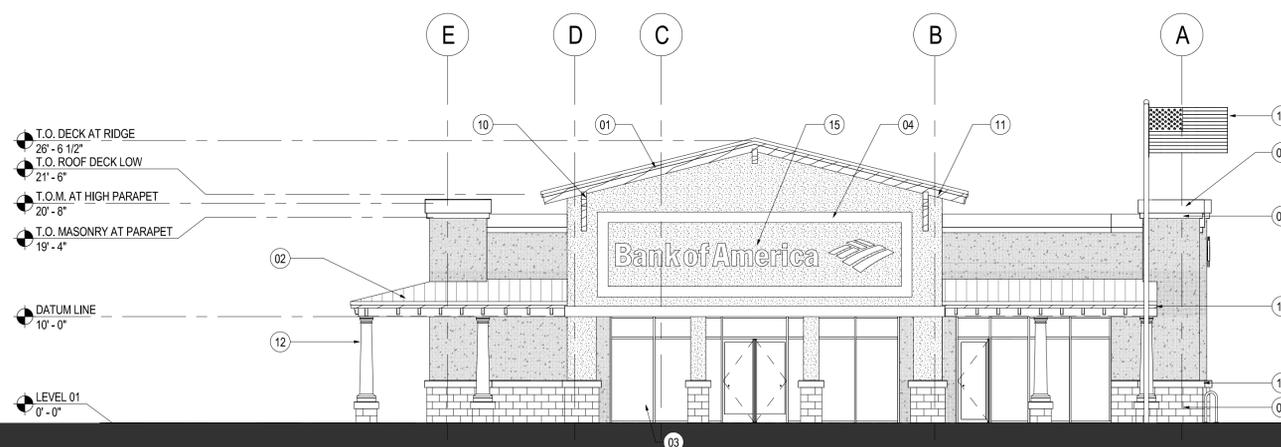
1/8" = 1'-0"



ADR.07



**01** NORTH ELEVATION - B&W  
SCALE: 1/8" = 1'-0"



**02** EAST ELEVATION - B&W  
SCALE: 1/8" = 1'-0"

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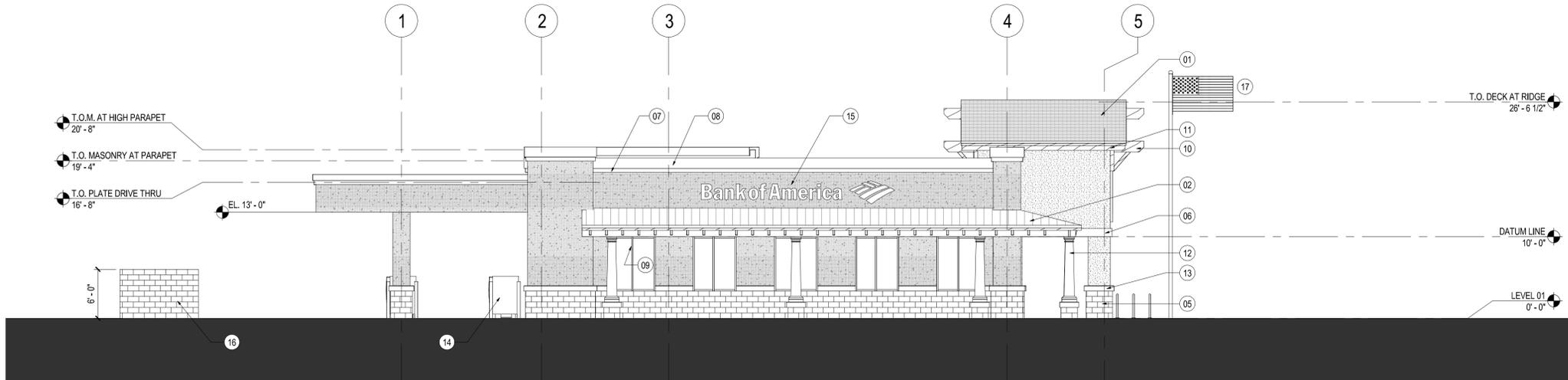
EXTERIOR ELEVATIONS (B&W)

Scale

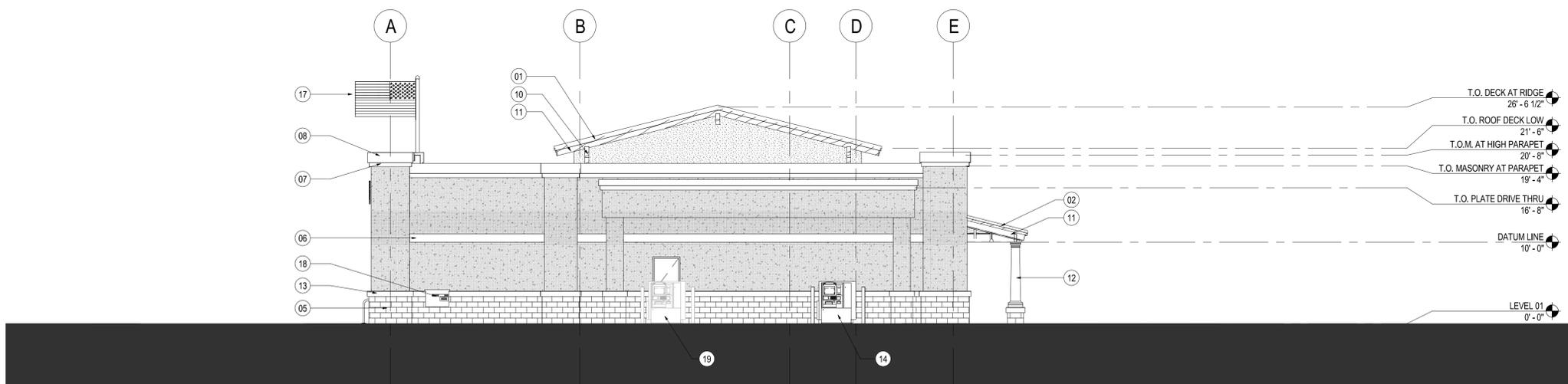
1/8" = 1'-0"



ADR.08



**01 SOUTH ELEVATION - B&W**  
SCALE: 1/8" = 1'-0"



**02 WEST ELEVATION - B&W**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES**

01 HVAC UNIT AT ROOF

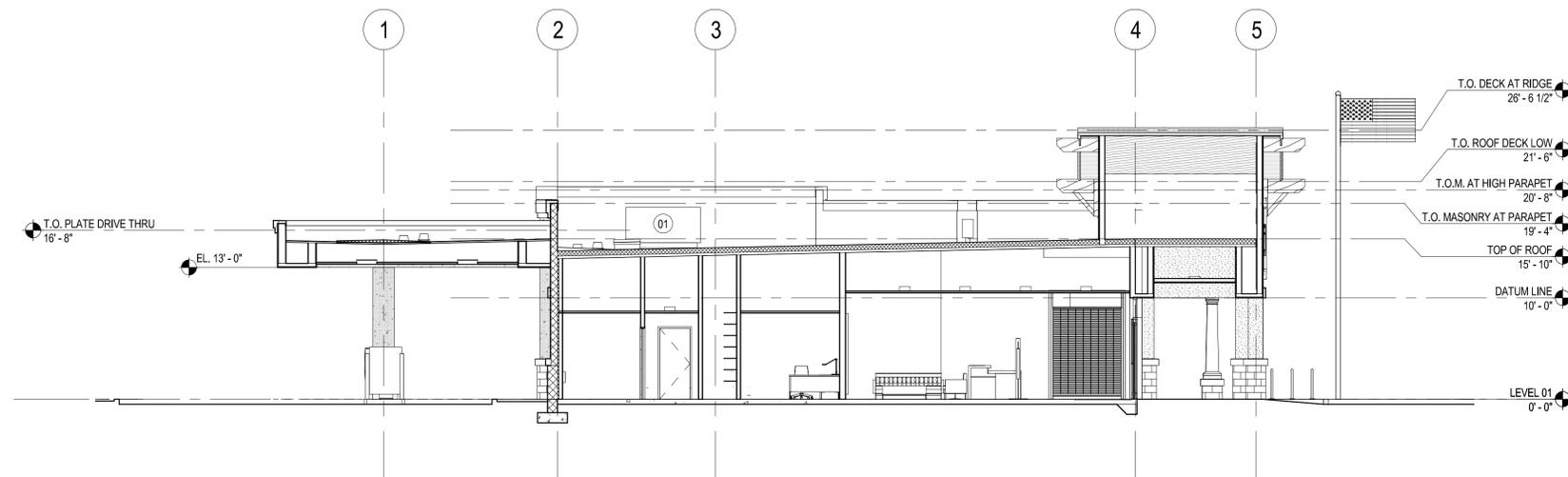
**BANK OF AMERICA**

10748 E GUADALUPE RD  
MESA, AZ 85212

**Gensler**

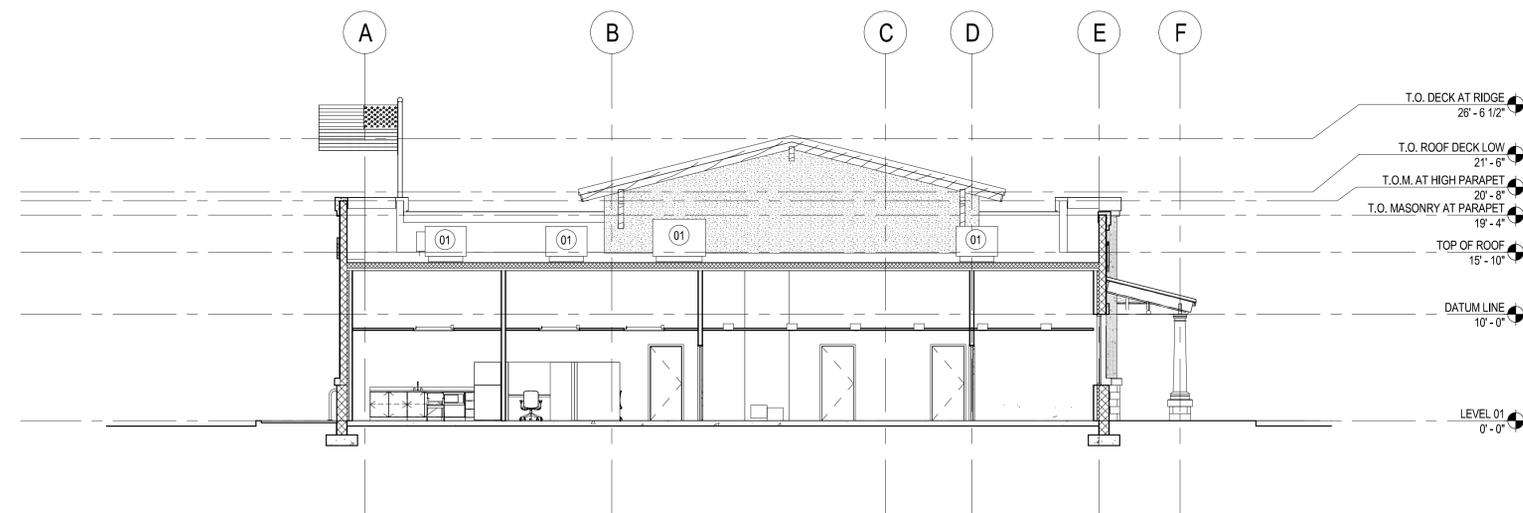
201 East Washington St  
Suite 750  
Phoenix, AZ 85004  
United States  
Tel: 602.523.4900  
Fax: 602.523.4949

Date	Description
08.25.16	DESIGN REVIEW



**01 BUILDING SECTION 1**

SCALE: 1/8" = 1'-0"



**02 BUILDING SECTION 2**

SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

Seal / Signature



Project Name

SIGNAL BUTTE RETAIL BRANCH

Project Number

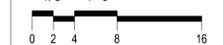
57.7200.330

Description

BUILDING SECTIONS

Scale

1/8" = 1'-0"



**ADR.09**

# BANK OF AMERICA

10748 E GUADALUPE RD  
MESA, AZ 85212

## Gensler

201 East Washington St  
Suite 750  
Phoenix, AZ 85004  
United States

Tel: 602.523.4900  
Fax: 602.523.4949



07 PHOTO - ANCHOR BUILDING  
SCALE: 12" = 1'-0"



04 PHOTO - ADJACENT GAS STATION  
SCALE: 12" = 1'-0"



01 SITE PHOTO - SITE FROM SE CORNER  
SCALE: N.T.S.



08 PHOTO - ANCHOR BUILDING  
SCALE: 12" = 1'-0"



05 PHOTO - GAS STATION CANOPY  
SCALE: 12" = 1'-0"



02 SITE PHOTO - SITE FROM SE CORNER  
SCALE: N.T.S.



09 SITE PHOTO 03 - SITE FROM EAST LOOKING WEST  
SCALE: 12" = 1'-0"

Date	Description
08.25.16	DESIGN REVIEW

Seal / Signature



Project Name

SIGNAL BUTTE RETAIL BRANCH

Project Number

57.7200.330

Description

EXISTING SITE PHOTOS

Scale

NOT TO SCALE

**ADR.10**

# MATERIAL BOARD

Bank of America Signal Butte and Guadalupe New Ground-Up Store  
City of Mesa - DESIGN REVIEW

**Gensler**

08/29/16

Project Number: 57.7200.330

## INTEGRAL COLOR STUCCO SYSTEM



SP-1 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE)  
COLOR: TO MATCH SHERWIN WILLIAMS "CANVAS TAN"  
SW 7531



SP-2 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE)  
COLOR: TO MATCH SHERWIN WILLIAMS "STUDIO TAUPE"  
SW 7549



SP-3 - INTEGRAL COLOR STUCCO SYSTEM (SAND TEXTURE)  
COLOR: TO MATCH SHERWIN WILLIAMS "MEADOWLARK"  
SW7522

## FIELD MASONRY



CMU - SUPERLITE, SPLIT FACE, BLOCK TYPE C CMU  
COLOR: HARVEST BROWN

## ROOF



RAMADA CONCRETE ROOF TILE - BORAL ROOFING  
MONTEREY SHAKE 600  
COLOR: SILVER LAKE BLEND



STANDING SEAM METAL - BERRIDGE  
COLOR: DARK BRONZE

## STOREFRONT



ALUMINUM FRAMED STOREFRONT GLAZING SYSTEM  
FINISH: DARK BRONZE ANODIZED ALUMINUM

**DESCRIPTION**

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

<b>Catalog #</b>		<b>Type</b>
<b>Project</b>		
<b>Comments</b>		<b>Date</b>
<b>Prepared by</b>		

**SPECIFICATION FEATURES**

**Construction**

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

**Optics**

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

**Electrical**

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

**Mounting**

**STANDARD ARM MOUNT:** Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**

Five-year warranty.

