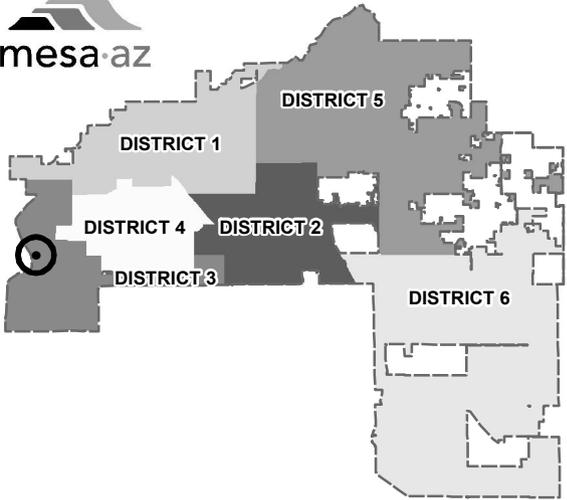


mesa-az



PLANNING AND ZONING VICINITY MAP

CASE:

Z14-050

PROJECT:

SOUTHERN AVENUE RETAIL CENTER

ADDRESS:

2110 & 2120 W SOUTHERN AVE

REQUEST:

SITE PLAN REVIEW AND MODIFICATION. THIS REQUEST WILL ALLOW FOR THE DEVELOPMENT OF A DRIVE-THROUGH RESTAURANT IN AN EXISTING RETAIL CENTER.

Z14-050

Z14-050

Z14-050

Z14-050

Z14-050



Planning and Zoning Board

Case Information

CASE NUMBER: Z14-050 (PLN2014-00467)
LOCATION/ADDRESS: 2110 & 2120 West Southern Avenue
GENERAL VICINITY: Located on the north side of Southern Avenue west of Dobson Road.
REQUEST: Site Plan Review and Modification.
PURPOSE: This request will allow for the development of a drive-through restaurant in an existing retail center.
COUNCIL DISTRICT: District 3.
OWNER: Jeff Geysler, Lawrence & Geysler Development.
APPLICANT: Mike Perry, Principal, WhitneyBell Perry Inc.
STAFF PLANNER: Wahid Alam, AICP Planner II

SITE DATA

PARCEL NUMBER(S): 134-42-228D
PARCEL SIZE: (1.6± acres).
EXISTING ZONING: Limited Commercial (LC).
GENERAL PLAN DESIGNATION: Neighborhood Commercial, NC.
CURRENT LAND USE: Existing free standing restaurant in a retail center.

SITE CONTEXT

NORTH: Existing residential development – Zoned RM-4
EAST: Existing drive thru restaurant (Filiberto's) – Zoned LC
SOUTH: (across Southern Avenue) Banner Desert Medical Center-NC PAD
WEST: Existing drive thru restaurant (McDonald's) – Zoned LC

ZONING HISTORY/RELATED CASES:

April 4, 1970: Annexation from County to City of Mesa (Ord. #661)
June 17, 1976: Rezoned from C-1 & R-4 to C-2 to allow for the development of a commercial center (Z76-037)
December 8, 2011: Administrative approval for exterior remodeling of the building located at 2110 West Southern Avenue (ZA11-007).
November 5, 2014: Approval of modification of Substantial Conformance Improvement Permit (SCIP) BA14-053

STAFF RECOMMENDATION: Approval with conditions

P&Z BOARD DECISION: Approval with conditions. Denial

PROP 207 WAIVER: Signed Not Signed

PROJECT DESCRIPTION/REQUEST

The applicant is requesting a Site Plan Review and Modification. This request will allow for the development of a drive-through restaurant in an existing retail center. The site plan consists of an existing retail building of 9,957 square feet and a proposed drive-thru restaurant with 2,200 square feet of indoor seating and 250 square feet of outdoor seating area. The proposed restaurant is just west of the existing retail building which was recently remodeled. The proposed building height is 30'-0". A summary of Code requirements, the applicant's proposal, and the staff recommendations are shown in the table below.

Standard	Code Requirement	Applicant Proposed	Staff Recommendation
Southern Avenue	15 feet from future 65-foot right-of-way	0' (10' from current ROW) setback	As proposed
West property line	15 feet setback	1' & 4' setback	As proposed
East Property Line	15' setback	0' setback	As proposed
North Property Line	20' (at least 15'landscaped) feet setback	2' 6" setback	As proposed
Parking	Existing Suite A, retail 1532 s.f.:1/375 s.f.= 4 req. Suite B, eating 2600 s.f.: 1/75 s.f. = 35 req. Suite C+D, retail 5825 s.f. 1/375 s.f. = 16 req. Total for 2110 W Southern Avenue = 55 req. Proposed Drive-thru Indoor eating 2200 s.f.: 1/100 s.f. = 22 req. Outdoor seating 250 s.f.:1/200 s.f. = 2 req. Total for 2120 W Southern Avenue = 24 req. Grand total for the center 79 spaces required	63 spaces provided 7 parking spaces will be eliminated to meet 15' setback from 65' future ROW making the total available onsite 56 parking spaces	Provide 15 feet setback from 65' future ROW for a total of 56 parking spaces for the entire center.
Foundation Base	Exterior walls w/Public Entrance: 15 feet Exterior walls adj. to Drive Aisle: 5 feet	See site plan	As proposed
Parking Lot Landscape Islands	(1) 8'x15' island every 8 parking spaces and at the end of each row of parking	See site plan	As proposed
Parking area screening	Parking areas and drive aisles shall be screened from street(s) with masonry wall, berm or combination of wall/berms and densely planted landscaping	No screen wall provided	Provide Screening per current code

DEVELOPMENT STANDARDS

The proposed site plan does not conform to the current development standards of the Zoning Ordinance with regards to setbacks, parking, landscaping, and foundation base. The applicant applied for a Substantial Conformance Improvement Permit (SCIP) and received approval from the

Board of Adjustment at their November 5, 2014 hearing (BA14-053). The applicant has is requested the following waivers:

1. Reduced building setback along west property line from 15' to 1'.
2. Reduced width of landscape islands inside parking lot.
3. Reduced number of parking spaces from 87 to 63 spaces.
4. Reduce front yard landscape setback along Southern Avenue from 15' to 0'.
5. Reduced number of pedestrian links/access from two to one.

The zoning ordinance requires a 20' setback along the north property line for commercially zoned properties adjacent to RM residential zoned property; the applicant is proposing a setback along the north property line of 2' 6". Also, the proposed site plan does not meet the landscaping requirements of 15 feet along east property line; however the existing building is only 16' away from the east property line. The proposed site plan provides 63 parking spaces and 79 are required. The proposed site plan shows 7 parking spaces along the Southern Avenue with 10 feet setbacks from current 55 feet ROW (zero setbacks from 65 feet future ROW). The proposed site plan indicates encroachment of the parking lot overhang into the 65 feet future ROW along Southern Avenue. One option is to revise the site plan to allow car overhang into the foundation base along the south elevation of the existing retail building so the parking overhang along Southern Avenue does not encroach into the future ROW. Another option would be to apply for encroachment permit. Planning staff can support both options provided the encroachment permit is approved, otherwise the parking lot cannot overhang into the future ROW.

