

41, 45, and 47 West Main Street Façade Remodel Changes Project Narrative

Overview

The façade remodels included in this submittal are part of the larger City of Mesa project to revitalize the downtown streetscape by restoring the historic character of individual properties and by providing enhancements that improve the urban vitality and pedestrian-oriented features. In the first round, seven properties' facades were remodeled and the facades included in this request were previously approved in 2017.



Existing front elevation of 41, 45, and 47 West Main Street with existing colonnade



Elevations Previously Approved in 2017

Unfortunately, the City was not able to build all the approved façades. The bids that were received were severely over budget and the designs had to be revised. The façades for the three building have been revised to provide a more historically appropriate and modest front façade which will still provide the facelift that these buildings severely need. The existing colonnade that spans the three buildings will be removed. In addition, to help refresh the façade, the existing cornice currently located below the parapet will be cleaned up and repainted and the existing brick will be power washed, and the mortar will be repointed as needed.



Proposed Elevations

41 West Main Street

DRB17-00114

The existing colonnade will be removed and replaced with a new metal canopy, storefront door and taller window system. The new canopy will be self-supported, is made of 12" wide steel beams and metal deck supported by metal columns. The canopy and columns will be painted black to give it a more modern aesthetic and will provide significant shade over the pedestrian walkway. New exterior light fixtures will also be provided under the new canopy. The new canopy will have a clear height of 10'-5" which will provide increased visibility into the storefront and will provide an updated, refreshed, and attractive façade.

45 West Main Street

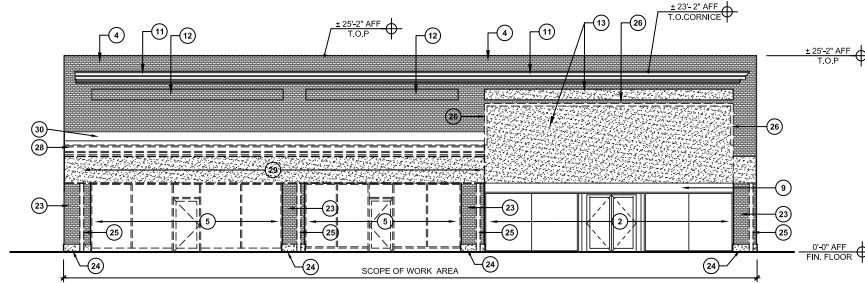
DRB17-00115 Linton-Milano Pianos

The existing colonnade will be removed and replaced with a new storefront door and window system. A 4' deep awning will be provided. The existing storefront is damaged to the point that the door does not close. The new storefront window and door system will be taller to allow more visibility into the store.