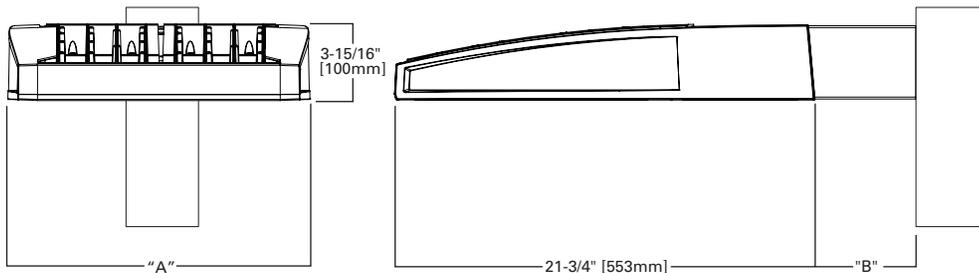


## GLEON GALLEON LED

1-10 Light Squares  
Solid State LED

AREA/SITE LUMINAIRE

**DIMENSIONS**

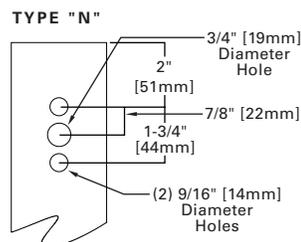


**DIMENSION DATA**

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length <sup>1</sup>	Weight with Arm (lbs.)	EPA with Arm <sup>2</sup> (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

**DRILLING PATTERN**



**CERTIFICATION DATA**

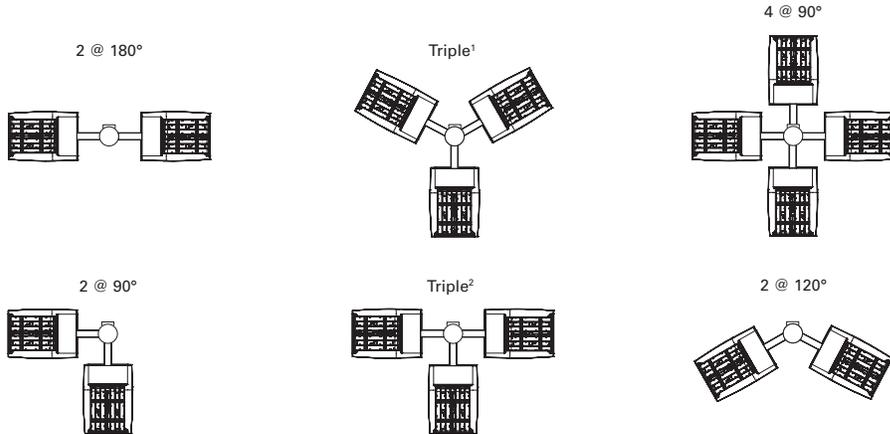
UL/cUL Wet Location Listed  
ISO 9001  
LM79 / LM80 Compliant  
3G Vibration Rated  
IP66 Rated

**ENERGY DATA**

**Electronic LED Driver**  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120V-277V 50/60Hz  
347V & 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

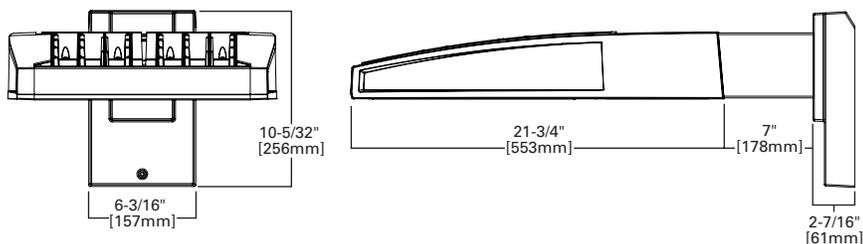
**ARM MOUNTING REQUIREMENTS**

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

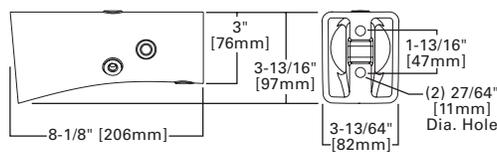


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

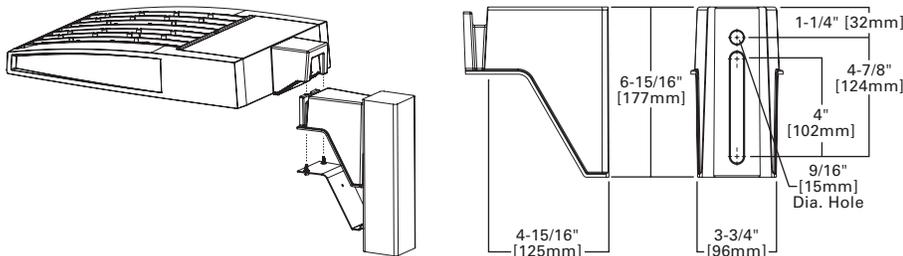
**STANDARD WALL MOUNT**



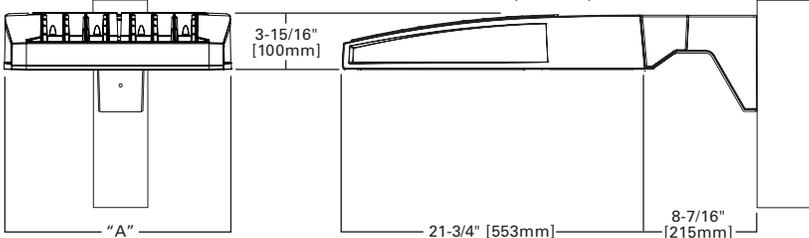
**MAST ARM MOUNT**



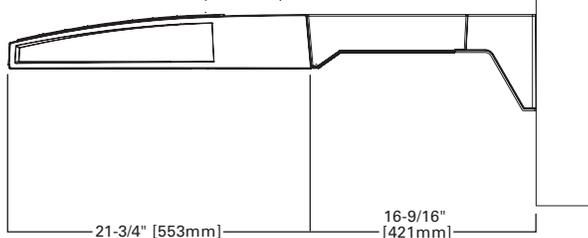
**QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)**



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

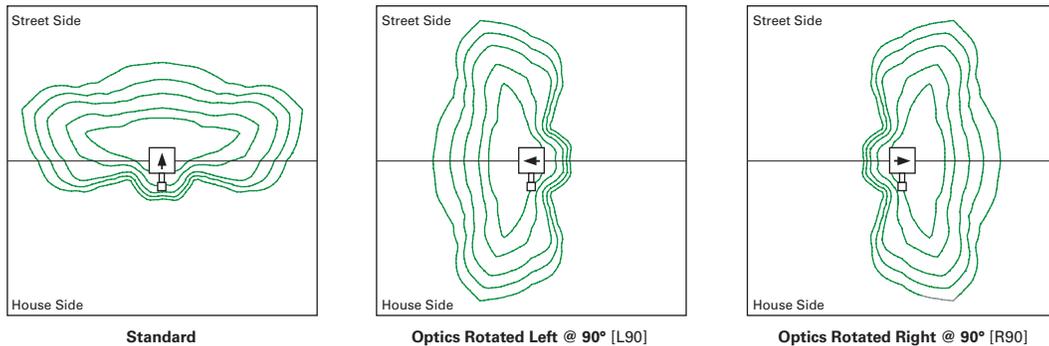


**QUICK MOUNT ARM DATA**

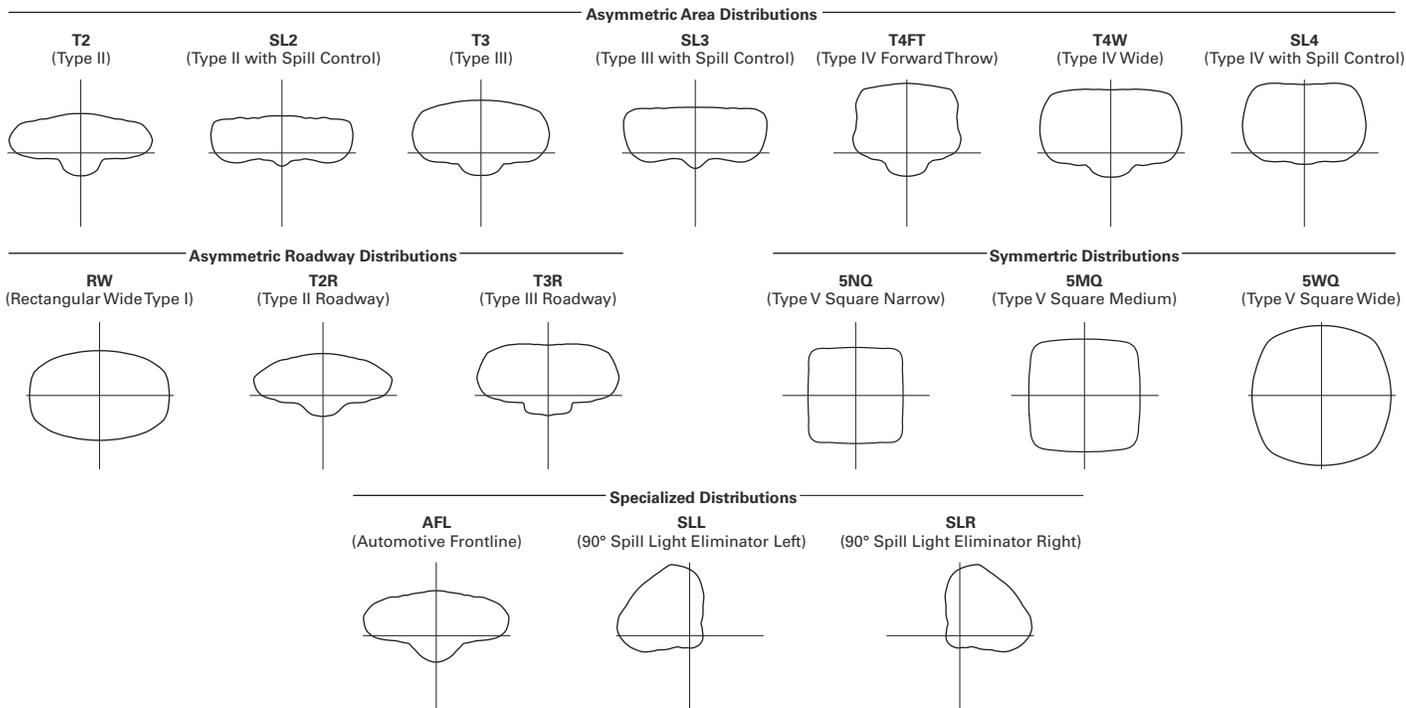
Number of Light Squares <sup>1,2</sup>	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 <sup>3</sup>	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

**OPTIC ORIENTATION**



**OPTICAL DISTRIBUTIONS**

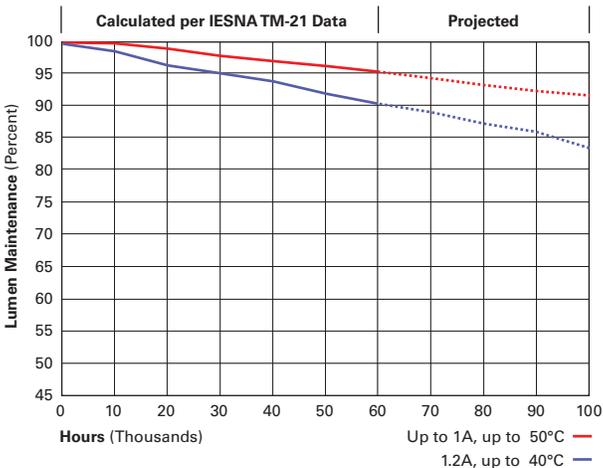


**LUMEN MAINTENANCE**

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



# MULBERRY *Marketplace*



## **Project Design Guidelines**

NWC Guadalupe and Signal Butte  
Mesa, AZ

09.11.14



# MULBERRY *Marketplace*

## DEVELOPMENT TEAM

### OWNER/DEVELOPER

#### **Brown Group**

Contact: Todd Kjar  
Brown Group, Inc.  
7508 E. Camelback Road  
Scottsdale, Arizona 85251  
Office Phone: (480) 483-2772  
Cell Phone: (480) 577-1552

 BROWN GROUP, INC

### ARCHITECT

#### **Butler Design Group, Inc.**

Contact: Rick Butler  
5017 E. Washington Street  
Suite 107  
Phoenix, Arizona 85034  
Phone: (602) 957-1800  
Fax: (602) 957-7722  
E-mail: [rbutler@butlerdesigngroup.com](mailto:rbutler@butlerdesigngroup.com)



Butler Design Group, Inc.  
architects & planners

### CIVIL ENGINEER

#### **Sustainability Engineering Group**

Contact: Ali Fakih  
8280 E. Gelding Dr. Suite 101  
Scottsdale, Arizona 85260  
Office Phone: (480) 588-7226  
Cell Phone: (480) 516-5514  
E-mail: [Ali@azseg.com](mailto:Ali@azseg.com)



SEG

SUSTAINABILITY  
ENGINEERING  
GROUP

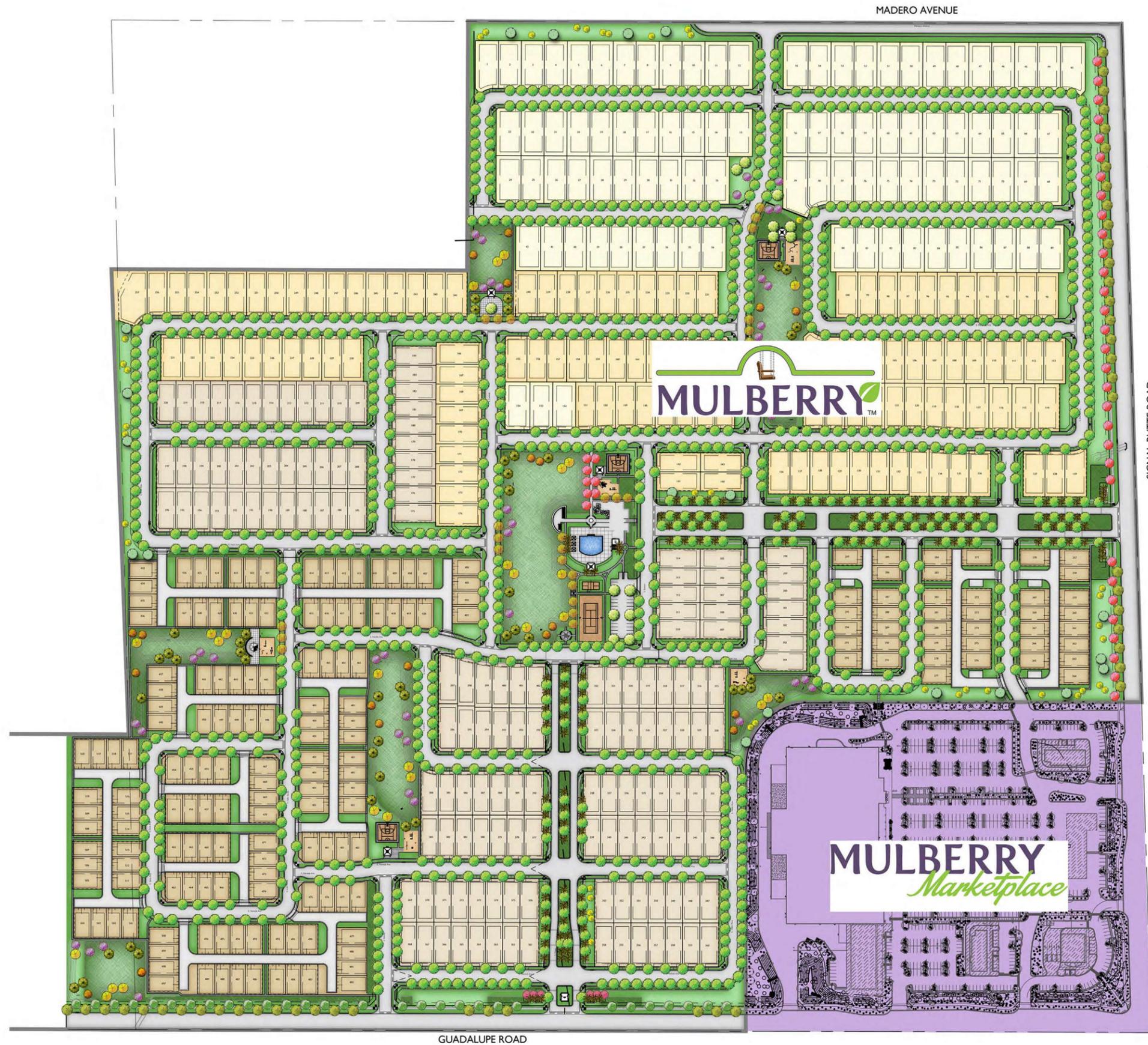
### LANDSCAPE ARCHITECT

#### **Laskin & Associates, Inc.**

Contact: Hardy Laskin  
67 East Weldon Ave.  
Suite 230  
Phoenix, Arizona 85012  
Phone: (602) 840-7771  
Fax: (602) 840-8021  
E-mail: [hardy@laskindesign.com](mailto:hardy@laskindesign.com)



# Master Site Plan



NWC Guadalupe and Signal Butte - Mesa, AZ



**MULBERRY**  
*Marketplace*

# The Mulberry 'Story'

**Mulberry**, Blandford Homes latest Master Planned Community, is planned to open in 2015. The 128-acre community is located on the northwest corner of Guadalupe Road and Signal Butte Road, in Mesa, Arizona. Homes will range from 1,600 square feet to over 4,000 square feet.