The proposed drive-thru facility is well designed and compatible with the existing retail center to the east. The proposed project was reviewed at the Design Review Board work session on November 4, 2014 and received favorable comments from the Board.

FIESTA DISTRICT

The site is located within the Fiesta District which encompasses 2 square miles and is located between the US 60 and the north side of Southern Avenue and between the Tempe Canal and Extension Road.

The Fiesta District Urban Design Principles establish a foundation for the District's vision to create a uniquely, identifiable area for Mesa that is an economically vibrant, pedestrian-friendly, and an active, urban destination.

The District is expected to evolve into a thriving, exciting, and economically vibrant area by defining a brand and a sense of place, as well as improving the aesthetics and the pedestrian flow within the area. The District's Design Principles indicate this will be accomplished by incorporating furnishings and fixtures, design elements, lush landscaping, way-finding and other signage to improve the overall appearance and atmosphere of the Fiesta District through the built environment.

There is a desire for buildings within the District to face and interact with the street to create an interesting and engaging pedestrian environment with new development moving forward to the sidewalk and seas of parking no longer dominating the frontage.

New and more urban style residential development is desired to attract a diversity of age groups, while new office spaces, residential town homes, and apartments are expected to flourish above and behind ground floor uses to promote a more "walkable" environment.

The applicant has been working with staff to reuse the existing center but with the proposed drive-

thru and desire to keep parking along Southern Avenue does not meet the intent of the Fiesta District Urban Design Principles. Staff believes there is still room to incorporate elements to implement the Fiesta District Design Guidelines into their project.

NEIGHBORHOOD PARTICIPATION

The applicant has submitted a Citizen Participation Plan, which included mailing written notifications to all

- Registered neighborhood associations within one mile of the parcel site.
- Homeowner Associations within one-half mile of the parcel site.
- Interested Neighbors – focused on 1,000 feet from parcel site.

The applicant has conducted one neighborhood meeting on September 9, 2014 at the site where no neighbors attended. The applicant also mailed out 40 notification letters to a contact list including property owners and registered neighborhoods on August 29, 2014. The applicant has not received any phone calls regarding the proposal.

The outreach effort by the applicant meets the citizen participation process requirement. Staff appreciates the effort by the applicant to inform the neighborhood about the project. Staff has not received any inquiry regarding the project from the surrounding neighborhood as of the time of writing this staff report.

CONFORMANCE WITH THE GENERAL PLAN

The adopted Mesa 2025 General Plan designates this site for Neighborhood Commercial, NC. This designation identifies retail and service oriented businesses that serve the surrounding residential trade area within a ½- to 1-mile radius. Typical users include, but are not limited to, grocery store anchored shopping centers, drug stores, fast food chains, convenience/gas stations, and restaurants/cafes. Other compatible uses include small-scale administrative/professional offices including medical services, finance, insurance, and real estate. Hyperstore or Big Box retail uses are not permitted in Neighborhood Commercial designated areas. Neighborhood Commercial areas are located on, and with direct access to arterial streets. Neighborhood Commercial designated areas are typically a maximum of 10 acres.

The following Mesa 2025 General Plan Goals, Objectives, and Policies are supportive of the proposed land use:

Goal LU-1: *Develop a land use pattern throughout the City that creates orderly municipal growth, achieves compatibility with surrounding communities, and is consistent with other plans and programs of the City.*

Objective LU-1.1: *Create the most advantageous economic and environmental balance of build-out land uses based on community and regional characteristics.*

Policy LU-1.1a: *Continue to evaluate the appropriate mix of land uses to achieve the desired mix of residential, employment, and public uses.*

Goal LU-4: *Provide for an adequate supply of commercial acreage and space that provides increasing levels of annual sales tax to the City.*

Objective LU-4.2: *Encourage the development of commercial type uses that support a fiscally sound community.*

This proposal is in conformance with the Mesa 2025 General Plan.

STAFF ANALYSIS

SUMMARY:

The applicant is requesting a modification to a previously approved site plan to allow the redevelopment of an existing pad building in a commercial center in the LC zoning district. The applicant's proposal includes the demolition of the existing pad building just east of the recently remodeled retail building and the development of a 2,200 square-foot drive-thru restaurant building with 250 square-feet of outdoor seating. The proposed drive-thru facility will use the existing shared driveway access off of Southern Avenue.

The Substantial Conformance Improvement Permit (SCIP) for the proposed site plan was approved with conditions by the Board of Adjustment on November 5, 2014 (BA14-053). The design of the proposed drive-thru facility received positive comments and was supported by the Design Review Board on November 4, 2014.

CONCLUSION:

Staff recommends approval of the site plan modification with the following stipulations:

CONDITIONS OF APPROVAL:

1. Compliance with the project narrative, revised site plan, landscape plan and elevations submitted dated October 13, 2014 except as modified by the following conditions.
2. Compliance with all requirements of Design Review approval for case DR14-031.
3. Compliance with all requirements of the approved SCIP as part of case BA14-053.
4. Compliance with all requirements of the approved Lot Split (LS14-009).
5. Compliance with all City development codes and regulations.
6. Remove the three non-conforming pole signs. Replacement of the detached sign(s) shall conform to Sign Ordinance requirements. Signs (detached and attached) need separate approval and permit for locations, size, and quantity.
7. Compliance with all requirements of Development Services in the issuance of building permits.

SITE ADDRESS:
2110 W. SOUTHERN AVE. MESA, AZ 85202

PARCEL NUMBERS:
134-42-228D & 134-42-229

CITY OF MESA CASE NUMBERS:
Z111-007
EXIST. BLDG. PREVIOUSLY APPROVED UNDER: BLD2012-00568

SITE AREA:
LOTS: 2 LOTS
GROSS: 89,636 SF = 1.60 ACRES
NET: 56,380 SF = 1.36 ACRES

ZONING:
LC - NO PROPOSED CHANGE

USE:
COMMERCIAL - NO PROPOSED CHANGE

BUILDING AREA:
EXISTING: 14,319 SF
PROPOSED: 12,509 SF

LOT COVERAGE:
EXISTING: 26% LOT COVERAGE
PROPOSED: 24% LOT COVERAGE

LANDSCAPE AREA:
LANDSCAPE AREA: 5,479 SF 9.3% OF NET SITE AREA

BUILDING HEIGHT:
MAX ALLOWED: 30'-0" PROVIDED: 30'-0"

PROJECT DESCRIPTION:
2110 W. SOUTHERN AVE.
SITE WORK INCLUDING DEMOLITION OF EXISTING ASPHALT AND CONCRETE, RE-GRADE OF PORTIONS OF SITE, NEW INTERIOR WALKS, REVISED PARKING SPACE LOCATIONS, LANDSCAPING AND NEW TRASH ENCLOSURE.