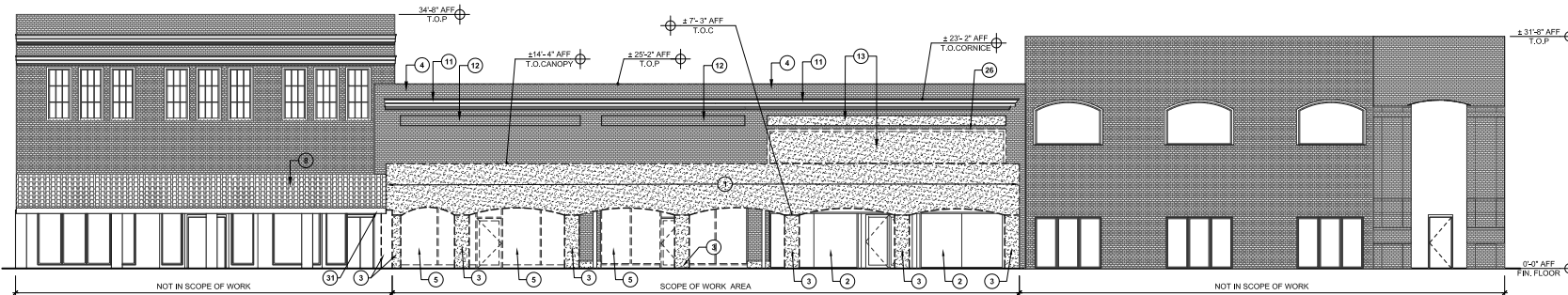
47 West Main Street LeStudio

DRB17-00116

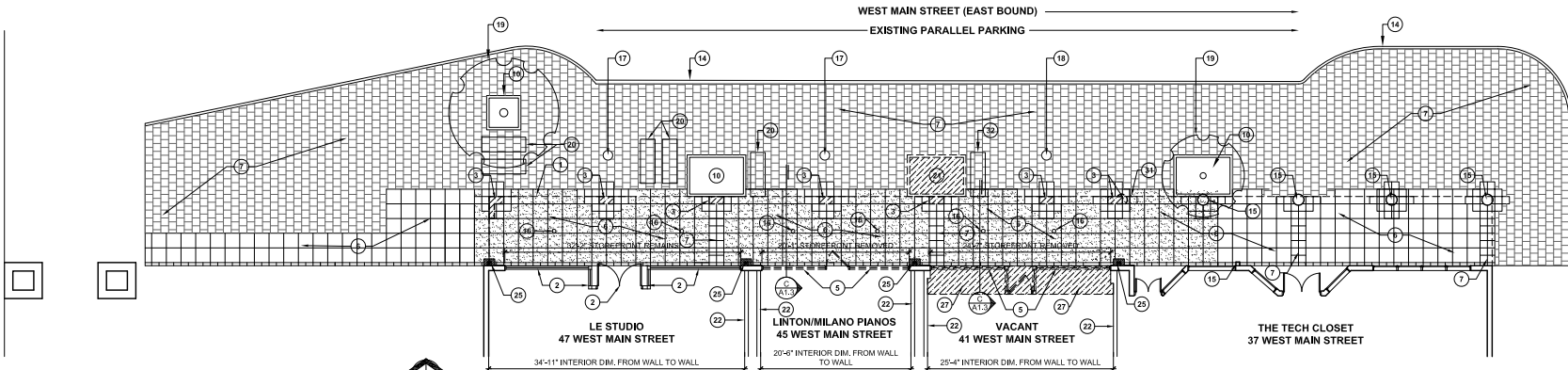
Remove existing steel columns adjacent to the building and remove the existing colonnade projecting into the right-of-way. The light fixtures mounted under the existing colonnade will also be removed and replaced. The existing 32'-2" storefront will remain. There will be 48" x 96" 9MM thick polished tiles added to the area above the three new canopies that will be installed over the front façade.



1 EXISTING / DEMOLITION NORTH ELEVATION - STOREFRONT SCOPE OF WORK AREA
SCALE: 1/8" = 1'-0"



2 EXISTING / DEMOLITION NORTH ELEVATION - ARCADE FACADE
SCALE: 1/8" = 1'-0"



1 EXISTING/DEMOLITION SITE/FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXISTING / DEMOLITION KEYNOTES

- 1 EXISTING CANOPY STRUCTURE & FACADE TO BE REMOVED
- 2 EXISTING STOREFRONT SYSTEM REMAINS
- 3 EXISTING CANOPY COLUMN TO BE REMOVED
- 4 EXISTING BRICK FACADE. REMOVE ALL EXISTING NON USED CONDUITS, CLAMPS, WALS, ANCHORS AND OTHER SIMILAR DEVICES
- 5 EXISTING STOREFRONT DOOR & WINDOW SYSTEM TO BE REMOVED
- 6 EXISTING CONCRETE SIDEWALK REMAINS
- 7 EXISTING DECORATIVE PAVERS REMAIN
- 8 EXISTING TILE ROOF TO REMAIN
- 9 EXISTING ROLLING SERVICE DOOR REMAINS
- 10 EXISTING PLANTER REMAINS
- 11 EXISTING CORNICE REMAINS
- 12 EXISTING RECESSED BRICK DETAIL
- 13 EXISTING PAINTED BRICK
- 14 EXISTING FACE OF CURB
- 15 EXISTING COLUMN REMAINS
- 16 EXISTING LIGHT FIXTURE ABOVE TO BE REMOVED
- 17 EXISTING LIGHT POLE FIXTURE TO BE REMAIN
- 18 EXISTING LIGHT POLE FIXTURE TO BE REMOVED & SALVAGE TO CITY OF MESA. PROVIDE CONCRETE VAULT AND COVER FLUSH WITH PAVEMENT TO RE-CONNECT CIRCUITS. FIELD-VERIFY EXISTING CONDITIONS.
- 19 EXISTING TREE REMAINS
- 20 EXISTING STREET BENCHES REMAIN
- 21 EXISTING PLANTER TO BE REMOVED AND REPLACED WITH DECORATIVE PAVERS TO MATCH EXISTING
- 22 EXISTING DEMISING WALL (PARTY WALL) REMAINS
- 23 POWERWASH BRICK; REMOVE PAINT
- 24 EXISTING CEMENT PLASTER HANSSCOT TO REMAIN
- 25 REMOVE EXISTING TUBE STEEL COLUMN (AT THESE LOCATIONS. SAWCUT AND REMOVE EXISTING PAVEMENT AROUND COLUMN AND REPLACE WITH NEW CONCRETE PAVEMENT TO MATCH TYPICAL)
- 26 REMOVE EXISTING CEMENT PLASTER POP OUT/TRM.
- 27 SAW CUT AND REMOVE EXISTING CONCRETE SLAB TO TRANSITION TO EXTERIOR GRADE. SEE CONSTRUCTION PLAN.
- 28 REMOVE EXISTING ROOF FLASHING
- 29 REMOVE EXISTING FRAME WALL AND FINISH
- 30 EXISTING STEEL BRICK LEDGER / LINTEL TO REMAIN
- 31 SHORE EXISTING CANOPY. STRUCTURE TO REMAIN. SEE CONSTRUCTION PLANS
- EXISTING STREET BENCHES TO BE REMOVED

GENERAL DEMOLITION NOTES

1. SALVAGE ALL EXISTING CONCRETE PAVERS FOR REUSE IN THE PROJECT. EXCESS PAVERS TO BE RETURNED TO CITY OF MESA.
2. PROTECT EXISTING PAVEMENT AREAS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OPERATIONS. ALL DAMAGED MATERIALS SHALL BE REPLACED IN-KIND.
3. ALL DEMOLITION AREAS MAY NOT BE SHOWN. SEE CONSTRUCTION PLANS PRIOR TO DEMOLITION ACTIVITIES AND COORDINATE REQUIREMENTS.
4. PROVIDE ALL TEMPORARY SHORING AND WEATHER PROTECTION WALLS AS REQUIRED TO MAINTAIN EXISTING STRUCTURE INTEGRITY AND PROTECT INTERIOR OCCUPIED SPACES.
5. MAINTAIN ALL EXITS TO EXISTING OCCUPIED SPACES. IF PROTECTION WALLS INTERRUPT EXITS, PROVIDE DOORS AND HARDWARE IN PROTECTION WALLS AS REQUIRED.