Mulberry, as Blandford Homes describes, is ***"The New Old Home Neighborhood"***.

The Mulberry architectural character is purposefully very eclectic, drawing from historical styles, including Bungalow, Spanish Mission, French Country, Tuscan, Cottage and Craftsman. Even the colors and materials throughout the Community are diverse. No two adjacent houses will look alike. Every homeowner will feel like their home is truly unique. Quality in every sense will be evident throughout Mulberry. Every 'detail' has been thoughtfully worked out from the architecture, to landscaping and tree lined streetscapes, open space and parks, to the clubhouse and community amenities. When completed Mulberry will look/feel like the neighborhoods reminiscent of the early 1900's.



**Mulberry Marketplace (MM)**, the projects 17.64-acre neighborhood commercial corner, is a planned asset to the community vs a *carved-out* parcel that is traditionally separately developed, walled off, and turns 'its back' on the adjacent residential community. To the contrary, MM is open *visually and physically* to Mulberry. Only a 42" high wall is planned along its northern border (vs a traditional 6-foot wall typically required by Code), plus pedestrian and vehicular connections have been incorporated on the north side of the project. The center is anchored by Fry's grocery store, plus includes a variety of retail stores, restaurants and a possible bank branch.

Mulberry Marketplace proposes a *Craftsman architectural style* to blend/compliment the diversity within the residential community. This design style gained prominence in the late 1800's inspired by the English Arts and Crafts movement. That movement came about as a reaction against the eclectic Victorian 'over-decorated' aesthetic and the Industrial Revolution's perceived devaluation of the individual worker and resulting degradation of the dignity of human labor. Here in



America its tenants inspired to develop and encourage higher standards in the handicrafts, design, originality and a high regard for the relationship of form and function. The Craftsman architectural character incorporates a visible sturdy structure of clean lines and natural materials. Design elements include the use of exposed wood plank underside colonnades, tapered columns, decorative exposed beam and rafter tail ends and shake siding elements and fine stucco finishes. Other characteristics are gable roofs, overhangs and building projections featuring a mix of materials from masonry to stone and a variety of sidings.

To further accentuate the array of design styles, the MM freestanding Pad buildings will promote, and even encourage, individualist character that is not necessarily Craftsman, or even a matching color/material palette. Instead, each Pad has the 'option' of being one of the design vocabularies defined within the residential community. This design approach is purposeful as it strengthens the eclectic mix of styles, plus, because the size/scale of these buildings (3000-6000 SF) is more proportionate to the adjacent homes, this option simply makes sense. Since each Pad must achieve individual Staff and Design Review Board approval, the style, detailing colors and materials will be need to be submitted, reviewed and approved at a future time.



The landscape within the Mulberry residential community is characterized by tree-lined streets and boulevards, detached sidewalks, and a neighborhood park. The enhanced traditional landscape theme highlights a lush, green and colorful planting, with tree-lined walkable streets, formalized colorful plantings with turf, shade trees and date palms within the main and secondary entry boulevards. The Marketplace utilizes a common landscape palette, including date palms at strategic locations, but is designed to be more arid/drought tolerant and low maintenance. Additionally, tree types were specified that would offer shade while offering visibility to the merchants within the Center.

To achieve a compatible, integrated and complimentary Mulberry community, the Teams (residential and commercial) determined that the most important elements in tying/blending the retail with the residential were mostly '**site ' related**. Common design elements include:

- Similar site wall detailing throughout
- Similar street-scape landscaping
- Common plant palettes, including tree-types, and even decomposed gravel as a 'foundation'
- Steel (or vinyl) accent fences (painted white)



- Date Palms. This was determined to be the most significant and important unifying element. The residential community proposes over 150 palms. The shopping center has incorporated 20 palms; at key driveways, the main corner, and at the Frys entries.

***Mulberry and Mulberry Marketplace***, are a combined vision of Blandford Homes, the Brown Group, Frys, and a talented TEAM of consultants striving to create an integrated and thoughtfully designed Community within the City of Mesa.

# Residential Architectural Character

Spanish



Cottage



Craftsman



# Residential Landscape Palette

## Guadalupe Road Streetscape

### PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
--------	-----------------	-------------	------

TREES			
	<i>Chitalpa x 'Pink Dawn'</i>	Chitalpa	24" Box
	<i>Dalbergia sissoo</i>	Sissoo	24" Box
	<i>Fraxinus velutina</i>	Arizona Ash	24" Box
	<i>Phoenix dactylifera</i>	Date Palm	24" Box

SHRUBS/ACCENTS			
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	<i>Bougainvillea 'La Jolla'</i>	La Jolla Bougainvillea	5 Gal
	<i>Dasylirion quadrangulatum</i>	Mexican Grass Tree	5 Gal
	<i>Euphorbia rigida</i>	Gopher Plant	5 Gal
	<i>Gossypium harknessii</i>	San Marcos Hibiscus	5 Gal
	<i>Hesperaloe parviflora 'Perpa' Brakelights®</i>	Crimson Yucca	5 Gal
	<i>Leucophyllum frutescens 'Compacta'</i>	Compact Texas Ranger	5 Gal
	<i>Muhlenbergia lindheimeri Autumn Glow®</i>	Lindheimer Muhly	5 Gal
	<i>Nerium oleander 'Petite Pink'</i>	Dwarf Pink Oleander	5 Gal
	<i>Russelia equisetiformis</i>	Coral Fountain	5 Gal
	<i>Simmondsia chinensis 'Vista'</i>	Compact Jojoba	5 Gal

GROUNDCOVERS			
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	<i>Lantana x 'New Gold'</i>	New Gold Lantana	1 Gal
	<i>Myoporum parvifolium 'Dwarf'</i>	Dwarf Myoporum	1 Gal
	<i>Rosmarinus officinalis 'Huntington Carpet'</i>	Trailing Rosemary	1 Gal
	<i>Sphagneticola trilobata</i>	Yellow Dot	1 Gal

TURF & PERENNIALS			
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	<i>Cynodon dactylon 'Tifway 419'</i>	Tifway 419	Sod
---	--------------------------------------	------------	-----

	Seasonal annuals (4" pot @ 12" O.C. to be selected at time of planting)		
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## Signal Butte Road Streetscape

### PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
--------	-----------------	-------------	------

TREES			
	<i>Chitalpa x 'Pink Dawn'</i>	Chitalpa	24" Box
	<i>Dalbergia sissoo</i>	Sissoo	24" Box
	<i>Phoenix dactylifera</i>	Date Palm	24" Box
	<i>Pistacia chinensis</i>	Sarah's Radiance Pistache TM	24" Box

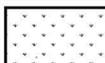
SHRUBS/ACCENTS			
----------------	--	--	--

	<i>Bougainvillea 'La Jolla'</i>	La Jolla Bougainvillea	5 Gal
	<i>Dasylirion quadrangulatum</i>	Mexican Grass Tree	5 Gal
	<i>Eremophila x Summertime Blue</i>	Summertime Blue	5 Gal
	<i>Euphorbia rigida</i>	Gopher Plant	5 Gal
	<i>Gossypium harknessii</i>	San Marcos Hibiscus	5 Gal
	<i>Hesperaloe parviflora 'Perpa' Brakelights®</i>	Crimson Yucca	5 Gal
	<i>Leucophyllum frutescens 'Compacta'</i>	Compact Texas Ranger	5 Gal
	<i>Muhlenbergia lindheimeri Autumn Glow®</i>	Lindheimer Muhly	5 Gal
	<i>Nerium oleander 'Petite Pink'</i>	Dwarf Pink Oleander	5 Gal
	<i>Russelia equisetiformis</i>	Coral Fountain	5 Gal
	<i>Senna nemophila</i>	Desert Cassia	5 Gal
	<i>Simmondsia chinensis 'Vista'</i>	Compact Jojoba	5 Gal
	<i>Tecoma stans 'Gold Star'</i>	Yellow Bells	5 Gal

GROUNDCOVERS			
--------------	--	--	--

	<i>Lantana x 'New Gold'</i>	New Gold Lantana	1 Gal
	<i>Myoporum parvifolium 'Dwarf'</i>	Dwarf Myoporum	1 Gal
	<i>Sphagneticola trilobata</i>	Yellow Dot	1 Gal

TURF & PERENNIALS			
-------------------	--	--	--

	<i>Cynodon dactylon 'Tifway 419'</i>	Tifway 419	Sod
---	--------------------------------------	------------	-----

	Seasonal annuals (4" pot @ 12" O.C. to be selected at time of planting)		
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**1 PRIMARY THEME WALL**  
Scale: 1/2" = 1' - 0"

**2 SECONDARY THEME WALL**  
Scale: 1/2" = 1' - 0"



**3 PARTIAL VIEW FENCE**  
Scale: 1/2" = 1' - 0"

**4 FULL VIEW FENCE**  
Scale: 1/2" = 1' - 0"



STONE VENEER  
Coronado Stone  
Creek Rock - Apache Brown

CMU BLOCK  
Superlite Block  
Smooth, Color - Cocoa Brown

CMU BLOCK  
Superlite Block  
Smooth, Color - Bone

CMU BLOCK  
Superlite Block  
Split face, Color - Bone

STUCCO COLOR  
Dunn Edwards  
DEC 750 Bison Beige or Equal

METAL FENCE  
Color Black or Equal

# MULBERRY *Marketplace*



## **Commercial Design Guidelines**

Major Tenant Rendering



# Shops Building Rendering

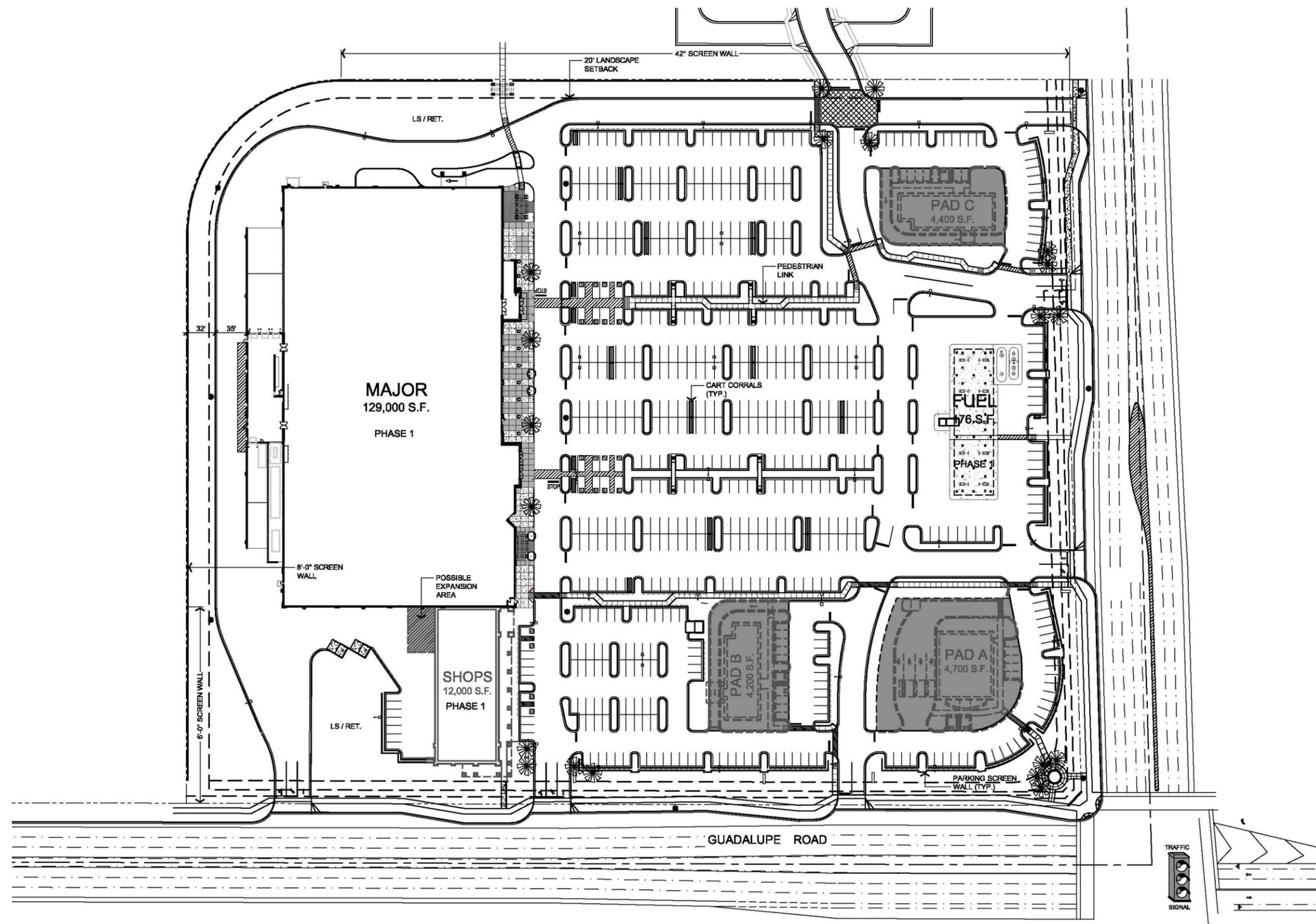
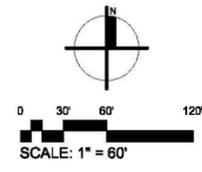




# MULBERRY *Marketplace*

## N.W.C. Signal Butte & Guadalupe

Mesa, Arizona



**Legal Description**

THE SOUTHEAST QUARTER AND THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP ONE SOUTH, RANGE SEVEN EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN MARICOPA COUNTY, ARIZONA.

**Site Data**

Existing Zoning:	RM-2
Proposed Zoning:	LC-PAD
APN#:	304-01-976A
Net Site Area:	768,391 S.F. (17.64 AC.)
Total Building Area:	154,476 S.F.
Coverage: (N.I.C. Mezz.)	20.1%
Parking Provided: (All parking min. 9' x 18'; Major parking 10' x 18')	620 Spaces
Parking Ratio:	4.0 / 1,000 S.F.