2120 W. SOUTHERN AVE.
DEMOLISH EXISTING 1 STORY STUCCO BUILDING. CONSTRUCTION OF NEW DRIVE-THRU PAD BUILDING. SITE WORK INCLUDING DEMOLITION OF EXISTING ASPHALT AND CONCRETE, RE-GRADE OF PORTIONS OF SITE, NEW PARKING SPACES, SIDEWALKS, ASPHALT PARKING LOT, DRIVE AISLES, TRASH ENCLOSURE AND NEW LANDSCAPING.

PARKING:
ACCORDING TO CHAPTER 32: MESA ZONING ORDINANCE
EXISTING PARKING PROVIDED: = 56 P.S.

EXISTING PARKING REQUIRED (PRIOR TO PROPOSED SITE IMPROVEMENTS)

2110 (BUILDING 1)	RETAIL	9970 SF	/	375	=	25.6 P.S.
	RESTAURANT	3079 SF	/	75	=	41 P.S.
	(OUTDOOR SEATING)	447 SF	/	375	=	2.2 P.S.
2120 (BUILDING 2)	RESTAURANT	1488 SF	/	75	=	20 P.S.

TOTAL PARKING REQ'D PRIOR TO PROPOSED MODIFICATIONS: = 90 P.S.
(20% COMPACT P.S. ALLOWED: 20% X 90 = 18 P.S.)

REQUIRED FOR PROPOSED SITE PLAN (CALCULATED BASED ON USES LISTED BELOW)

2110 (BUILDING 1)	RETAIL	7357 SF	/	375	=	19.8 P.S.
	RESTAURANT	3079 SF	/	75	=	41 P.S.
	(OUTDOOR SEATING)	447 SF	/	200	=	2.2 P.S.
2120 (BUILDING 2)	NEW DRIVE-THRU RESTAURANT	2200 SF	/	100	=	22 P.S.
	(OUTDOOR SEATING)	250 SF	/	200	=	1.3 P.S.

TOTAL AMOUNT REQ'D ASSUMING ABOVE USES: = 87 P.S.
(20% COMPACT P.S. ALLOWED: 20% X 87 = 18 P.S.)

REQUIRED FOR PROPOSED SITE PLAN (CALCULATED BASED ON NON-SPECIFIC USE)

2110 (BUILDING 1) GROUP COMMERCIAL	10,436	/	275	=	38 P.S.
SHELL (NO SPECIFIC USE)					
2120 (BUILDING 2) NEW DRIVE-THRU	2200 SF	/	100	=	22 P.S.
(OUTDOOR SEATING)	250 SF	/	200	=	1.3 P.S.

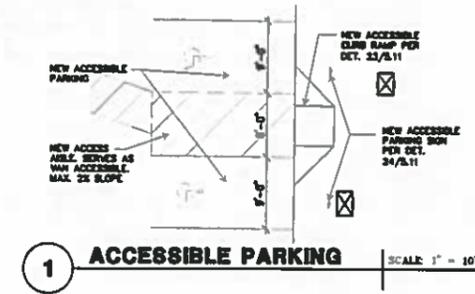
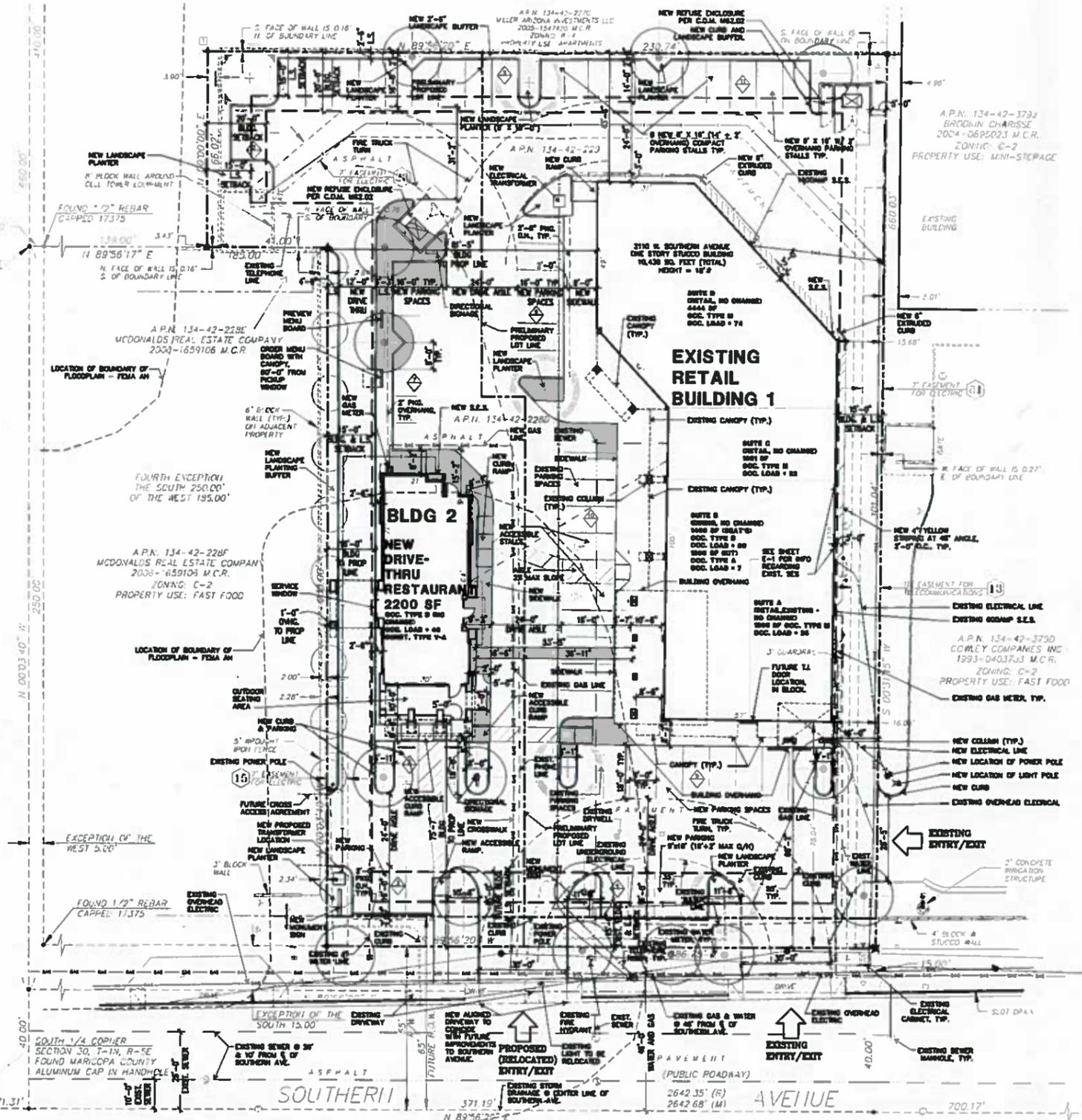
TOTAL REQ'D ON SITE USING NON-SPECIFIC USE: = 62 P.S.
(20% COMPACT P.S. ALLOWED: 20% X 62 = 13 P.S.)