DATE PRINTED: \$0.00 \$FILES \$DATES



JOB NO. 1721



CITY OF MESA
ENGINEERING DEPARTMENT
DOWNTOWN FACADE IMPROVEMENTS
41, 45, 47 WEST MAIN STREET
MESA, AZ 85201

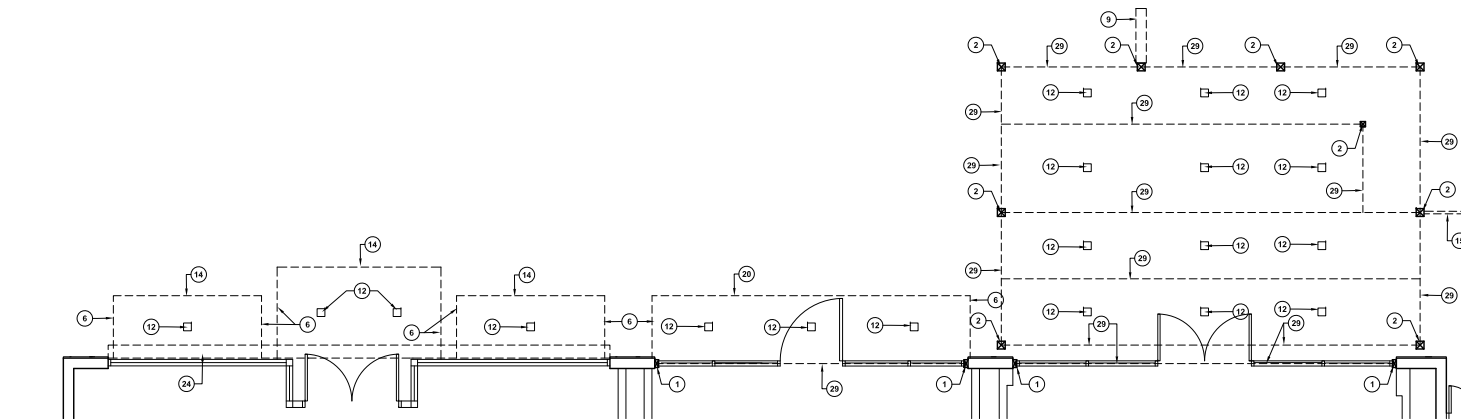
EXISTING/DEMOLITION
PLANS & ELEVATIONS

DRAWING NO.
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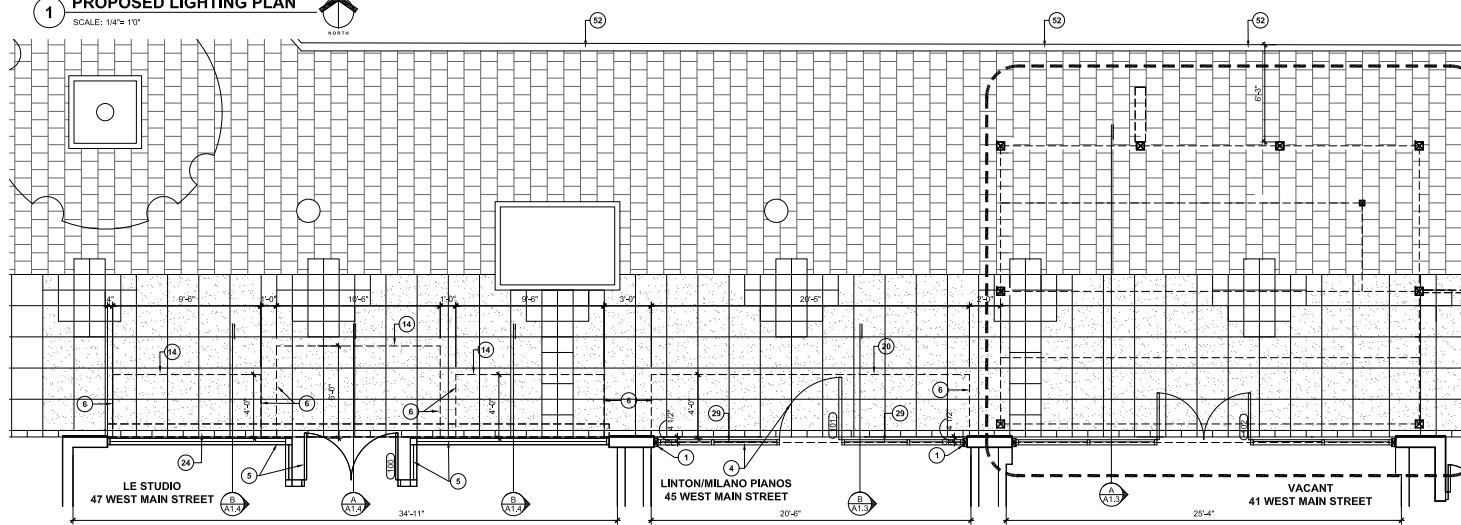
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2 OF 14