**Proposed Heights**

32'-0" (Plus Embellishments)  
22'-0" - 24'-0" (Plus Embellishments)

**Parking Breakdown**

Major (Incl. Gas Kisok-176 S.F. & Mezz. 6,000 S.F.) (129,176 S.F. / 375 S.F.):	345 Spaces
Shops (8,000 S.F. / 375 S.F.) (4,000 S.F. / 75 S.F.):	22 Spaces 54 Spaces
Patio (1,000 S.F. / 200 S.F.):	5 Spaces
Pad A (4,700 S.F. / 375 S.F.):	12 Spaces
Pad B (4,200 S.F. / 100 S.F.):	42 Spaces
Pad C (4,400 S.F. / 100 S.F.):	44 Spaces
<b>Total Parking Required:</b>	<b>524 Spaces</b>
<b>Total Parking Provided:</b> (Incl.'s 26 ADA Spaces)	<b>620 Spaces</b>

■ FUTURE PHASES

# MULBERRY *Marketplace*

N.W.C. Signal Butte & Guadalupe Road  
Mesa, Arizona

# Commercial Site Plan Data

## Site Data

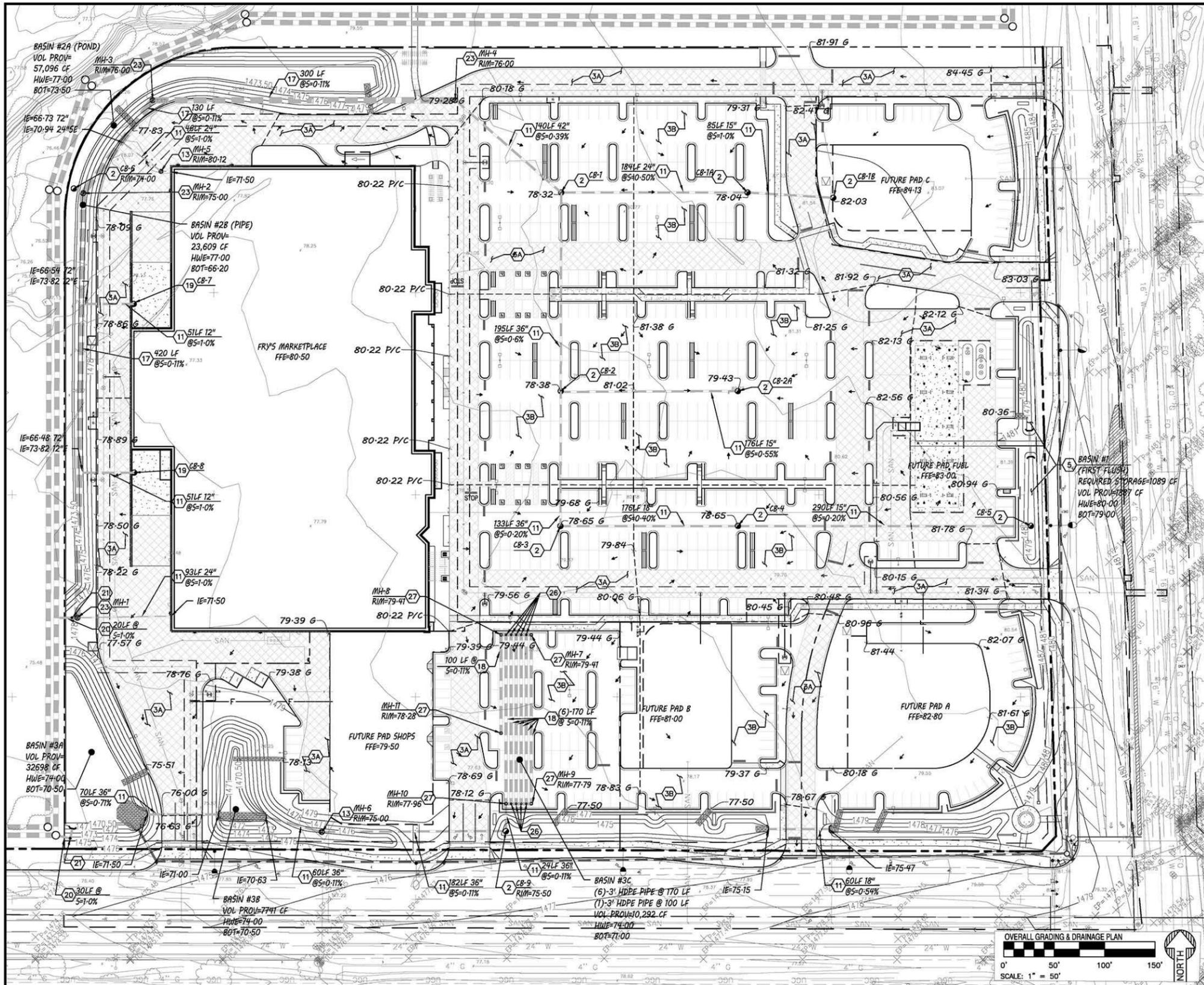
Existing Zoning:	RM-2
Proposed Zoning:	LC-PAD
APN#:	304-01-976A
Net Site Area:	768,391 S.F. (17.64 AC.)
Total Building Area:	154,476 S.F.
Coverage: (N.I.C. Mezz.)	20.1%
Parking Provided: (All parking min. 9' x 18'; Major parking 10' x 18')	620 Spaces
Parking Ratio:	4.0 / 1,000 S.F.

## Proposed Heights

32'-0" (Plus Embellishments)  
22'-0" - 24'-0" (Plus Embellishments)

## Parking Breakdown

Major (Incl. Gas Kisok-176 S.F. & Mezz. 6,000 S.F.) (129,176 S.F. / 375 S.F.):	345 Spaces
Shops (8,000 S.F. / 375 S.F.):	22 Spaces
(4,000 S.F. / 75 S.F.):	54 Spaces
Patio (1,000 S.F. / 200 S.F.):	5 Spaces
Pad A (4,700 S.F. / 375 S.F.):	12 Spaces
Pad B (4,200 S.F. / 100 S.F.):	42 Spaces
Pad C (4,400 S.F. / 100 S.F.):	44 Spaces
Total Parking Required:	524 Spaces
Total Parking Provided: (Incl.'s 26 ADA Spaces)	620 Spaces



**CONSTRUCTION NOTES**

- 1 MATCH EXISTING GRADE, CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO ANY CONSTRUCTION ACTIVITIES AND TO CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 FURNISH & INSTALL 30" NYLOPLAST CATCH BASIN WITH TRAFFIC RATED GRATE. REFER TO DETAIL ON SHEET C3-60.
- 3A CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT SECTION PER GEOTECH RECOMMENDATION. REFER TO DETAIL ON SHEET C3-60.
- 3B CONSTRUCT LIGHT DUTY ASPHALT PAVEMENT SECTION PER GEOTECH RECOMMENDATION. REFER TO DETAIL ON SHEET C3-60.
- 4 CONSTRUCT CONCRETE PAD, REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- 5 BIOSWALE. REFER TO DETAIL ON SHEET C3-60.
- 6 2% MAXIMUM CROSS SLOPE ACROSS FUEL CENTER'S CONCRETE PAD AND ACROSS ADA PARKING SPACES.
- 7 CONSTRUCT 6" CURB/GUTTER PER M-A-G STANDARD DETAIL 220 TYPE A.
- 8 SCREEN WALL (TYP.) REFER TO DETAIL ARCHITECTURAL PLANS.
- 9 CURB OPENING. WIDTH PER PLAN.
- 10 FURNISH & INSTALL CATCH BASIN PER MAG STD DET 533-1.
- 11 FURNISH & INSTALL HDPE STORM PIPE. SLOPE & DIA. PER PLAN.
- 12 FURNISH & INSTALL RCP STORM PIPE. SLOPE & DIA. PER PLAN.
- 13 FURNISH & INSTALL STORM DRAIN MANHOLE PER MAG 520 & 522.
- 14 FURNISH & INSTALL RIP-RAP. D<sub>50</sub>=6", 12" DEPTH, DIMENSIONS PER PLAN. REFER TO DETAIL ON SHEET C3-60.
- 15 FURNISH AND INSTALL FLARED END SECTION.
- 16 FURNISH AND INSTALL SIDEWALK PER MAG 5D DET 230.
- 17 FURNISH AND INSTALL 72" CMP. REFER TO DETAIL ON SHEET C3-70.
- 18 FURNISH AND INSTALL 36" DIAMETER HDPE STORAGE PIPE.
- 19 FURNISH & INSTALL NEENAH R-3165 COMBINATION INLET OR APPROVED EQUAL. REFER TO KROGER STD DET ASD-11 4A AND ARCHITECTURAL PLANS.
- 20 FURNISH & INSTALL 8" D-I-P @ 5%, LENGTH PER PLAN.
- 21 FURNISH & INSTALL 8" GATE VALVE, BOX & COVER. PER MAG STD DET 391-1. REPLACE "WATER" COVER WITH "STORM" COVER.
- 22 FURNISH & INSTALL EXTRUDED CURB.
- 23 FURNISH & INSTALL STORM DRAIN MANHOLE PER MAG STD DET 521 & 522 WITH 30" FRAME AND COVER PER MAG STD DET 423-2.
- 24 FURNISH & INSTALL 30" CMP RISER WITH FRAME AND COVER PER PIPE MANUFACTURER DETAIL ON SHEET C3-70.
- 25 FURNISH & INSTALL HEADWALL PER MAG STD DET 501-4.
- 26 FURNISH & INSTALL 18" NYLOPLAST INLINE RISER WITH VENTED LID AND CONCRETE COLLAR. REFER TO DETAIL ON SHEET C3-70.
- 27 FURNISH & INSTALL 24" NYLOPLAST INLINE RISER WITH VENTED LID AND CONCRETE COLLAR. REFER TO DETAIL ON SHEET C3-70.
- 28 FURNISH & INSTALL 5' CONCRETE JUNCTION BOX PER MAG STD DET 504.

**STRUCTURE SCHEDULE**

ID	INVERT	ID	INVERT
CB-1	71-71 24" E	MH-1	66-00 8" W, 72" N
	71-51 42" NW		70-58 24" E
	71-91 36" S	MH-2	66-66 72" S&E, 24" NW
CB-1A	73-63 24" W	MH-3	66-79 72" SW&E
	74-23 18" E	MH-4	67-12 72" W
CB-1B	75-08 18" W		70-96 42" SE
	74-48 15" E	MH-5	71-40 24" E&NW
CB-2	73-08 36" N&S	MH-6	70-70 36" NW&E
	74-48 15" E	MH-7	71-13 36" S&W
CB-3	73-35 36" N	MH-8	71-11 36" S&E
	74-55 18" E		
CB-4	75-25 18" W	MH-9	70-95 36" N&W
	75-45 15" E	MH-10	70-92 36" N, S, & E
CB-5	76-03 15" W	MH-11	71-21 36" N
CB-6	66-76 24" SE		
CB-7	74-33 12" W		
CB-8	74-33 12" W		
CB-9	70-90 36" N&W		

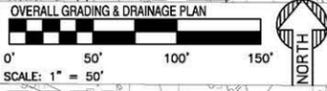
REQUIRED STORAGE VOLUME = 130,158 CF  
 PROVIDED STORAGE VOLUME = 131,436 CF

**GRADING NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
2. PROPOSED SPOT ELEVATIONS SHOWN REPRESENT FINISHED PAVING, SIDEWALK, SLAB, GUTTER FLOWLINE, OR GROUND ELEVATION. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
5. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE STABILIZED.
6. IF STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS ARE STOCKPILED ON THE SITE, THESE MATERIALS MAY BE PLACED TO A HEIGHT OF FIVE FEET. SILT FENCE SHALL BE PLACED AROUND THE BASE OF THE STOCKPILE AND THE STOCKPILE SHALL BE SEED WITH NATIVE SEED MIX IMMEDIATELY AFTER STRIPPING OPERATIONS ARE COMPLETE.
7. IF APPLICABLE, LIME TREATED SUBGRADE MATERIAL SHOULD MEET ARIZONA HIGHWAY DEPARTMENT SPECIFICATIONS. A SPECIFIC MIX DESIGN SHOULD BE PREPARED BY THE GEOTECHNICAL CONSULTANT.
8. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO PROPOSED GRADE PRIOR TO PLACEMENT OF THE FINAL LIFT OF ASPHALT.
9. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE SOILS REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE SOILS REPORT ON THE SITE AT ALL TIMES.
10. SUBGRADE WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN SUBGRADE ELEVATION. HOWEVER, ON THE FINISHED ASPHALT SURFACE, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

**GRADING NOTES CONTINUED:**

11. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPES AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR THE TYPICAL SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURED WITHOUT APPROVAL OF THE ENGINEER.
12. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
13. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES TO ENSURE NO STANDING WATER.
14. PROVIDE THICKENED PAVEMENT TRANSITION AROUND STRUCTURES AND AT OPEN EDGE OF PAVEMENT SECTION.
15. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
16. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
17. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
18. THE CONTRACTOR IS ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT HE SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE PROJECT AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.



SEAL

SUSTAINABILITY  
ENGINEERING  
GROUP

SEG



Fry's Food Stores of Arizona  
500 South 98th Avenue, Bldg A  
Tolleson, AZ 85355  
Phone (602) 907-1994  
Fax (602) 907-1974

The Kroger Co.  
10251 East 51st Street, Suite A  
Denver, CO 80239  
Phone (303) 715-5917  
Fax (303) 715-5905

PROJECT: MULBERRY MARKETPLACE  
LOCATION: NMC E GUADALUPE RD & S SIGNAL BUTTE RD MESA, AZ

DESIGN: MILES  
CHECKED: MILES  
PROJECT WORK: COUNSELL  
FAKIH

DATE: 09-11-2014

ISSUED FOR: DRB

REVISION NO.: DATE:

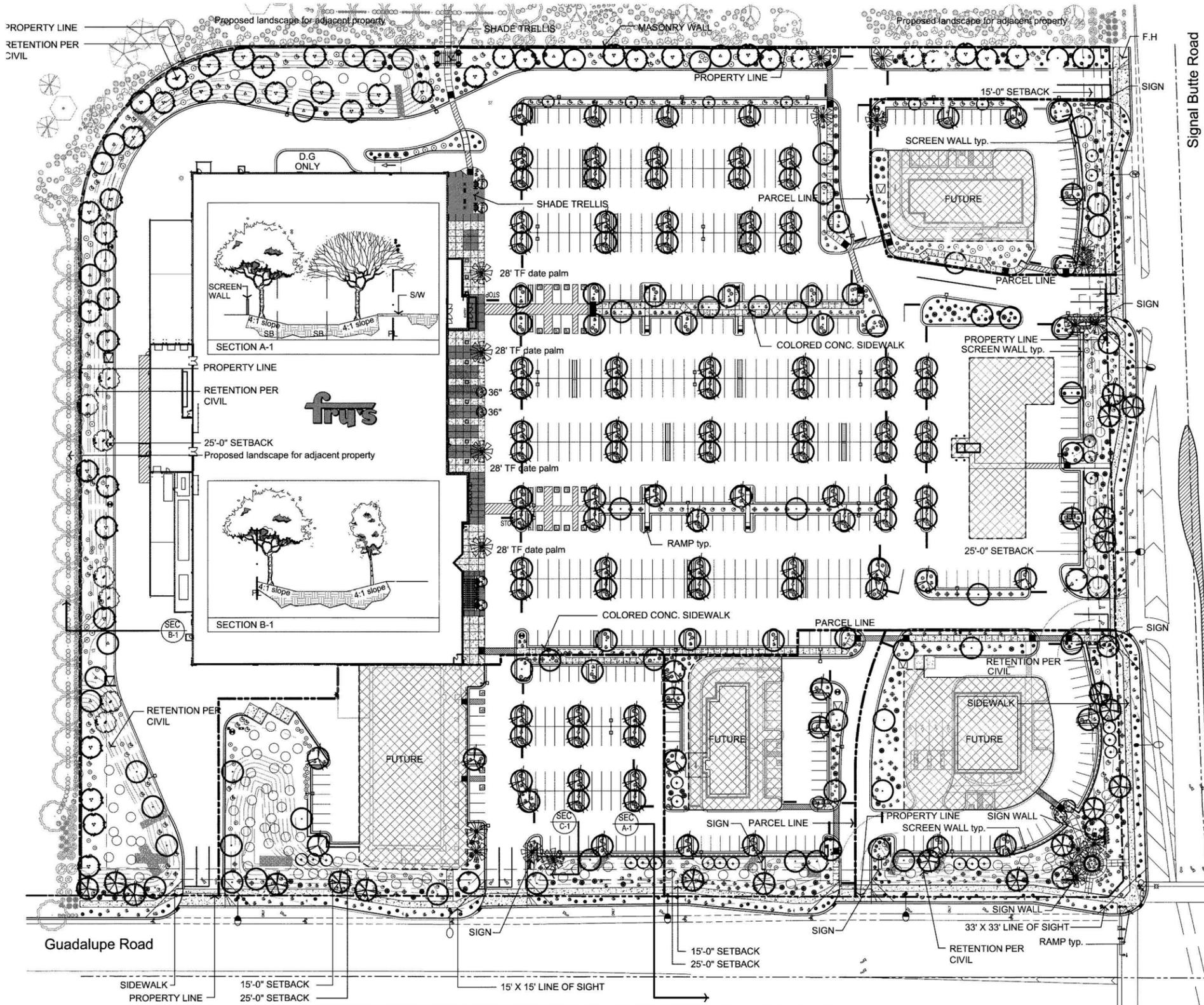
JOB NO.: CD140186

SHEET TITLE: OVERALL GRADING & DRAINAGE PLAN

SHEET NO.: C3.00



THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.