PROVIDED FOR PROPOSED SITE PLAN:
TOTAL EXISTING ON SITE: = 56 P.S.
TOTAL NEW ADDED ON SITE: = 5 P.S.
TOTAL TO BE PROVIDED: (55 P.S. + 5 COMPACT P.S.) = 61 P.S.

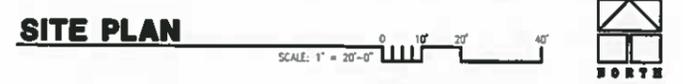
TOTAL ACCESSIBLE PARKING:
REQUIRED: 66 TOTAL SPACES = 3 P.S.
PROVIDED: 4 P.S.

REQUESTING WAIVER OF C.O.M. REQUIREMENT OF NUMBER OF PARKING SPACES:
87 REQUIRED P.S. - 63 PROVIDED P.S. = 24 P.S. UNDER REQ.

FLOOR AREA RATIO:
PROVIDED: 3.04 P.S./1,000 SF



Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100



RECEIVED
OCT 13 2014
City of Mesa Planning

OWNER:
LAWRENCE & GEYSER DEVELOPMENT
580 S COLLEGE AVE. SUITE 201
TEMPE, AZ 85281
PH: (480) 897-4422
FAX: (480) 897-4411

ARCHITECTURAL:
WHITNEYBELL PERRY INC
1102 E MISSOURI AVE.
PHOENIX, ARIZONA 85014
PH: (602) 265-1891
FAX: (602) 230-8458

STRUCTURAL:
RY ASSOCIATES, LLC
7434 EAST MADONALD DRIVE
SCOTTSDALE, AZ 85250
PH: (480) 922-8854
FAX: (480) 922-3730

ELECTRICAL:
MP ENGINEERING
4115 NORTH 15TH AVE.
PHOENIX, ARIZONA 85031
PH: (602) 265-1559
FAX: (602) 265-1603

MECHANICAL / PLUMBING:
MP MECHANICAL INC.
1717 W NORTHERN AVE., SUITE 116
PHOENIX, ARIZONA 85021
PH: (602) 248-8311
FAX: (602) 248-8354

LANDSCAPE:
PHILLIP R. RYAN LANDSCAPE ARCHITECT
575 W CHANDLER BLVD., SUITE 229
CHANDLER, AZ 85225
PH: (480) 899-5813
FAX: (480) 863-3674

LEGAL DESCRIPTION:
That portion of the Southeast quarter of Section 30, Township 1 North, Range 5 East of the G&M and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:
Commencing at the South quarter corner of said Section 30;
Thence North 89 degrees 56 minutes 20 seconds East, along the South line of the Southeast quarter of said Section 30, 860.03 feet;
Thence North 00 degrees 03 minutes 40 seconds West, 40.00 feet to the point of beginning;
Thence continuing North 03 degrees 03 minutes 40 seconds West, 660.00 feet;
Thence North 89 degrees 56 minutes 20 seconds East, 378.30 feet;
Thence South 00 degrees 31 minutes 15 seconds West, parallel to the East line of the Southeast quarter of said Section 30, 860.03 feet;
Thence South 89 degrees 56 minutes 20 seconds West, parallel to, and 40 feet North of the South line of the Southeast quarter of said Section 30, 371.80 feet to the point of beginning;
Except the South 15 feet; and
Except the West 5 feet; and
Except commencing at the South quarter corner of said Section 30;
Thence North 89 degrees 56 minutes 20 seconds East, along the South line of the Southeast quarter of said Section 30, 1371.12 feet to a point from which the Southeast corner of said Section 30 bears North 89 degrees 56 minutes 20 seconds East, 1071.23 feet;
Thence North 00 degrees 03 minutes 40 seconds West, 40.00 feet;
Thence continuing North 03 degrees 03 minutes 40 seconds West, 250.00 feet to the point of beginning;
Thence North 89 degrees 56 minutes 17 seconds East, 144.00 feet;
Thence North, 68.02 feet;
Thence North 89 degrees 56 minutes 20 seconds East, 230.74 feet;
Thence North 00 degrees 31 minutes 15 seconds West, parallel to the East line of the Southeast quarter of the said Section 30, 344.00 feet;
Thence South 89 degrees 56 minutes 20 seconds West, parallel to the South line of said Southeast quarter, 378.30 feet;
Thence South 00 degrees 03 minutes 40 seconds East, 410.00 feet to the point of beginning; and
Except the South 250 feet of the West 185 feet.

INFORMATION AND NOTES RECEIVED FROM:
SUPERIOR SURVEYING SERVICES, INC.

SOUTHEAST CORNER SECTION 30, T-1N, R-5E FOUND BRASS CAP IN HANDHOLE

Waiver of Stipulated Billing for Architectural System
This contract does not obligate the owner to provide the submission of bills of materials in billing cycles other than thirty days. (This contract may be amended by the addition or deletion of stipulations, conditions, and terms of payment of bills of materials after execution and approval of bills of materials.) If written description of such other bills (and/or) conditions is not provided to the owner by the owner's designated agent at 580 S. COLLEGE AVE., SUITE 201, TEMPE, AZ 85281, (480) 897-4422, and the owner of the contract shall provide this written description in writing.



LAWRENCE & GEYSER DEVELOPMENT
SOUTHERN AVENUE RETAIL CENTER
2110 W. SOUTHERN AVE & 2120 W. SOUTHERN AVE MESA, ARIZONA 85202

NOT FOR CONSTRUCTION
EXPIRES: 3/31/17

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 W Chandler Blvd, Suite 123
Chandler, Arizona 85224-7532
(602) 265-1891