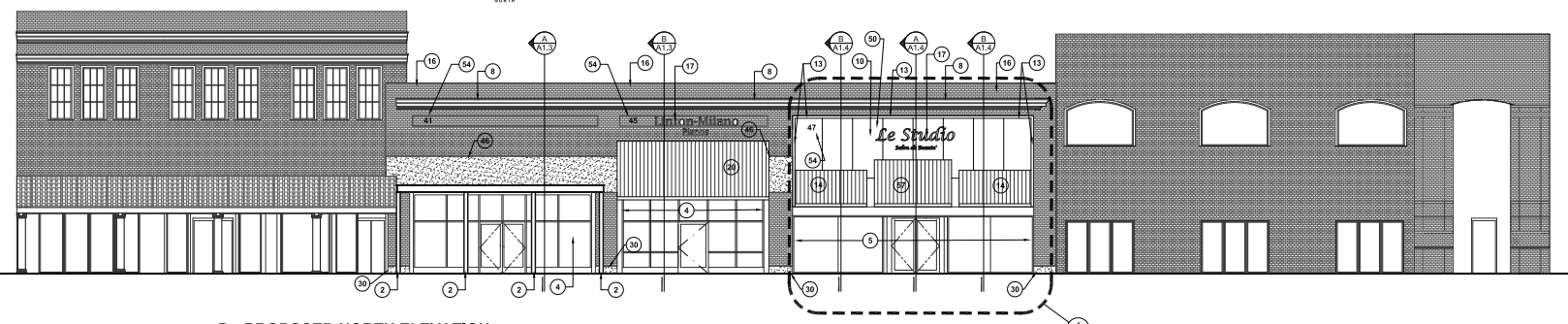
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1 PROPOSED LIGHTING PLAN
SCALE: 1/4" = 1'



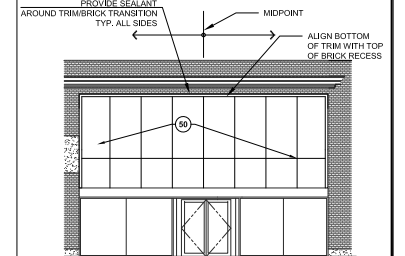
2 PROPOSED SITE/FLOOR PLAN
SCALE: 1/4" = 1'



3 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'