**LANDSCAPE LEGEND**

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED) All tree caliper required at time of planting

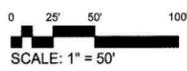
TREES	SIZE / CLPR / HT.	SHRUBS / ACCENTS / VINES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box 36" Box low breaking stand.	Tecoma stans "Gold Star" Yellow Bells	5 Gallon
Pinus eiderica Mondel Pine	15 Gallon stand.	Bougainvillea "Torch Glow" Torch Glow Bougainvillea	5 Gallon
Acacia farnesiana Sweet Acacia	24" Box stand.	Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Acacia salicina Willow Acacia	24" Box stand.	Eremophila maculata "Valentine" Valentine Bush	5 Gallon
Quercus virginiana "Heritage" Southern Live Oak	24" Box stand.	Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	24" Box 36" Box multi.	Hesperaloe parviflora "Brakelight" Red Yucca	5 Gallon
Phoenix dactylifera Date Palm	18" Trunk Feet straight trunk diamond cut, matching	Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Acacia stenophylla Shoestring Acacia	24" Box stand.	Dasylirotr quadrangulatum Mexican Tree Grass	5 Gallon
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box	Euphorbia rigida Gopher Plant	5 Gallon
		Macfadyena unguis-cati Cat Claw Vine	5 Gallon
		<b>GROUNDCOVERS</b>	<b>SIZE</b>
		Lantana montevidensis Trailing Lantana "Purple & New Gold"	1 Gallon 50/50 mix
		Convolvulus cneorum Bush Morning Glory	1 Gallon
		Acacia redolens desert Carpet	1 Gallon

**CITY OF MESA LANDSCAPE GENERAL NOTES:**

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE.
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES AND SHRUBS SHALL BE PROVIDED PER THE SITE CALCULATIONS.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRED SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF THE ABOVE CALCULATIONS. TREES AND SHRUBS MAY BE CLUSTERED.
7. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.
8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND PARKING SHALL BE INSTALLED AT EACH END OF ROW OF STALL AND IN BETWEEN FOR MAX. MUM OF EIGHT CONTIGUOUS PARKING SPACES.
9. INSTALLATION OF THE FOUNDATION LANDSCAPING SHALL MEET THE CALCULATIONS PROVIDED.
10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA. LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.
12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.
13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOCIATION OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS.
14. ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'.
15. RIP-RAP MUST BE OF NATURAL MATERIALS MATCHING D.G. COLORS. CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR.
16. TREES SHALL BE PLANTED AT LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED AT LEAST 7' AWAY FROM ANY STREET LIGHT POLE OR LOCATION.

09-09-14  
13155-ST17

**BROWN GROUP, INC**



# MULBERRY Marketplace

N.W.C. Signal Butte & Guadalupe Road  
Mesa, Arizona

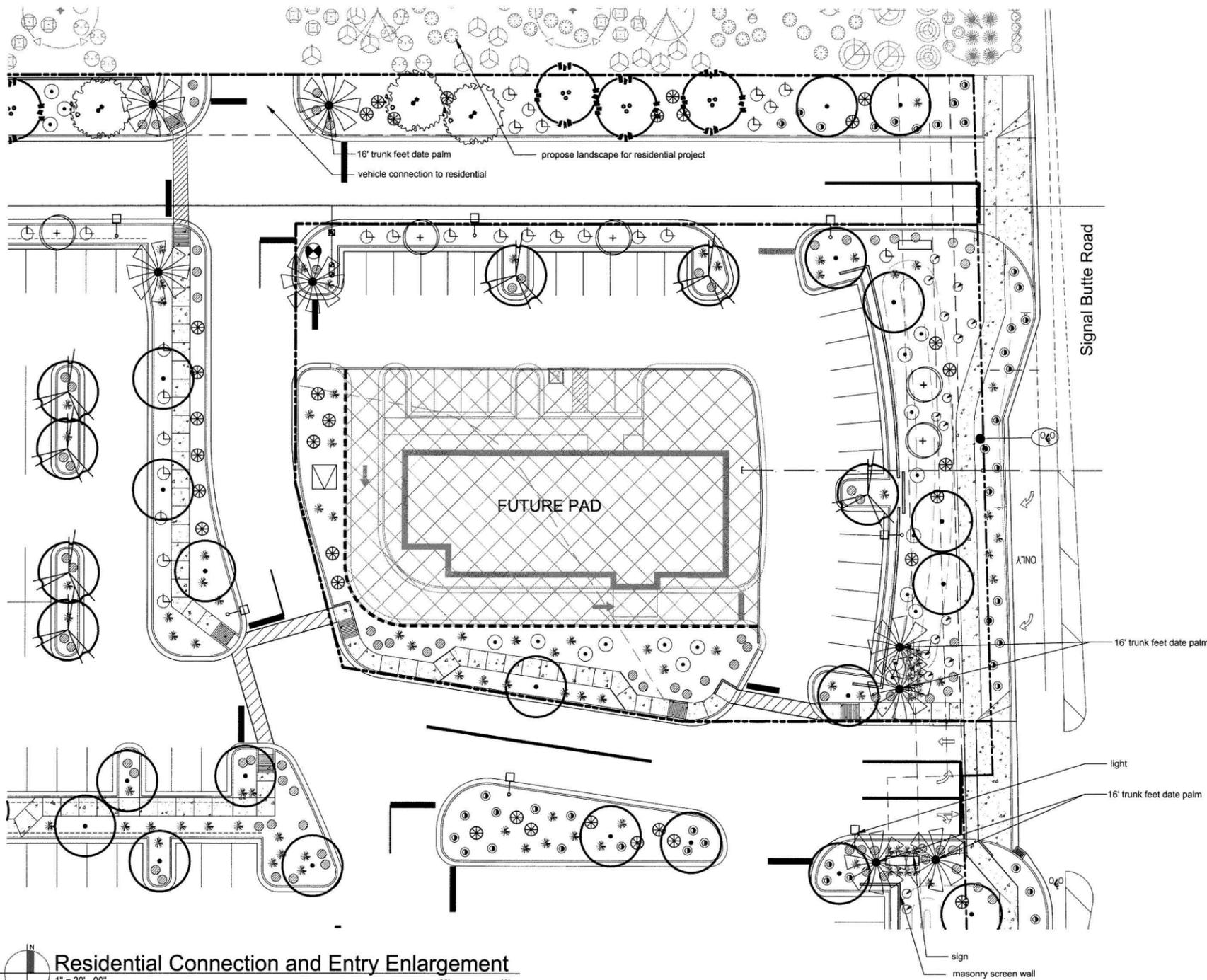
## CONCEPTUAL LANDSCAPE PLAN



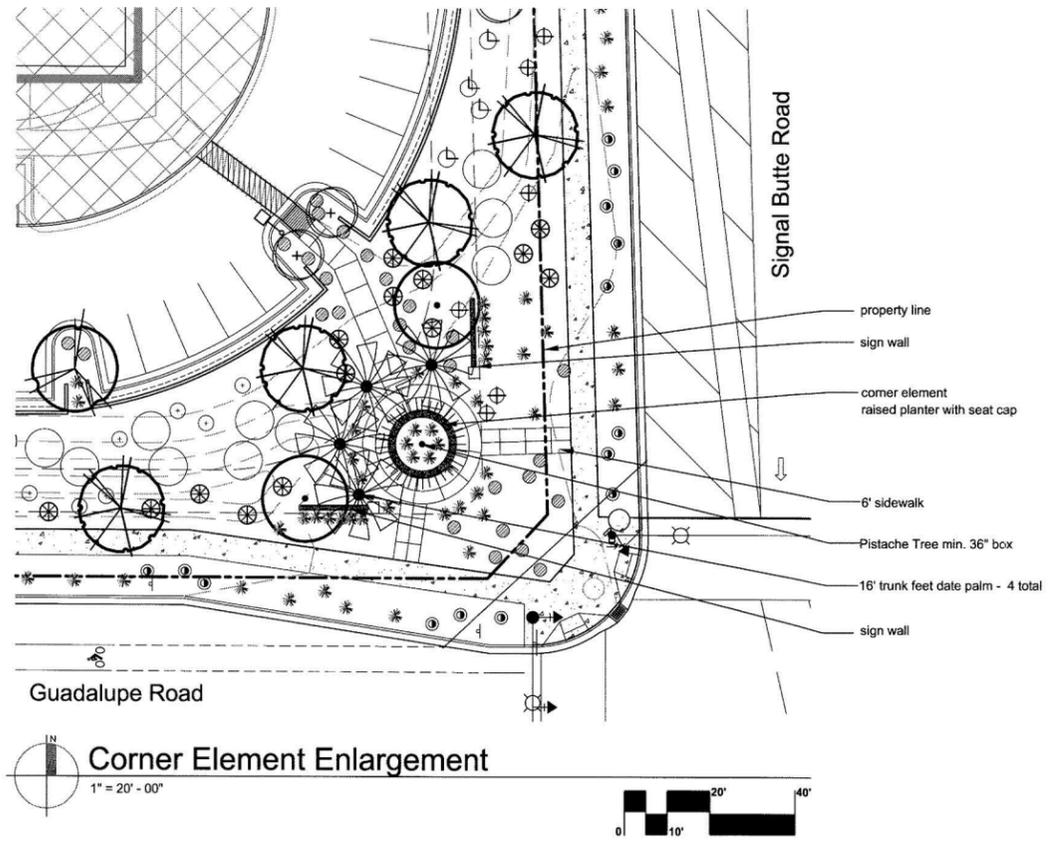
**LASKIN & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS  
67 E. Weldon Ave.  
Suite 239  
Phoenix, Arizona 85012  
p (602) 840-7771  
f (602) 940-9021  
www.laskin.design.com



**Butler Design Group, Inc**  
architects & planners



**Residential Connection and Entry Enlargement**  
 1" = 20' - 00"  
 0 10' 20' 40'



**Corner Element Enlargement**  
 1" = 20' - 00"  
 0 10' 20' 40'

**LANDSCAPE LEGEND**

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
 (U.O.N. - UNLESS OTHERWISE NOTED) All tree caliper required at time of planting

TREES	SIZE / CLPR / HT.	SHRUBS / ACCENTS / VINES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box 36" Box low breaking stand.	Tecoma stans "Gold Star" Yellow Bells	5 Gallon
Pinus eldarica Mondel Pine	15 Gallon stand.	Bougainvillea "Torch Glow" Torch Glow Bougainvillea	5 Gallon
Acacia farnesiana Sweet Acacia	24" Box stand.	Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Acacia salicina Willow Acacia	24" Box stand.	Eremophila maculata "Valentine" Valentine Bush	5 Gallon
Quercus virginiana "Heritage" Southern Live Oak	24" Box stand.	Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	24" Box 36" Box multi.	Hesperaloe parviflora "Brakelight" Red Yucca	5 Gallon
Phoenix dactylifera Date Palm	18' Trunk Feet straight trunk diamond cut, matching	Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Acacia stenophylla Shoestring Acacia	24" Box stand.	Dasyliroon quadrangulatum Mexican Tree Grass	5 Gallon
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box	Euphorbia rigida Gopher Plant	5 Gallon
		Macfadyena unguis-cati Cat Claw Vine	5 Gallon
		<b>GROUNDCOVERS</b>	<b>SIZE</b>
		Lantana montevidensis Trailing Lantana 'Purple & New Gold'	1 Gallon 50/50 mix
		Convolvulus cneorum Bush Morning Glory	1 Gallon
		Acacia redolens desert Carpet	1 Gallon
		Decomposed Granite (Match color & size to adjacent property) 1/2" select Table Mesa Brown or equal 09-09-14 2" min thickness in all landscape areas Submit samples to Landscape Architect 13155-ST17	

# MULBERRY Marketplace

N.W.C. Signal Butte & Guadalupe Road  
 Mesa, Arizona

## CONCEPTUAL LANDSCAPE PLAN



Butler Design Group, Inc.  
 architects & planners

## LANDSCAPE PALETTE

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ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
( U.O.N. - UNLESS OTHERWISE NOTED )

TREES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box and 36" Box low breaking stand.
Pinus eldarica Mondel Pine	15 Gallon stand.
Acacia farnesiana Sweet Acacia	24" Box stand.
Acacia salicina Willow Acacia	24" Box stand.
Quercus virginiana 'Heritage' Southern Live Oak	24" Box stand.
Caesalpinia mexicana Mexican Bird of Paradise	24" Box and 36" Box multi.
Phoenix dactylifera Date Palm	16' and 28' Trunk Feet straight trunk diamond cut, matching
Acacia stenophylla Shoestring Acacia	24" Box stand.
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box

### SHRUBS / ACCENTS / VINES

Tecoma stans " Gold Star" Yellow Bells	5 Gallon
Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5 Gallon
Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Eremophila maculata `Valentine` Valentine Bush	5 Gallon
Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Hesperaloe parviflora 'Brakelight' Red Yucca	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Dasyllirion quadrangulatum Mexican Tree Grass	5 Gallon
Euphorbia rigida Gopher Plant	5 Gallon
Macfadyena unguis-cati Cat Claw Vine	5 Gallon

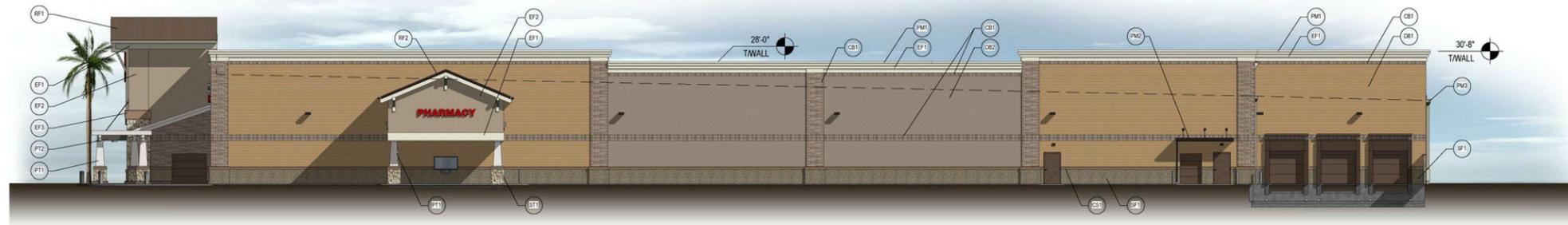
### GROUNDCOVERS

Lantana montevidensis Trailing Lantana 'Purple & New Gold '	1 Gallon
Convolvulus cneorum Bush Morning Glory	1 Gallon
Acacia redolens desert Carpet	1 Gallon