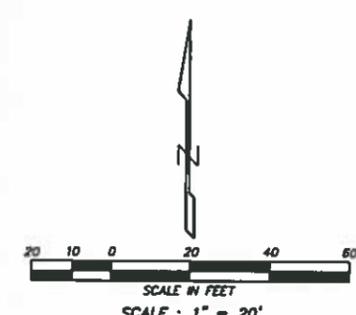
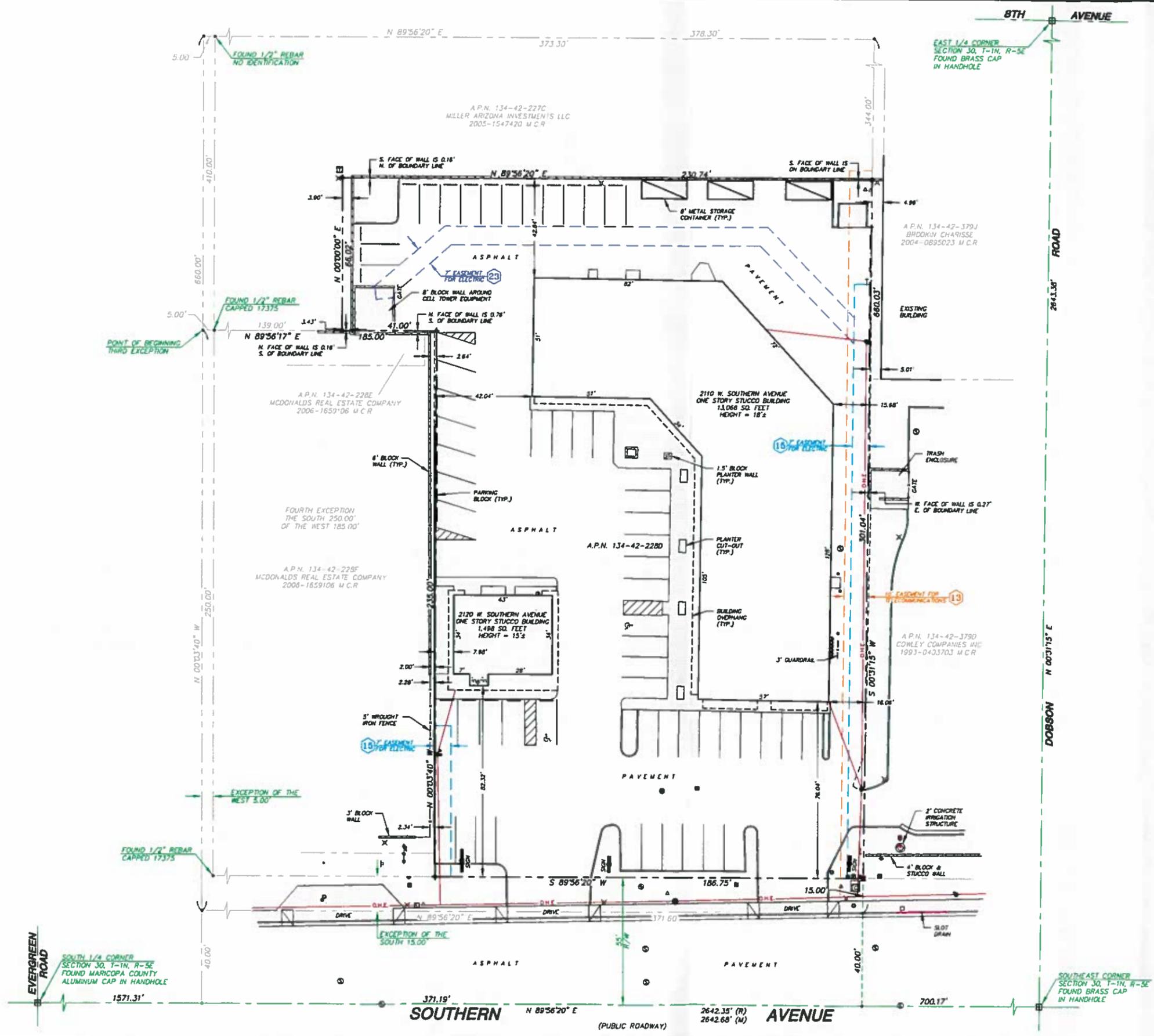


ARCHITECTURE AND PLANNING

GENERAL NOTES

- ACCESSIBLE ROUTE SHALL BE PROVIDED TO THE PUBLIC WAY (SOUTHERN AVE.) AS SHOWN.
- REPAIR OR REPLACE CURB WHERE DAMAGED
- ALL SIGNAGE RELOCATION OR REPAIR SHALL BE UNDER SEPARATE PERMIT
- UTILITIES ARE SHOWN FOR REFERENCE ONLY. THE SITE SHALL BE BLUE STAKED PRIOR TO THE BEGINNING OF CONSTRUCTION TO DETERMINE EXACT LOCATION OF ALL UTILITIES.

1.10
1118
COPYRIGHT WHITNEYBELL PERRY INC
1 Oct 2014
PROPOSED SITE PLAN



LEGEND

- BOUNDARY LINE
- - - CENTER LINE OR MONUMENT LINE
- ▭ CONCRETE SURFACE
- ▨ 24" HIGH VERTICAL CURB & GUTTER
- ▩ 6" HIGH CONCRETE CURB
- ▬ INDICATES DRIVEWAY (MEANS OF ACCESS)
- ▬ WALL
- FENCE
- OVERHEAD ELECTRIC LINE
- FOUND 1/2" REBAR CAPPED 8454 (UNLESS OTHERWISE NOTED)
- ◆ FOUND PK. NAIL & BRASS TAG STAMPED 8454
- ⊠ FOUND 1/2" REBAR CAPPED 31737 ALSO FOUND 1/2" REBAR NO IDENTIFICATION (NOT STOLE G.I.S)
- ⊙ SCHEDULE # ITEM
- ⊕ SPRAWLER HOOD-UP (FIRE DEPARTMENT)
- ⊖ BACK FLOW PREVENTER
- ⊗ DOWN GUY
- ⊞ ELECTRIC BOX
- ⊟ ELECTRIC CABINET
- ⊠ ELECTRIC TRANSFORMER
- ⊡ FIRE HYDRANT
- ⊢ GAS METER
- ⊣ GUARD POST OR GATE POST
- ⊤ GAS VALVE
- ⊥ HANDICAPPED SPACE
- ⊦ METAL GRATE (CIRCULAR)
- ⊧ METAL GRATE (RECTANGULAR)
- ⊨ LIGHT POLE
- ⊩ METAL COVER (RECTANGULAR)
- ⊪ POWER POLE
- ⊫ POWER POLE W/ UNDERGROUND ELECTRIC
- ⊬ SEWER CLEAN OUT
- ⊭ SEWER MANHOLE
- ⊮ STREET SIGN
- ⊯ TELEPHONE RISER
- ⊰ WATER METER
- ⊱ WATER VALVE
- A.P.N. ASSESSOR'S PARCEL NUMBER
- M.C.R. MARICOPA COUNTY RECORDS
- R/W RIGHT OF WAY
- DR DRIVE
- PC PAGE
- (TYP) TYPICAL
- (R) RECORD
- (U) MEASURED



Superior Surveying Services, Inc.
 Professional Land Surveying
 21415 North 23rd Avenue, Phoenix, Arizona 85027
 Phone (623) 869-0223 Fax (623) 869-0726