- CONSTRUCTION KEYNOTES** (SOME KEYNOTES MAY NOT APPLY)
- 1 NEW STEEL COLUMN: PAINT DARK ANODIZED: SEE STRUCT. DWGS.
 - 2 NEW STEEL COLUMN: EXPOSED DO NOT PAINT, SEE STRUCT. DWGS.
 - 3 NEW STOREFRONT DOOR AND WINDOW SYSTEM
 - 4 EXISTING STOREFRONT REMAINS
 - 5 ENCLOSE AWNING END WITH METAL PANEL SYSTEM, PROVIDE ALL TRIM & ACCESSORIES, PANEL TO MATCH CANOPY PROFILE
 - 6 CLEAN AND PREPARE EXISTING CORNICE FOR NEW PAINT; COLOR AS SELECTED BY OWNER.
 - 7 NEW MARQUEE SIGN LOCATION - NOT IN CONTRACT, REQUIRES SEPARATE PERMIT & APPROVAL
 - 8 CEMENT PLASTER SCRATCH COAT OVER EXISTING BRICK TO PREPARE SURFACE TO ACCEPT NEW WALL TILE.
 - 9 NEW LIGHT FIXTURE, SEE ELECTRICAL DWGS.
 - 10 NEW FOAM POP OUT TRIM WITH SMOOTH CEMENT PLASTER FINISH, MATCH EXISTING WIDTH X 2" THICK, PROVIDE COMPLETE SURROUND AT NEW TILE APPLICATION, PAINT TRIM: COLOR SELECTED BY OWNER.
 - 11 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC. DUTCH STANDING SEAM COLOR: GRAY
 - 12 EXISTING WOOD BEAM REMAINS
 - 13 EXISTING EXTERIOR BRICK WALL: POWER WASH (2800 PSI MAX), RE-POINT MORTAR AS NEEDED
 - 14 NON-ILLUMINATED SIGN, NOT IN CONTRACT - REQUIRES SEPARATE PERMIT & APPROVAL. PAINT OVER EIFS TRIM - MANUF: DUNN EDWARDS; DE5069 BANISTER BROWN
 - 15 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC. DUTCH STANDING SEAM COLOR: BLACK
 - 16 EXISTING CONCRETE BEAM AND STEEL BRICK LEDGER
 - 17 EXISTING WOOD FRAME CONSTRUCTION
 - 18 EXISTING WALL ASSEMBLY TO REMAIN
 - 19 EXISTING ROLLING SERVICE DOOR
 - 20 NEW COLUMN BEYOND: SEE STRUCT. DWGS.
 - 21 NEW STEEL ANGLE BRACE AT 24" O.C. ANCHORED TO WALL, PAINT FLAT BLACK
 - 22 EXISTING CONCRETE SLAB
 - 23 NEW BEAM ABOVE, SEE STRUCT. DWGS.
 - 24 RE-PLASTER WAINSCOT AND PAINT TYP.
 - 25 2"x2" T.S. VERTICAL POST @ GUARDRAIL TYP.
 - 26 NEW WIDE-FLANGE STEEL BEAM TYP., SEE STRUCT. DRAWINGS
 - 27 NEW METAL DECK
 - 28 REMOVE 2X WOOD INFILL WALL
 - 29 REMOVE WOOD BEAM
 - 30 REMOVE STOREFRONT SYSTEM
 - 31 NEW EIFS PAINT TO MATCH MANUF: DUNN EDWARDS; DE5263 SONORA SHADE (3-COAT CEMENT PLASTER FINISH ACCEPTABLE ALTERNATIVE) SMOOTH FINISH
 - 32 NEW 5/8" GYPSUM BD., PAINT
 - 33 NEW WOOD STUD WALL INFILL, SEE STRUCTURAL DWGS.
 - 34 NEW GULAN WOOD BEAM, SEE STRUCTURAL DWGS.
 - 35 NEW LARGE FORMAT TILE: ANIMA CALACATTA ORO 48" X 95" 9MM THICK POLISHED 4" GROUT JOINT, INSTALL IN ACCORDANCE WITH TCNA W201, CONTACT HEATHER AT KÄRBER TILE 4803221180 heather@karserllc.net
 - 36 NEW CONCRETE FOOTING, PER STRUCTURAL DWGS.
 - 37 LINE INDICATES FACE OF CURB
 - 38 ADDRESS NUMBER, MINIMUM 12" HIGH WITH 2" STROKE ON CONTRASTING BACKGROUND, PER SECTION FPD 605.1 & FPC 605.1
 - 39 SAW CUT AND REMOVE EXISTING CONCRETE SLAB AT SUITE 41 ONLY TO PROVIDE TRANSITION TO EXISTING EXTERIOR CONCRETE SLAB
 - 40 NEW 4" THICK CONCRETE SLAB SLOPED AT 2% FROM EXISTING EXTERIOR SLAB GRADE TO EXISTING FINISH FLOOR ELEVATION
 - 41 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC. DUTCH STANDING SEAM COLOR: ANODIZED BRONZE

- GENERAL FLOOR PLAN NOTES**
1. PAVEMENT REPLACEMENT REQUIRED BY DEMOLITION AND CONSTRUCTION ACTIVITIES MAY NOT BE SHOWN. CONTRACTOR TO VERIFY LOCATIONS AND QUANTITIES.
 2. ALL PAVEMENT MATERIALS SHALL BE REPLACED WITH LIKE MATERIALS AND FINISHES. CONCRETE PAVERS MAY BE RE-USED FROM SALVAGE STOCK. CONCRETE REPLACEMENT SHALL BE NEW MEETING MAG STANDARDS AS REQUIRED BY CITY OF MESA.



4 WALL TILE ELEVATION
SCALE: 1/8" = 1'

	<p>CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201</p>		<p>ADAPTIVE ARCHITECTS 1001 S. Greenway Suite 225 Mesa, AZ 85204 480.647.6323 www.adaptivearchitects.com</p>
	<p>NEW CONSTRUCTION PLANS AND ELEVATIONS</p>		
<p>ACTIVITY: PRJ. NO.:</p>	<p>3 SHEET OF 14</p>	<p>CATALOG NUMBER: A-195581</p>	