Decomposed Granite (Match color & size to adjacent property)  
1/2" select Table Mesa Brown or equal  
2" min thickness in all landscape areas  
Submit samples to Landscape Architect



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

**MATERIALS LEGEND**

(CB1) CAST BRICK - QUIK-BRIK - AUTUMN BLEND	(AL1) ANODIZED ALUMINUM - DARK BRONZE
(CS1) CAST STONE - CORONADO - BROWNSTONE	(RF1) CONCRETE ROOF TILE - BORAL - MONTEREY SHAKE 600 - SILVER LAKE BLEND
(SF1) SPLIT-FACE CMU - ANGELUS BLOCK - SPLIT-FACE - HARVEST	(RF2) STANDING SEAM METAL - BERRIAGE - DARK BRONZE
(DB1) INTEGRALLY COLORED CMU - ANGELUS BLOCK - PRECISION - SHORELINE	(PT1) PAINT - SHERWIN WILLIAMS SW 6000
(DB2) INTEGRALLY COLORED CMU - ANGELUS BLOCK - PRECISION - COOL GRAY	(PT2) PAINT - SHERWIN WILLIAMS SW 7645
(ST1) STONE VENEER - CORONADO - CREEK ROCK - APACHE BROWN	(PM1) PREFINISHED METAL - BERRIAGE - PARCHMENT
(FC1) PAINTED FIBER-CEMENT SHAKE - COLOR TO MATCH SW 0042	(PM2) PREFINISHED METAL - BERRIAGE - DARK BRONZE
(EF1) EIFS - COLOR TO MATCH SW 7531	(PM3) PREFINISHED METAL - BERRIAGE - SIERRA TAN
(EF2) EIFS - COLOR TO MATCH SW 7549	
(EF3) EIFS - COLOR TO MATCH SW 7522	



SOUTH ELEVATION



September 8, 2014

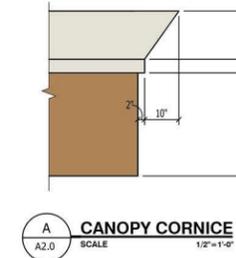
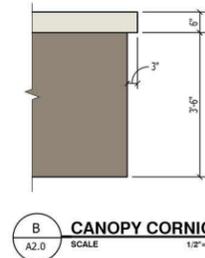
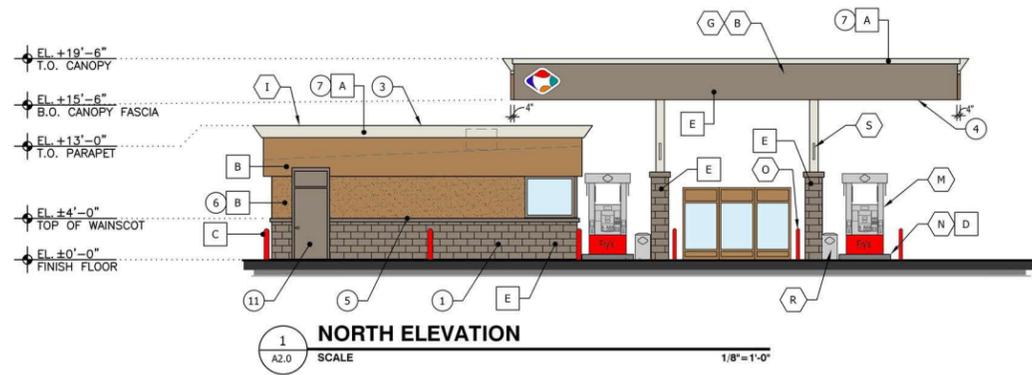
Fry's Store FRY686

Mesa, AZ  
514505.03



NWC Guadalupe and Signal Butte - Mesa, AZ





**GENERAL NOTES:**

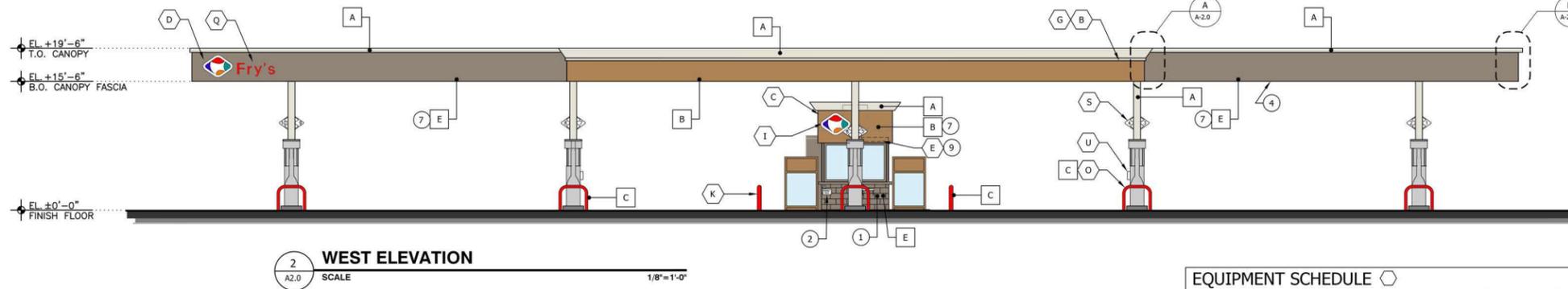
- A. CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
- C. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
- D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.

**KEYED NOTES:**

- 1. CMU CAST PANEL AND SILL CAP MATCH.
- 2. EMERGENCY STOP SWITCH.
- 3. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
- 4. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
- 5. 4" CAPSTONE.
- 6. EIFS FINISH.
- 7. TEXTCOTE FINISH OVER (ACM) PANEL.
- 8. H/M DOOR AND FRAME.
- 9. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.M DETAIL 50 5.1.
- 10. PROVIDE 4" MIN. NO SMOKING SIGN AGE PER C.O.M NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
- 11. FIRE RISER ENCLOSURE.

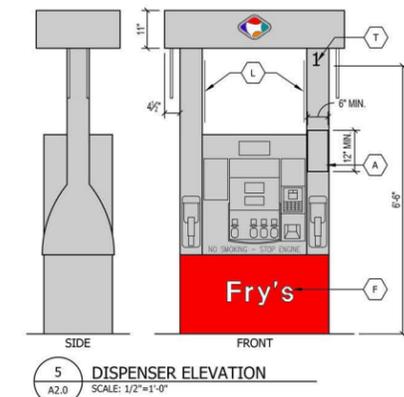
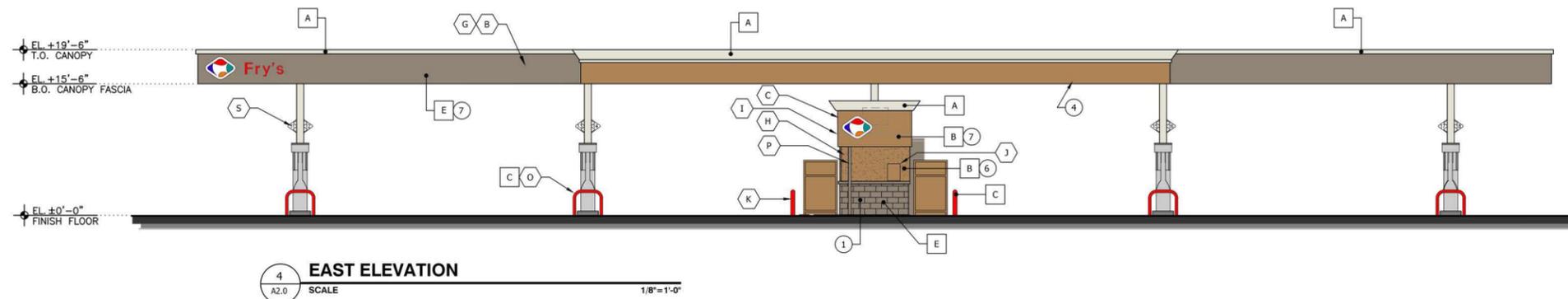
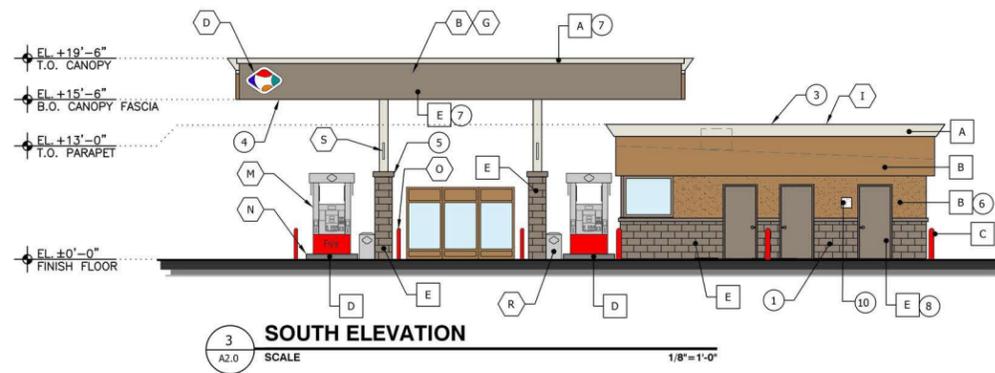
**FINISH LEGEND:**

- A MATCH SHERWIN WILLIAMS 7531
- B MATCH ANGELUS BLOCK PRECISION - SHORELINE
- C SHERWIN WILLIAMS 4081 "SAFETY RED"
- D SHERWIN WILLIAMS 4107 "GRAPHITE"
- E MATCH ANGELUS BLOCK PRECISION - COOL GREY



**EQUIPMENT SCHEDULE**

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" H X 6" W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	LOGO - NON-ILLUMINATED (28" H X 37 1/2" W)		DUALITE		OWNER	SIGN INSTALLER
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
F	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
G	CANOPY FASCIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
H	KIOSK - PREFABRICATED	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
I	KIOSK FASCIA	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
J	ELECTRICAL DISCONNECTS				GENERAL CONTRACTOR	GENERAL CONTRACTOR
K	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
L	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
M	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
N	ISLAND FORMS - G.C. TO PAINT	GRAPHITE SW4107	OPW		OWNER	GENERAL CONTRACTOR
O	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
P	3"x2" DOWNSPOUT - PAINT TO MATCH WALL		SAGEBRUSH		KIOSK FABRICATOR	KIOSK FABRICATOR
Q	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
R	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
S	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
T	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
U	FIRE EXTINGUISHER				OWNER	GENERAL CONTRACTOR





SHOPS | FRY'S

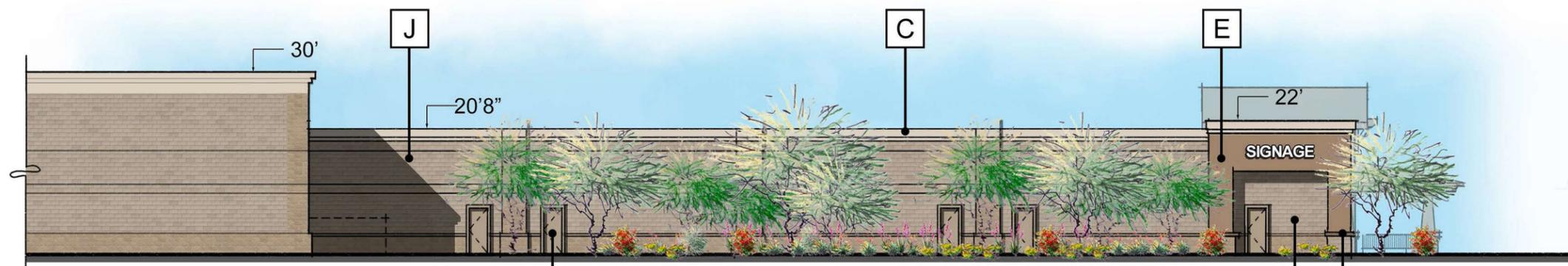
FRY'S EAST ELEVATION



SHOPS SOUTH ELEVATION

SHOPS EAST ELEVATION

FRY'S



SHOPS WEST ELEVATION

FRY'S

# MULBERRY *Marketplace*

N.W.C. Signal Butte & Guadalupe  
Mesa, Arizona

# Materials Palette

A PT1  
 SW 6000  
 SNOWFALL  
 BY SHERWIN WILLIAMS

G  
 HARDIE SHINGLE  
 OR EQUAL

SF1  
 CMU  
 ANGELUS BLOCK  
 SPLITFACE  
 HARVEST

RF2  
 STANDING  
 SEAM METAL  
 BERRIDGE  
 DARK BRONZE

B FC1  
 SW 0042  
 RUSKIN ROOM GREEN  
 BY SHERWIN WILLIAMS

H  
 STONE VENEER  
 CORONADO  
 CREEK ROCK  
 APACHE BROWN

DB1  
 CMU  
 ANGELUS BLOCK  
 PRECISION  
 SHORELINE

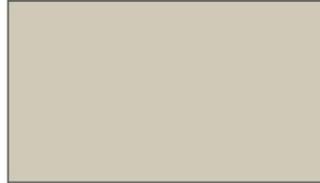
PM1  
 PREFINISHED  
 METAL  
 BERRIDGE  
 PARCHMENT

C EF1  
 SW 7531  
 CANVAS TAN  
 BY SHERWIN WILLIAMS

I  
 CMU BLOCK TYPE A  
 SUPERLITE  
 FOUNDER FINISH  
 COLOR-DESERT

DB2  
 CMU  
 ANGELUS BLOCK  
 PRECISION  
 COOL GREY

PM2  
 PREFINISHED  
 METAL  
 BERRIDGE  
 DARK BRONZE

D EF2  
 SW 7549  
 STUDIO TAUPE  
 BY SHERWIN WILLIAMS

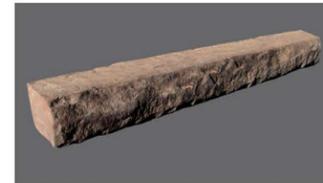
J  
 CMU BLOCK TYPE B  
 SUPERLITE  
 SMOOTH FACE  
 COLOR-BONE

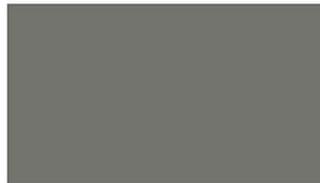
CB1  
 CAST BRICK  
 QUIK BRIK  
 AUTUMN BLEND

PM3  
 PREFINISHED  
 METAL  
 BERRIDGE  
 SIERRA TAN

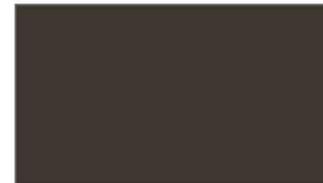
E EF3  
 SW 7522  
 MEADOWLARK  
 BY SHERWIN WILLIAMS