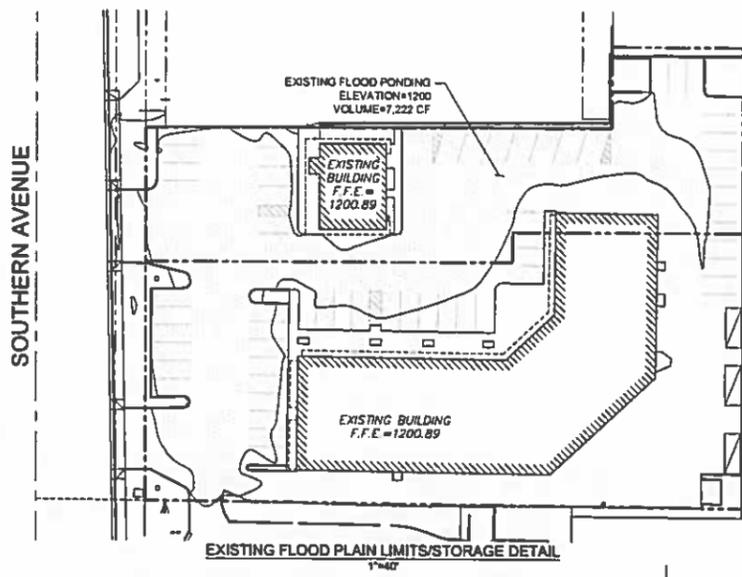
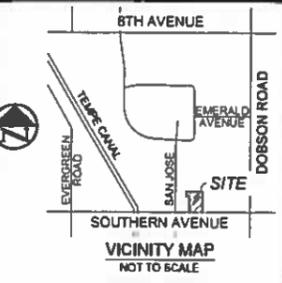
A.L.T.A. / A.C.S.M. LAND TITLE SURVEY
 2110 & 2120 W. SOUTHERN AVENUE, MESA, ARIZONA 85202

DATE	REVISIONS	DESCRIPTION	DRAWN BY	CHECKED BY

DATE: 1/27/11
 SHEET 2 OF 2
 JOB NO.: 110115

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLANS SOUTHERN AVENUE RETAIL MESA, ARIZONA

THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



Required Retention Volume & Time to Drain Calculations

Drainage Area ID	Drainage Area (ac)	Wtd Runoff Coefficient C	Rainfall (in)	Volume Required* (cf)	Volume Provided** (cf)	Number of Drywells Proposed (1.1cf/drywell)	Assumed Drywell Parc Rate (cf/hr)	Estimated Retention Basin Drain Time
DA - 1	1.35	0.80	2.20	8.775	10.172	1	380	28.3

* V_r = A * C * P
 ** Retention Volume Provided on Pavement = 0.1 Higher than Elevation = 6in Cut-off Elevation of 1200.11 (NAVD 88)

FLOODPLAIN USE PERMIT INFORMATION

BASE FLOOD ELEVATION (NAVD 88) 1200
 EXISTING FLOOD PONDING VOLUME (CF) 7,222
 FLOOD PONDING VOLUME PROVIDED (CF) 7,008

WATER & SEWER NOTE:

CONTRACTOR TO POT-HOLE & VERIFY SIZE & LOCATION OF ALL EXISTING WATER & SEWER SERVICES PRIOR TO CONSTRUCTION. ADDITIONAL WATER SERVICE CONNECTIONS MAY BE REQUIRED PENDING FURTHER ANALYSIS OF THE EXISTING WATER METER SIZES, FUNCTIONALITY OF EXISTING LINES AND DEMAND OF FUTURE TENANTS. EXISTING OR PROPOSED WATER OR SEWER SERVICE LINES SHALL NOT CROSS EXISTING OR FUTURE PROPERTY LINES. SHOULD ANY EXISTING LINES CROSS PROPERTY LINES A NEW SERVICE CONNECTION WILL BE INSTALLED.

DRYWELL NOTE:

CONTRACTOR TO SERVICE EXISTING DRYWELL TO IMPROVE PERFORMANCE INCLUDING JET-VAC FOR SEDIMENT & DEBRIS REMOVAL AND REPAIR OF ANY NONFUNCTIONING FEATURES.

PROPERTY OWNER/DEVELOPER

LAWRENCE & GEYSER DEVELOPMENT
 580 S. COLLEGE AVENUE, SUITE 201
 TEMPE, AZ 85281

PROJECT INFORMATION

PARCEL BOUNDARY / NET AREA: 1.36 AC
 APN: 134-42-228D & 134-42-229
 ZONING: LC

BENCHMARK

CITY OF MESA BRASS TAG IN THE TOP OF CURB LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF DOBSON ROAD AND SOUTHERN AVENUE, HAVING A NAVD 88 ELEVATION OF 1201.84

BASIS OF BEARING

NORTH 89°56'20" EAST, BEING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 5 EAST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