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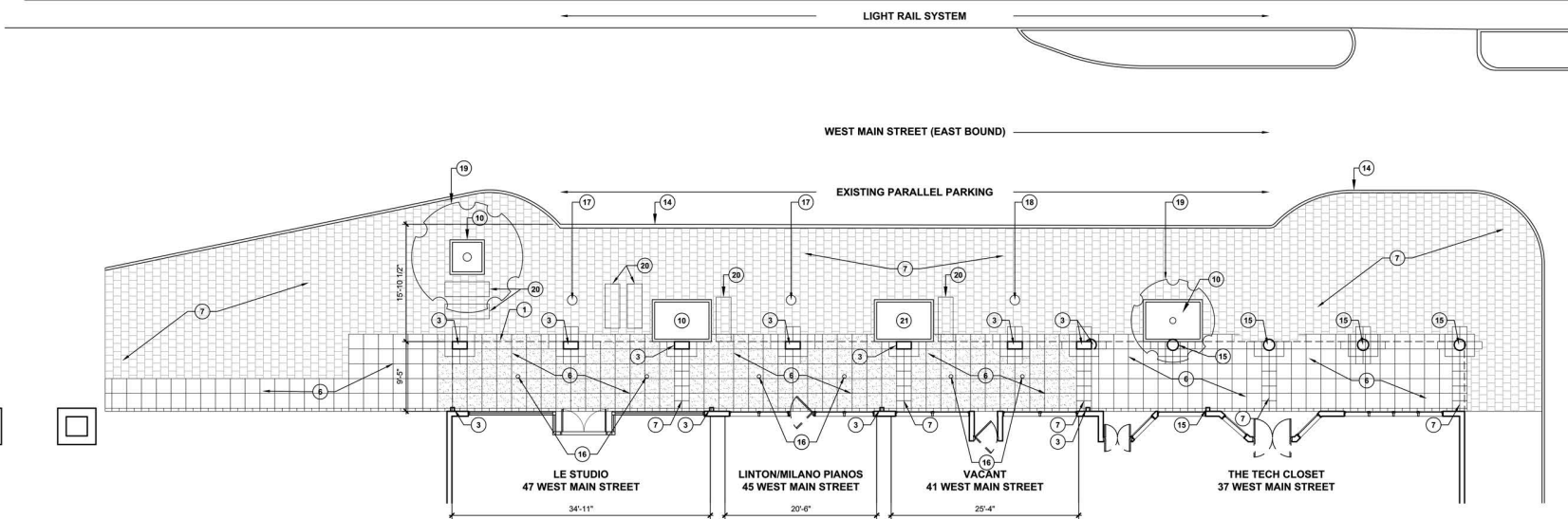
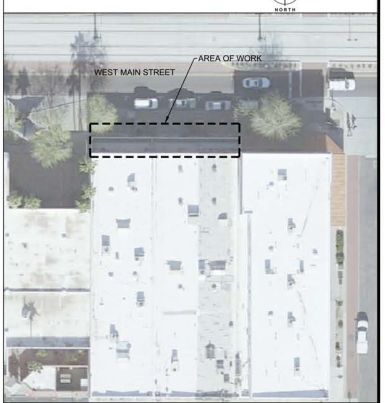
HISTORICAL PHOTOS

EXISTING PHOTOS

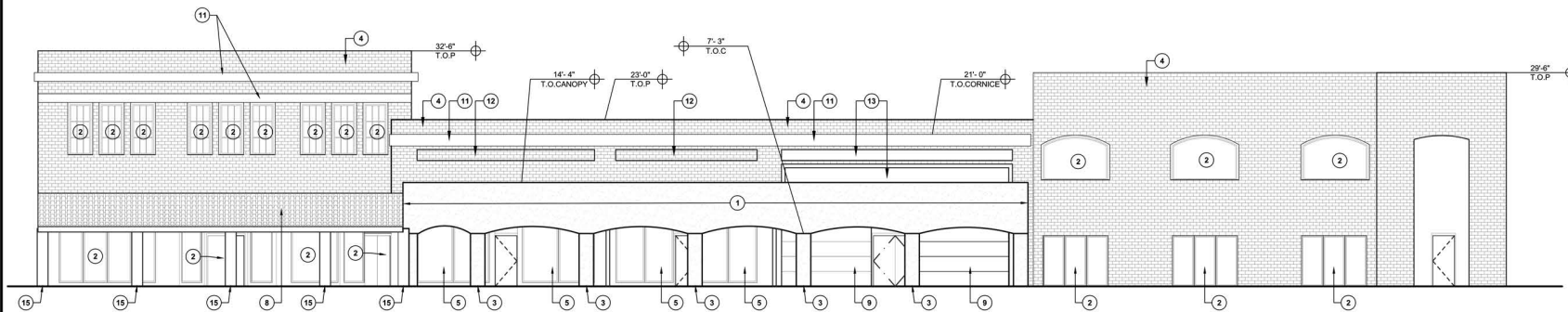
EXISTING CONDITIONS KEYNOTES

- ① EXISTING CANOPY STRUCTURE TO BE REMOVED
- ② EXISTING WINDOW SYSTEM
- ③ EXISTING CANOPY COLUMN TO BE REMOVED
- ④ EXISTING BRICK FACADE
- ⑤ EXISTING DOORSTOREFRONT SYSTEM TO BE REMOVED
- ⑥ EXISTING CONC. SIDEWALK
- ⑦ EXISTING PAVERSTONE PAVEMENT
- ⑧ EXISTING TILE ROOF
- ⑨ EXISTING ROLLING SERVICE DOOR
- ⑩ EXISTING PLANTER
- ⑪ EXISTING CORNICE
- ⑫ EXISTING RECESSED BRICK DETAIL
- ⑬ EXISTING PAINTED BRICK
- ⑭ EXISTING FACE OF CURB
- ⑮ EXISTING COLUMN
- ⑯ EXISTING LIGHT FIXTURE ABOVE TO BE REMOVED
- ⑰ EXISTING LIGHT FIXTURE TO BE REMAIN
- ⑱ EXISTING LIGHT POLE FIXTURE TO BE REMOVED
- ⑲ EXISTING TREES
- ⑳ EXISTING STREET BENCHES
- ㉑ EXISTING PLANTER TO BE REMOVED AND FILLED