K  
 CMU BLOCK TYPE C  
 SUPERLITE  
 SPLITFACE  
 HARVEST BROWN

CS1  
 CAST STONE  
 CORONADO  
 BROWNSTOWN

F PT2  
 SW 7645  
 THUNDER GREY  
 BY SHERWIN WILLIAMS

L RF1  
 RAMADA CONCRETE  
 ROOF TILE  
 CORAL ROOFING  
 MONTEREY SHAKE 600  
 SILVER LAKE BLEND

AL1  
 ANODIZED  
 ALUMINUM  
 DARK BRONZE



- 8" x 2" x 16" SMOOTH FACE CMU CAP  
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU ACCENT BANDS  
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SPLITFACE CMU ACCENT BANDS  
COLOR: BONE (TYP)  
TEXTURE ON RESIDENTIAL SIDE  
FINISH BOTH SIDES
- 8" x 8" x 16" SMOOTH FACE CMU  
COLOR: BONE (TYP)
- FINISHED GRADE AT PROPERTY LINE  
(OR HIGH WATER LINE AT RETENTION)

**A** 8'-0" Wall  
SPLITFACE ON RESIDENTIAL SIDE

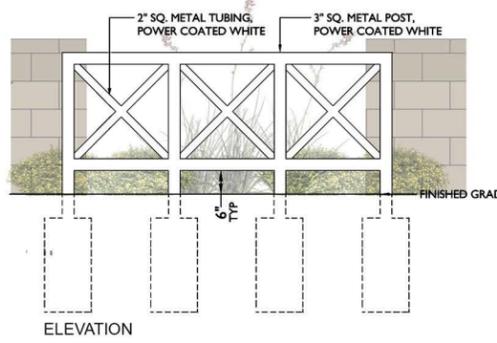


KEY PLAN

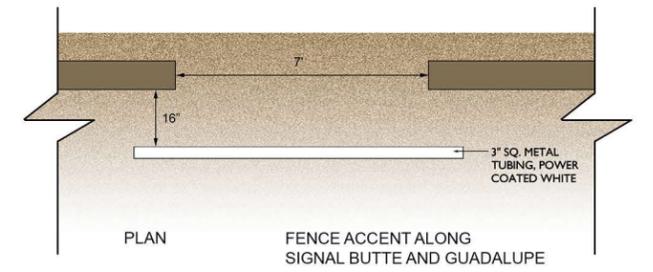


- 8" x 2" x 16" SMOOTH FACE CMU CAP  
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU ACCENT BANDS  
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SPLITFACE CMU ACCENT BANDS  
COLOR: BONE (TYP)  
TEXTURE ON RESIDENTIAL SIDE  
FINISH BOTH SIDES
- 8" x 8" x 16" SMOOTH FACE CMU  
COLOR: BONE (TYP)
- FINISHED GRADE AT PROPERTY LINE  
(OR HIGH WATER LINE AT RETENTION)

**B** 6'-0" Wall  
SPLITFACE ON RESIDENTIAL SIDE



**D** SCREEN WALL / PATIO RAILING

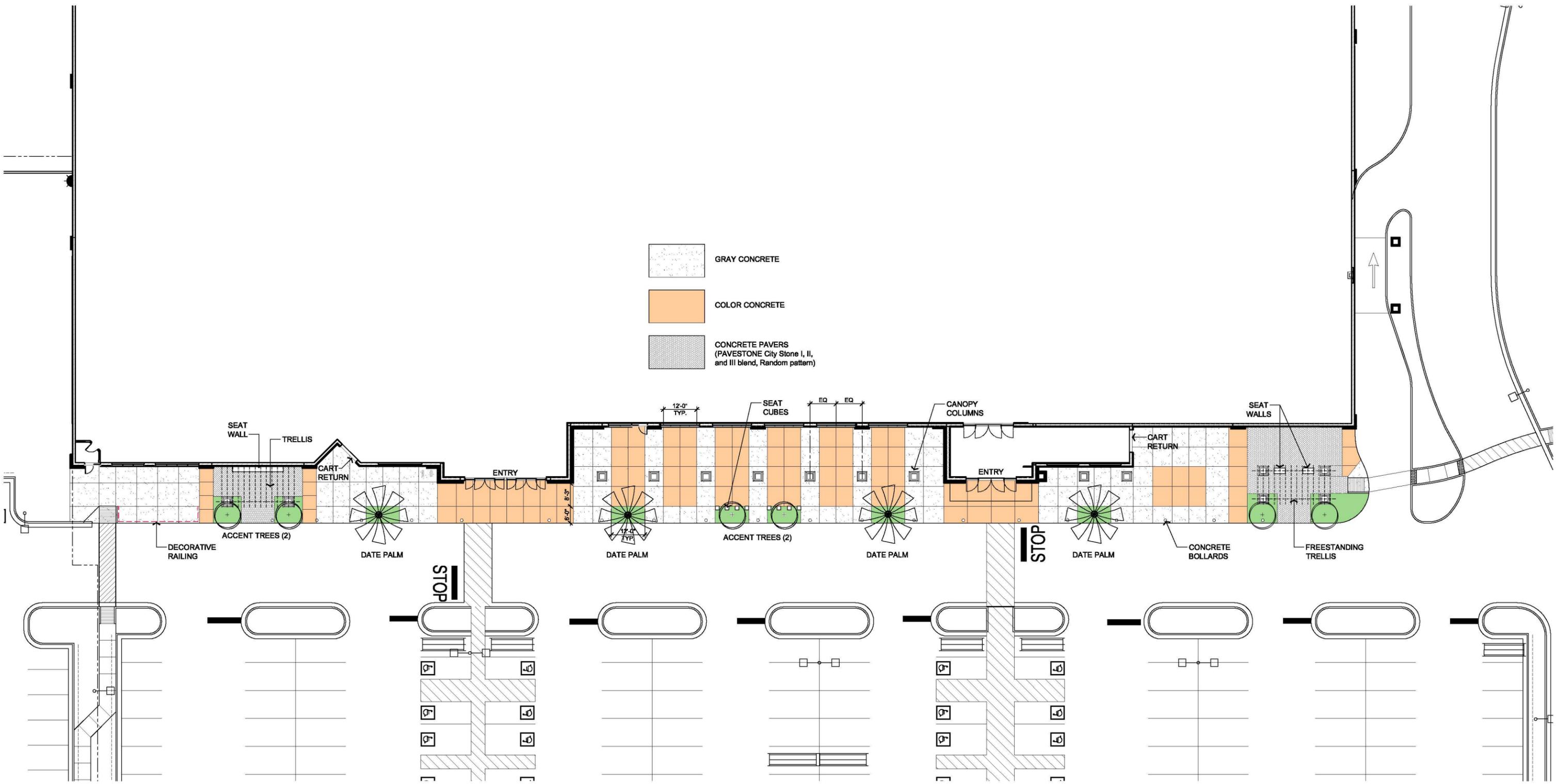


PLAN  
FENCE ACCENT ALONG  
SIGNAL BUTTE AND GUADALUPE



- 8" x 2" x 16" SMOOTH FACE CMU CAP  
COLOR: COCOA BROWN (TYP)
- 8" x 4" x 16" SMOOTH FACE CMU ACCENT BANDS  
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU  
COLOR: BONE (TYP)  
FINISH BOTH SIDES
- FINISHED GRADE AT PROPERTY LINE  
(OR ABOVE ADJACENT PARKING ELEV)

**C** 42" Wall  
36" Parking Screen Walls Sim



-  GRAY CONCRETE
-  COLOR CONCRETE
-  CONCRETE PAVERS  
(PAVESTONE City Stone I, II, and III blend, Random pattern)

**HARDSCAPE PLAN**  
1/16" = 1'-0"

09-09-14  
13155-Site-hardscape

# MULBERRY *Marketplace*

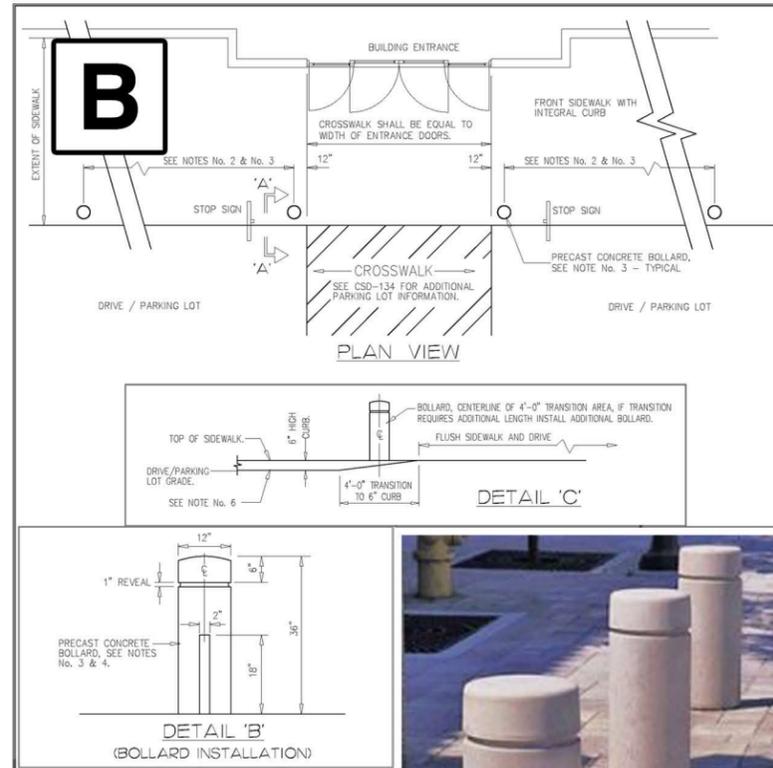
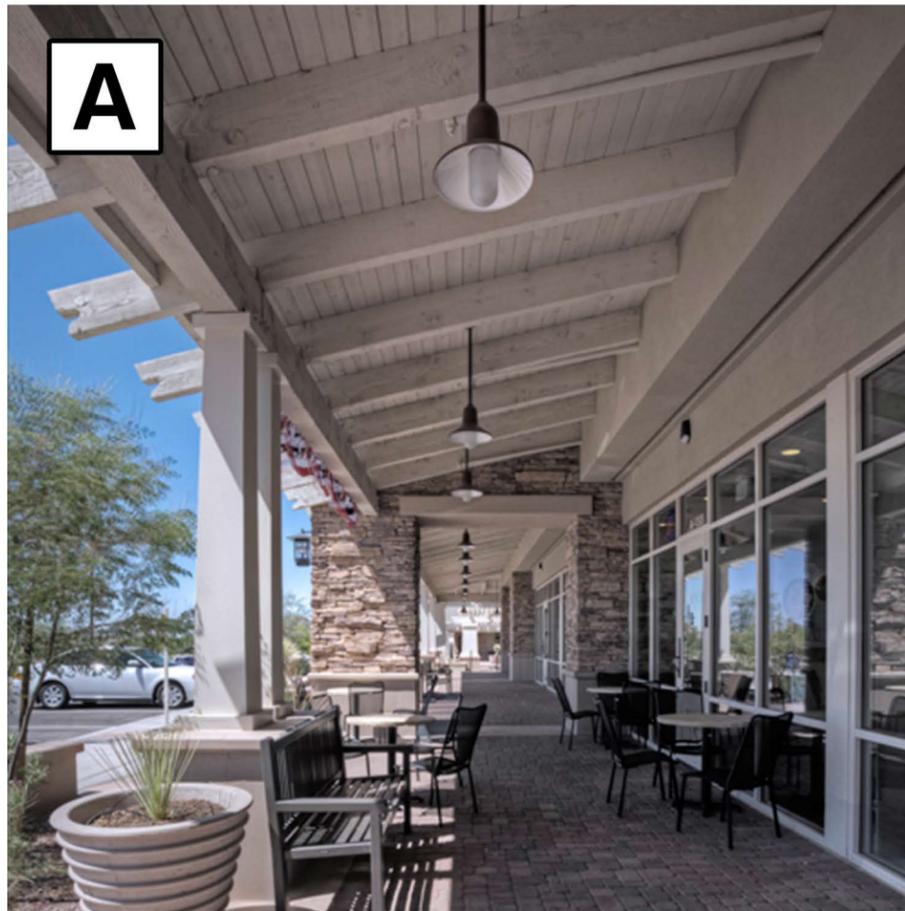
N.W.C. Signal Butte & Guadalupe Road  
Mesa, Arizona

# Major Tenant Architectural Details



MULBERRY STEEL FENCE  
DETAIL (PATIO HANDRAIL)

## EAST ELEVATION



# Trellis Character



# MULBERRY

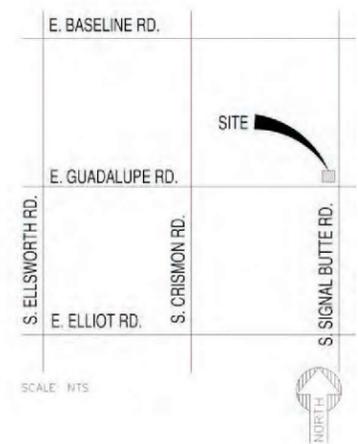
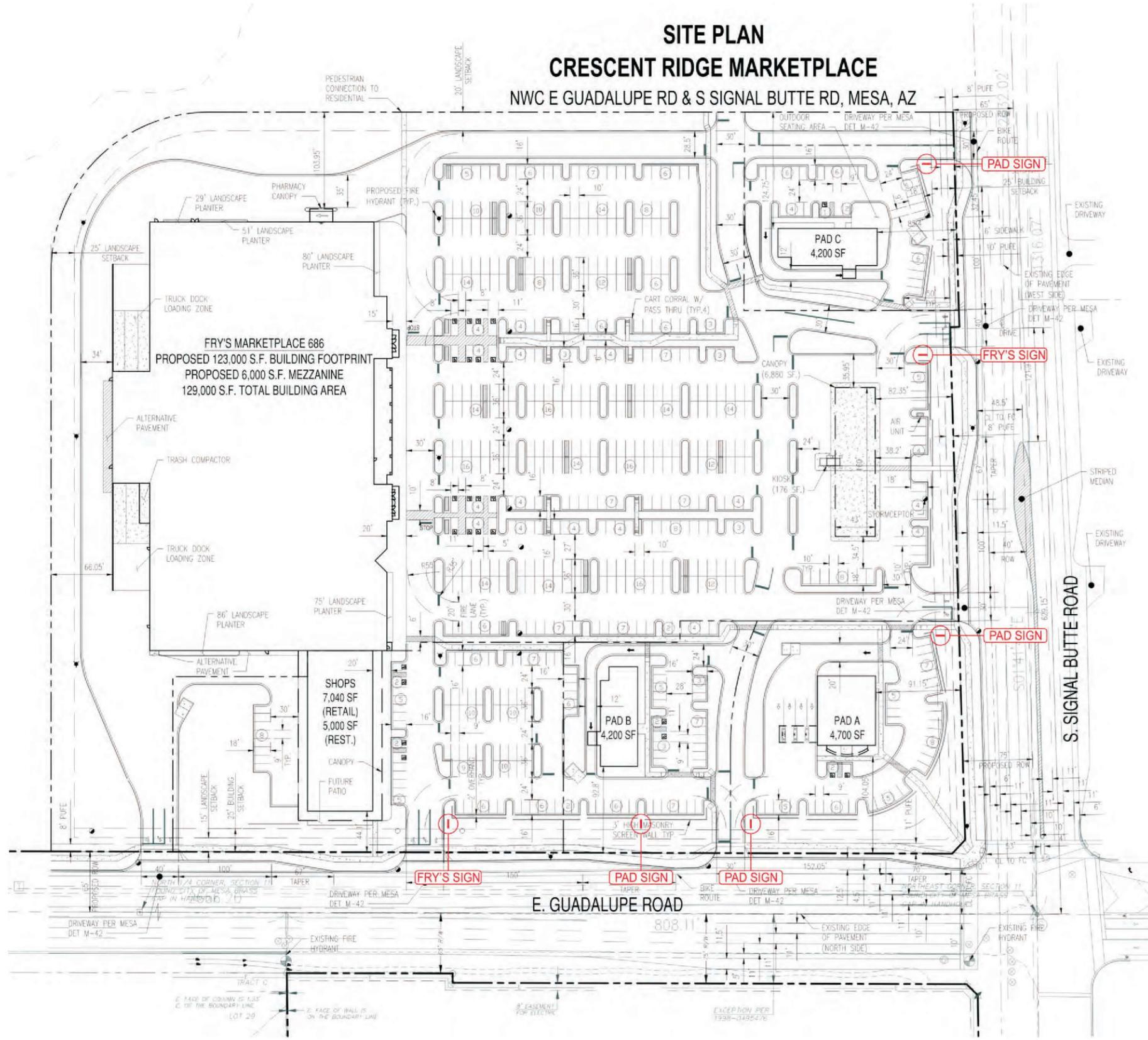
*Marketplace*