CIVIL ENGINEER

TERRASCOPE CONSULTING
 1102 EAST MISSOURI AVENUE
 PHOENIX, ARIZONA 85014

ARCHITECT

WHITNEYBELL PERRY ARCHITECTS INC.
 1102 E. MISSOURI AVENUE
 PHOENIX, ARIZONA 85014

CONTACT

JEFF GEYSER
 PHONE: (480) 897-4422

CONTACT

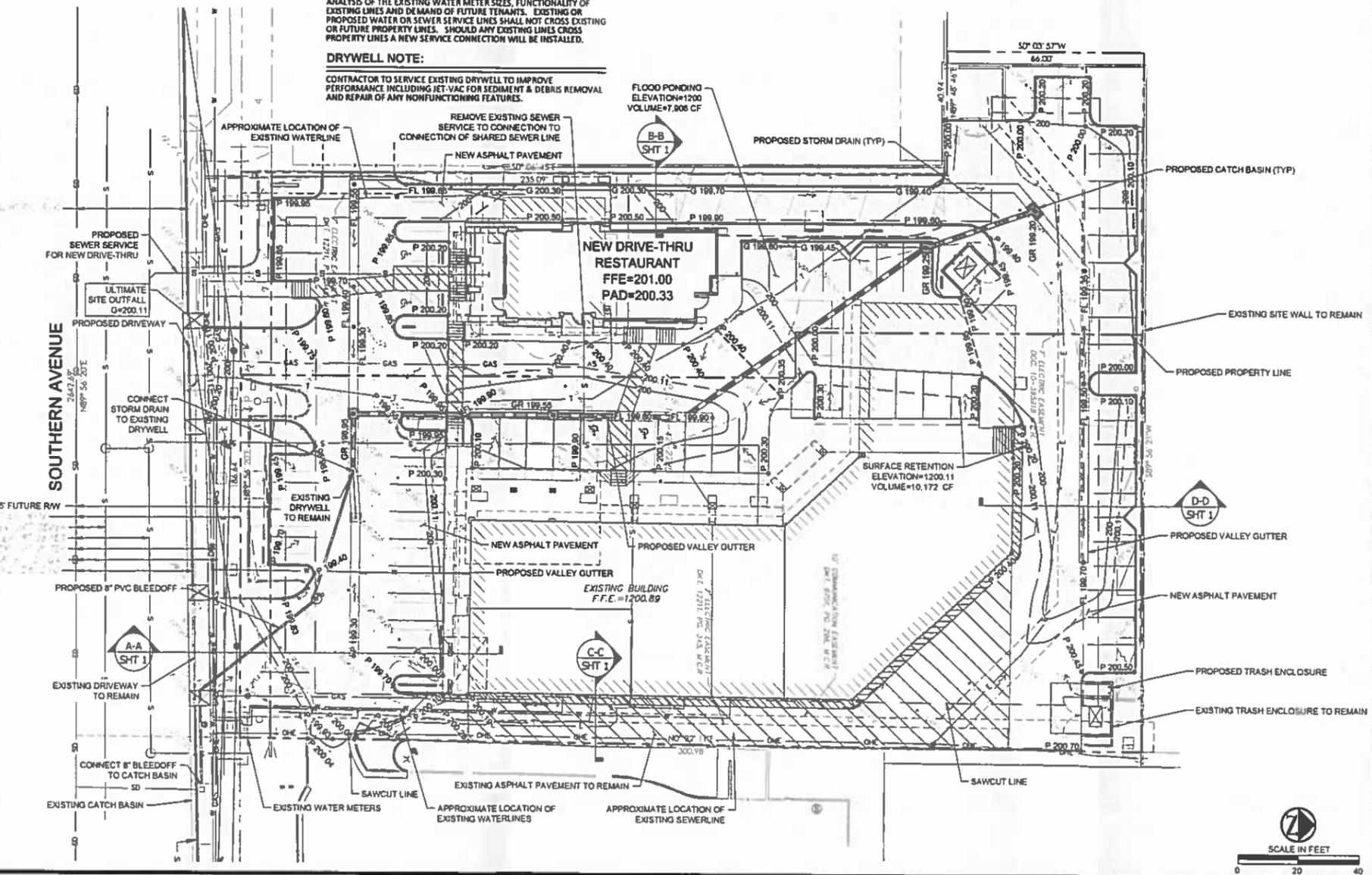
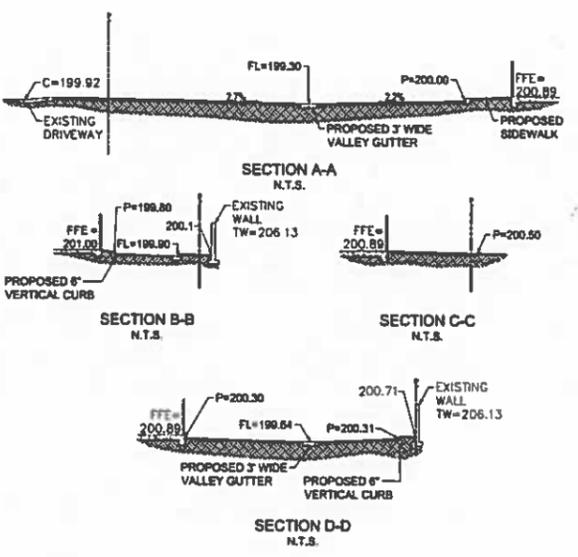
MIKE PERRY
 PHONE: (602) 265-1991
 FAX: (602) 230-8458

CONTACT

DAVE SOLTYSK, P.E.
 PHONE: (602) 297-8732
 FAX: (602) 230-4458

FLOOD INFORMATION

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP MAP NUMBER 04013C2244L DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN ZONE AH AND ZONE X. ZONE AH IS DEFINED AS "AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE SHALLOW FLOODING (USUALLY AREAS OF PONDING) WHERE AVERAGE DEPTHS ARE BETWEEN ONE AND THREE FEET. BASE FLOOD ELEVATION DETERMINED. BFE=1200. ZONE X IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."



• civil engineering
 • surveying
 • urban planning

Terrascope

CONSULTING

1102 E. Missouri Avenue, Phoenix, Arizona 85014 • 501 W. Chandler Boulevard, Suite 123, Chandler, Arizona 85226
 T: (602) 297-8732 F: (602) 230-4458 W: terrascopesurvey.com E: info@terrascopeconsulting.com

SEAL:

EXPIRES 3/31/2015

SOUTHERN AVENUE RETAIL CENTER

PRELIMINARY GRADING, DRAINAGE, AND UTILITY PLAN

LAWRENCE & GEYSER DEVELOPMENT

ARIZONA 801

DATE	DESCRIPTION
08/22/14	1ST DRB SUBMITTAL
10/13/14	2ND DRB SUBMITTAL

CHECKED BY: DMS
 DRAWN BY: TSB
 TITLE: PRELIMINARY GRADING, DRAINAGE, & UTILITY PLANS
 SHEET No. 1 of 1
 PROJECT No. 0282

PLAN KEY NOTES:

- ① EXISTING CONCRETE CURB TO REMAIN
- ② NEW LANDSCAPE PLANTER (INSTALL 2" DEEP, 1/2" SCREENED "SANTA FE EDGE" DECOMPOSED GRANITE)
- ③ NEW SIDEWALK RAMP
- ④ NEW SIDEWALK PER SITE PLAN
- ⑤ NEW HANDICAP STALL
- ⑥ EXISTING 6' HIGH BLOCK WALL
- ⑦ EXISTING 8' HIGH BLOCK WALL AROUND CELL TOWER EQUIPMENT
- ⑧ EXISTING 6' CONCRETE PARKING BUFFER BLOCK
- ⑨ NEW 6' CONCRETE PARKING BUFFER BLOCK
- ⑩ EXISTING TRASH TO REMAIN
- ⑪ NEW 6" VERTICAL CURB
- ⑫ NEW CANOPY (SEE SHEET L1)
- ⑬ EXISTING POLE SIGN
- ⑭ EXISTING FIRE HYDRANT
- ⑮ EXISTING POWER POLE
- ⑯ EXISTING POLE SIGN TO BE REMOVED AND REPLACED BY NEW SIGN MONUMENT
- ⑰ EXISTING PLANTER (INSTALL NEW PLANTINGS AND 2" DEPTH, 1/2" SCREENED "SANTA FE EDGE" DECOMPOSED GRANITE)
- ⑱ EXISTING BLOCK WALL W/ PAINTED STUCCO FINISH
- ⑲ RELOCATED LIGHT POLE
- ⑳ RELOCATED POWER POLE
- ㉑ OVERHEAD ELECTRIC POWER LINE
- ㉒ EXISTING CULANDERS TO BE REMOVED ALONG EAST FACE OF BLDG. AND RE-PLANT PLANTER AS SHOWN
- ㉓ INSTALL 2" DEEP, 1/2" SCREENED "SANTA FE EDGE" DECOMPOSED GRANITE THRU-OUT PLANTING AREA
- ㉔ EXISTING SIDEWALK TO REMAIN
- ㉕ EXISTING PLANTINGS TO REMAIN
- ㉖ EXISTING CITY SIDEWALK TO REMAIN
- ㉗ EXISTING LIGHT POLE TO REMAIN
- ㉘ NEW SIDEWALK ACCESSIBLE ROUTE (SEE SHEET L1)
- ㉙ NEW SIGN MONUMENT
- ㉚ EXISTING ASPHALT PAVED PARKING TO REMAIN