VICINITY MAP



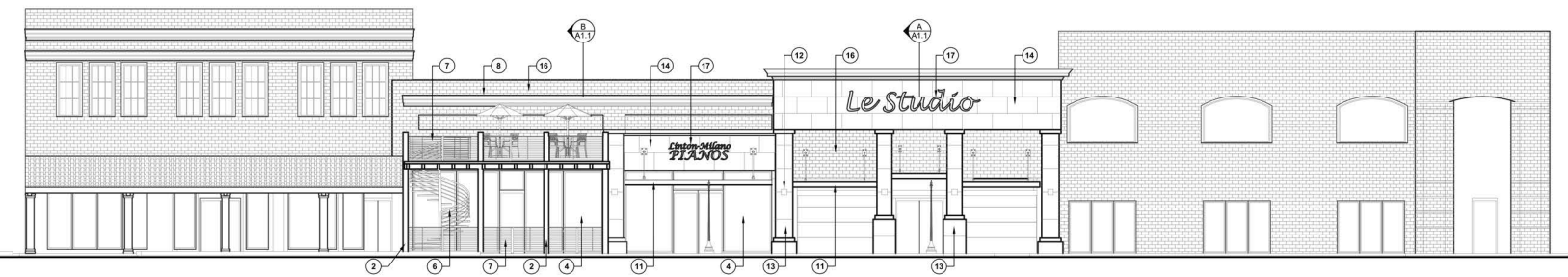
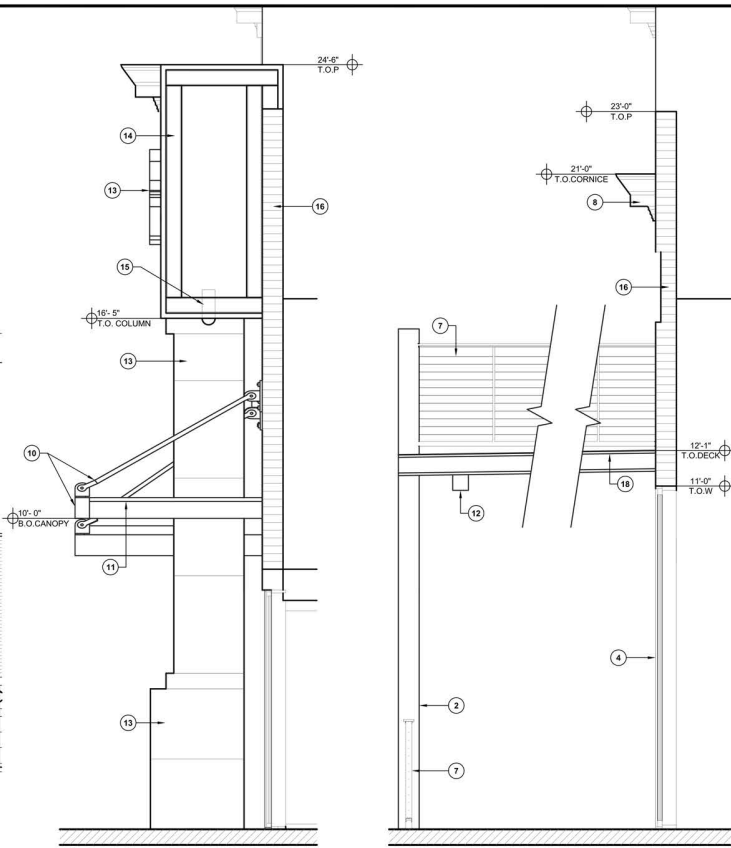
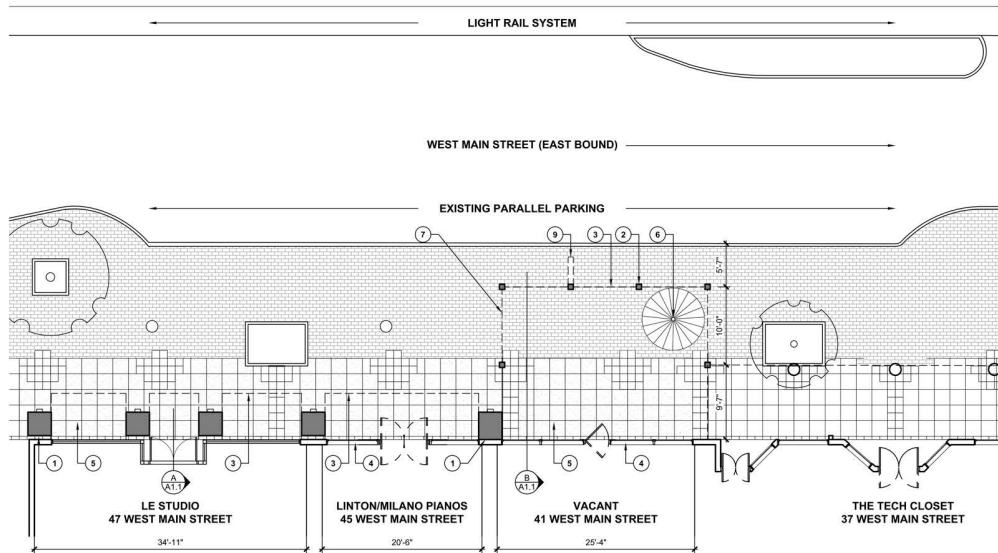
1 EXISTING SITE/FLOOR PLAN
SCALE: 1/8" = 1'0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'0"