**Site Signage Design**

# SITE PLAN CRESCENT RIDGE MARKETPLACE

NWC E GUADALUPE RD & S SIGNAL BUTTE RD, MESA, AZ



**BOOTZ & DUKE Signs**  
 4028 W. Whitton Ave. - Phoenix, AZ - 85019  
 P: (602) 272-9356 F: (602) 272-4608  
 www.bootzandduke.com

<b>Customer:</b> Fry's #686	<b>Design #</b> K-2161-14
<b>Address:</b> Guadalupe Rd. & Signal Butte Rd. - Mesa, AZ	<b>Date:</b> June 24, 2014
<b>Salesman:</b> Andy Gibson	<b>Revision:</b> [0]- Date
<b>Designer:</b> Kenney Welker	<b>Page:</b> 1 of 1

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**NOTE: ALL SIGNS MANUFACTURED BY BOOTZ AND DUKE SIGNS ARE 120 VOLT ANY OTHER VOLTAGE REQUIREMENTS MUST BE IN WRITING.**

**SCOPE OF WORK:**

SCALE: 3/8" = 1'-0"

MANUFACTURE AND INSTALL TWO(2) INTERNALLY ILLUMINATED MONUMENT SIGN

**CONSTRUCTION:**

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
- 3/16" WHITE ACRYLIC WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL TO BACK UP ROUTED PANELS
- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

**ILLUMINATION:**

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY
- DAKTRONICS FUELITE DISPLAYS FL-3000-16-R/G-DI

**INSTALLATION:**

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE	
FRY'S	31.78
FUEL	21.66
TENANT PANELS	25.00
<b>TOTAL</b>	<b>78.44</b>

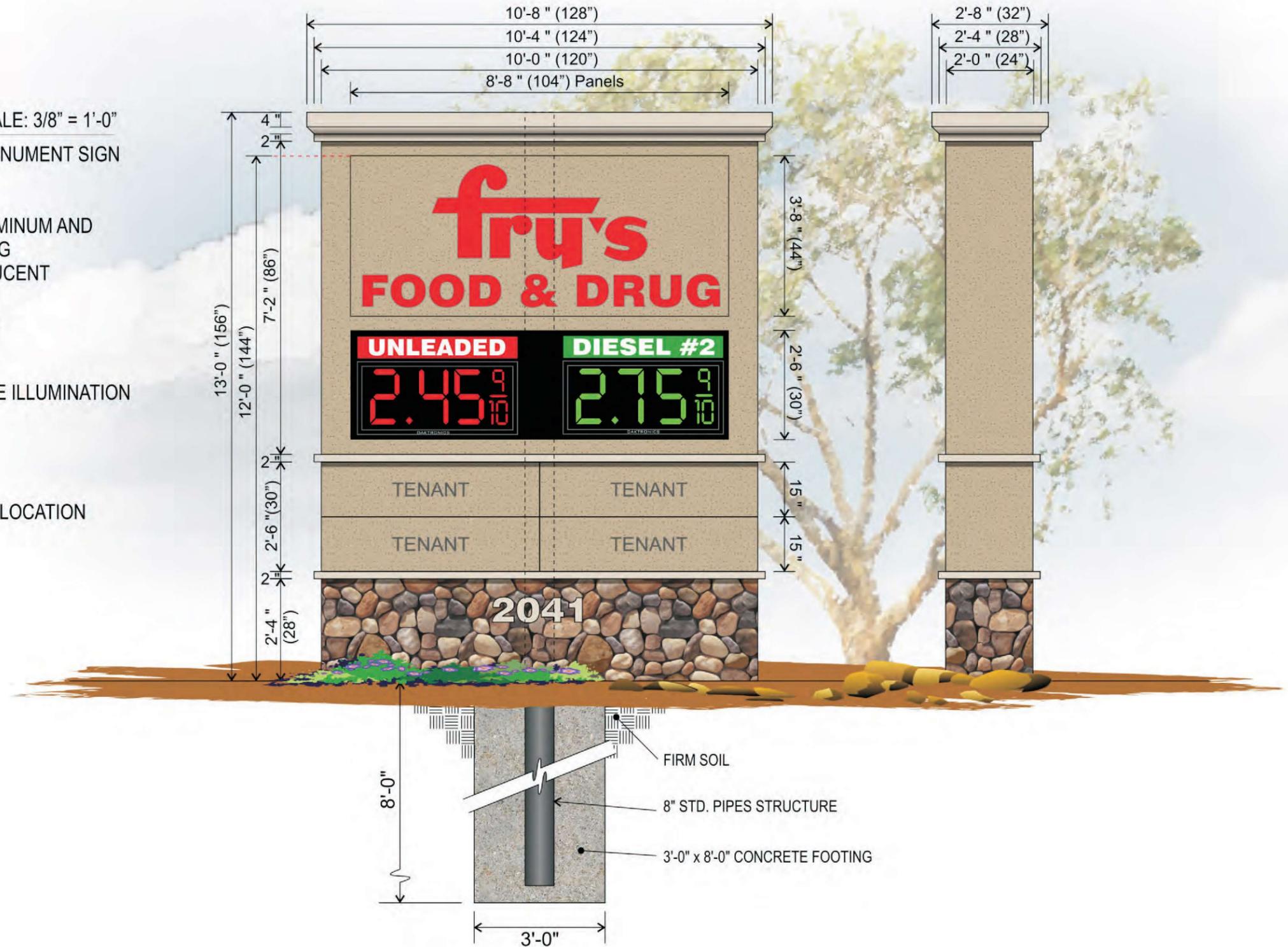
**All Signs Shall Be Installed In Accordance With N.E.C. Article 600**

**Engineering Specifications**

All Signs Fabricated as per A.S.A. Specifications & 2012 I.B.C.

**Electrical Specifications**

All Signs Fabricated as per 2011 N.E.C. Specifications




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**NOTE: ALL SIGNS MANUFACTURED BY BOOTZ AND DUKE SIGNS ARE 120 VOLT ANY OTHER VOLTAGE REQUIREMENTS MUST BE IN WRITING.**

SCOPE OF WORK:

SCALE: 3/8" = 1'-0"

MANUFACTURE AND INSTALL FOUR(4) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
- 3/16" WHITE ACRYLIC WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL TO BACK UP ROUTED PANELS
- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE  
TENANT PANELS 34.67

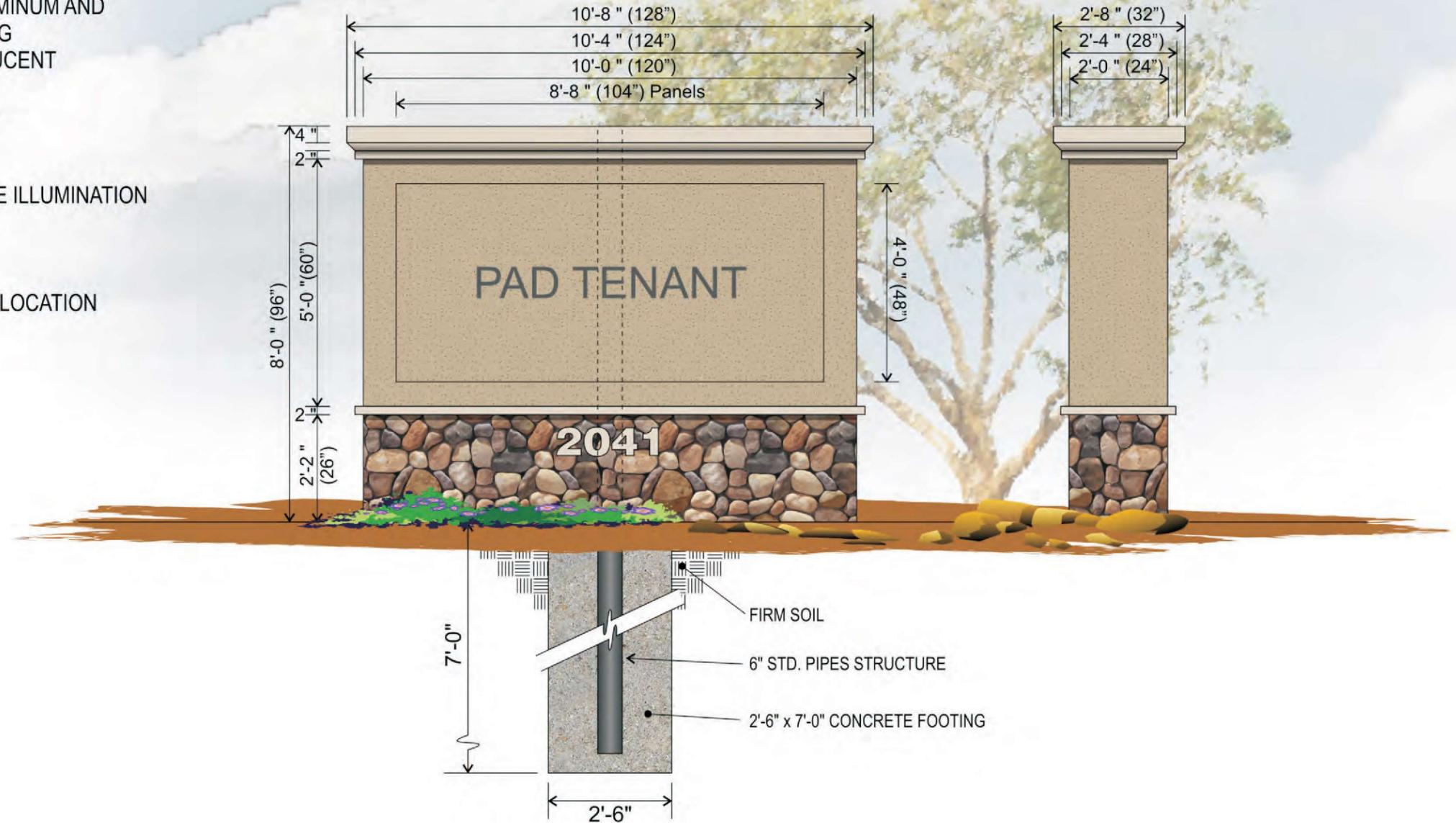
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**Engineering Specifications**

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**Page:** 1 of 1

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## PAD B OPTION

SCALE: 3/8" = 1'-0"

### SCOPE OF WORK:

MANUFACTURE AND INSTALL FOUR(4) INTERNALLY ILLUMINATED MONUMENT SIGN

### CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
- 3/16" WHITE ACRYLIC WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL TO BACK UP ROUTED PANELS
- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

### ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY

### INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE  
TENANT PANELS 34.67

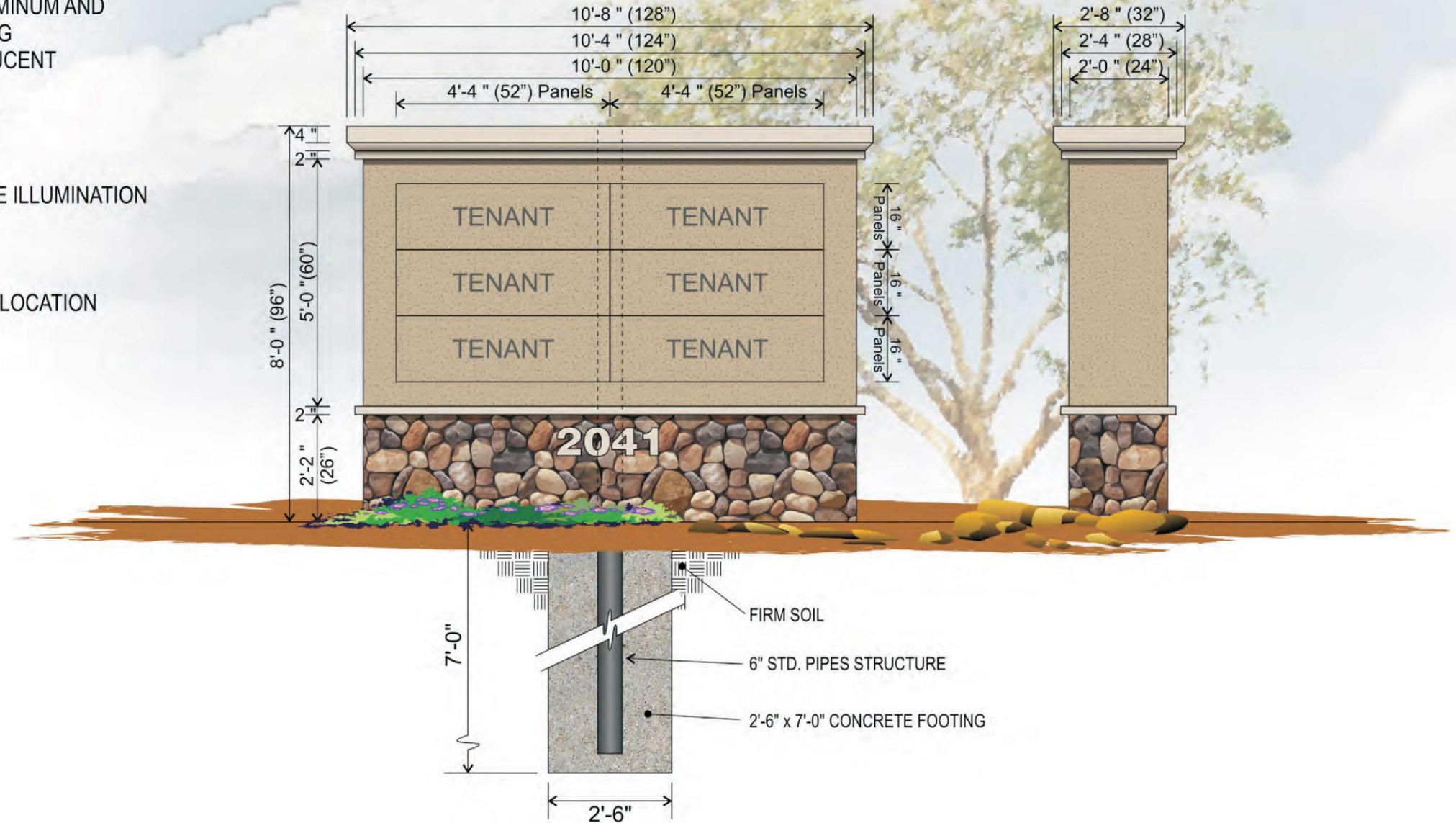
**All Signs Shall Be Installed In Accordance With N.E.C. Article 600**

#### Engineering Specifications

All Signs Fabricated as per  
A.S.A. Specifications & 2012 I.B.C.

#### Electrical Specifications

All Signs Fabricated as per  
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