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<p>ARIZONA ARCHITECTS 400 S. Main Street Phoenix, AZ 85004 480.515.0513 www.adaptivearchitects.com</p>	<p>JOB NO. 1721</p> <p>adaptive ARCHITECTS 400 S. Main Street Phoenix, AZ 85004 480.515.0513 www.adaptivearchitects.com</p>	<p style="text-align: center;">CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201</p>
	<p style="text-align: center;">EXISTING ELEVATIONS & FLOOR PLANS</p>	<p>DRAWING NO. A1.0</p>
<p>ACTIVITY: PROJ. NO.:</p>	<p>1 SHEET OF</p>	<p>CATALOG NUMBER:</p>



CONSTRUCTION KEYNOTES	
1	NEW COLUMN BASE
2	NEW STEEL COLUMN NATURAL PATINA
3	NEW CANOPY SYSTEM OVERHEAD
4	NEW STOREFRONT SYSTEM
5	REPAIR AND FILL EXISTING CONCRETE PAVEMENT
6	NEW SPIRAL STAIR TO UPPER DECK
7	CABLE RAIL GUARDRAIL SYSTEM
8	REFABRICATED CORNICE
9	MARQUEE SIGN LOCATION
10	NEW STEEL CANOPY & TIE ROD SYSTEM W/LIGHTING
11	CANOPY FRAME
12	LIGHT FIXTURE
13	PRECAST CONCRETE PANEL AT COLUMN SMOOTH "WHITE" FINISH
14	SIMULATED PRECAST EIFS OVER FRAMED SYSTEM
15	SOFFIT LIGHT
16	EXISTING EXTERIOR BRICK WALL
17	PAN CHANNEL LETTERS WITH BACK LIGHT
18	COMPOSITE STEEL AND CONCRETE DECK OVER STEEL BEAMS

	JOB NO. 1721 adaptive ARCHITECTS 88 West Main Street Mesa, AZ 85201 480-437-0633 www.adaptivearchitects.com
	CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201
PROPOSED ELEVATIONS & FLOOR PLANS	DRAWING NO. A1.1
ACTIVITY: PROJ. NO.:	SHEET OF
CATALOG NUMBER:	

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NORTH ELEVATION



VIEWING SOUTHWEST



VIEWING SOUTHEAST



VIEWING SOUTHEAST AT NIGHT

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	JOB NO. 1721	adaptive ARCHITECTS 401 West Main Street Suite 200 Mesa, AZ 85201 480-515-0013 www.adaptivearchitects.com
	CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201	
	DRAWING NO. A1.2	CATALOG NUMBER:
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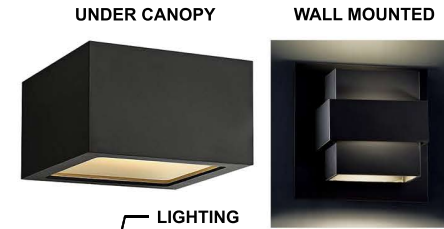


DOOR HANDLES



MARQUEE SIGN

SIGNS PAN CHANNEL
LETTERS BACK LIGHTED



UNDER CANOPY

WALL MOUNTED

LIGHTING



SOFFIT



GLASS/STOREFRONT OFFSET GLAZED SYSTEM



SMOOTH FACE EIFS



NATURAL PATINA STEEL

CANOPY SYSTEMS
POWDER COATED BLACK



PRECAST CONCRETE SMOOTH FINISH "WHITE"



COLOR AND MATERIAL PALLETE

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	CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201	
ACTIVITY: PROJ. NO.:	SHEET OF	DRAWING NO. A1.3 CATALOG NUMBER:

**Design Review Board – Work Session Minutes
August 8, 2017**

E. Discuss and Provide Direction Regarding Design Review cases:

E.1. DRB17-00114 41 W. Main St. Façade Improvement

LOCATION/ADDRESS: The 0-100 Block of West Main Street (south side)
REQUEST: This is a review of a façade improvement
COUNCIL DISTRICT: 4
OWNER: Gannon Nikolich
APPLICANT: Jeff McVay, City of Mesa
STAFF PLANNER: Jeff McVay

Discussion: The Architect, Vince DiBella, presented the project to the Board.

Chair Banda

- Liked the intersection of canopies
- Liked the idea of adding more color
- Felt that the canopies don't stand out enough

Boardmember Sandstrom

- Confirmed that the canopies are somewhat held back to the building, and was concerned that not much shade is provided
- Confirmed that the deepest point in the canopy shade projection is 6', and that the owner did not want columns or anything else to interfere with the storefronts
- Suggested a free-standing shade structure in the void between 45 W. Main Street and 47 W. Main Street
- Didn't like the way that the buildings are clad

Boardmember Thompson

- Like them all, surprised how modern this component is in relation to the other proposals
- Concerned that Milano's was getting lost in the design, as there were no prominent features proposed for that building
- Suggested elevating canopy where it doesn't touch, to overlay, to appear like it does
- Suggested adding color to the existing black colors
- Liked the intersection of canopies
- Liked the modern look of the canopies