LANDSCAPE REQUIREMENTS:

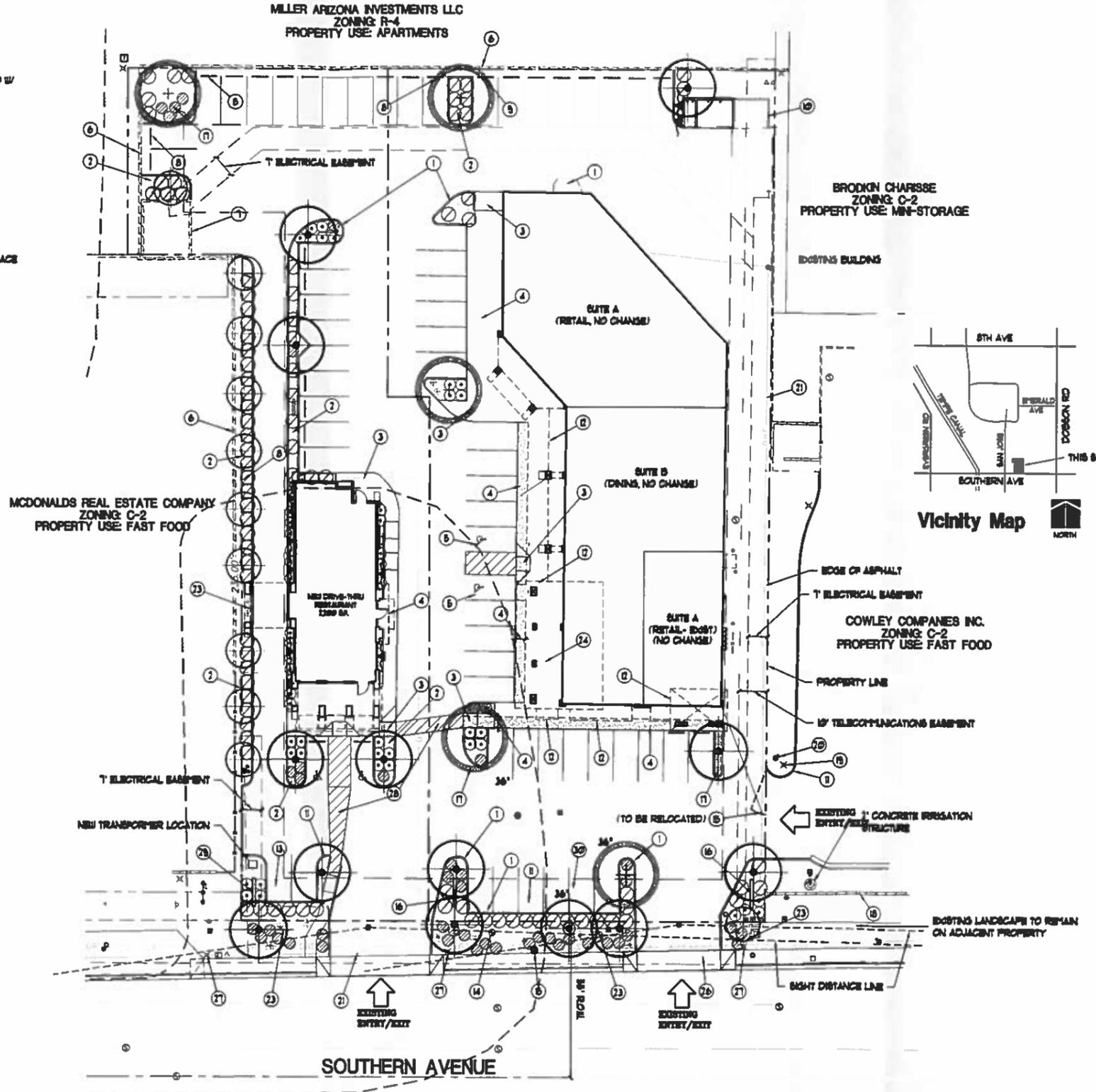
STREET RIGHT-OF-WAY	MIN. REQUIRED PLANTS	MIN. PROVIDED PLANTS
ARTERIAL STREET (1 TREE AND 6 SHRUBS PER 25' LINEAL FT. OF STREET FRONTAGE) (75' LIN. FT. OF FRONTAGE)	5 TREES (1) 36" BOX (4) 24" BOX 30 SHRUBS (8 GALLON MIN) 50% OF LANDSCAPE AREA IN VEGETATIVE COVER	5 TREES (1) 36" BOX (4) 24" BOX 53 SHRUBS (8 GALLON MIN) 50% OF LANDSCAPE AREA IN VEGETATIVE COVER
PARKING LOT (1 TREE AND 6 SHRUBS PER 8 PARKING SPACES) (64 SPACES PROVIDED)	8 TREES (1) 36" BOX (8) 24" BOX (54) SHRUBS	13 TREES (2) 36" BOX (11) 24" BOX (78) SHRUBS

LANDSCAPE CALCULATIONS:

SITE AREA: 59,570 S.F. (1.37 ACRES)
LANDSCAPE AREA: 4,946 S.F. (8.3% OF NET SITE AREA)

PLANT SCHEDULE:

	CERCIDUM HYBRID DESERT MUMBLE PALO VERDE	36" BOX STANDARD 14' HT., 7" SP., 3" CAL.	2 TOTAL
	CERCIDUM HYBRID DESERT MUMBLE PALO VERDE	24" BOX STANDARD 10' HT., 4.5" SP., 1 1/2" CAL.	3 TOTAL
	CHITALPA TASHKENIS CHITALPA	36" BOX STANDARD 9' HT., 7" SP., 2 1/2" CAL.	1 TOTAL
	CHITALPA TASHKENIS CHITALPA	24" BOX STANDARD 9' HT., 4.5" SP., 1 1/2" CAL.	13 TOTAL
	CASUALPINA MEDICANA MEDICAN BIRD OF PARADISE	24" BOX STANDARD TREE FORM	10 TOTAL
	LEUCOPHYLLUM LANZHANAS 'RUB' RIO BRAVO SAGE	5 GALLON FULL PAST CAN	50 TOTAL
	CALLISTEMON VERNALIS 'LJ' LITTLE JOHN DWARF BOTTLE BRUSH	5 GALLON FULL PAST CAN	47 TOTAL
	DASYLIRION GIBBERUM DESERT SPOON	5 GALLON FULL PAST CAN	8 TOTAL
	HESPERALOE PARVIFOLIA RED YUCCA	5 GALLON FULL PAST CAN	12 TOTAL
	LANTANA MONTICENSIS 'N.G.' NEW GOLD LANTANA	5 GALLON FULL PAST CAN	47 TOTAL
	BOUQUANVILLEA 'SAN DIEGO RED' RED VINES BOUQUANVILLEA	5 GALLON STACKED, LEAN ON WALL	9 TOTAL



PLAN NOTE: ALL FREE-STANDING AND BLDG. SIGNAGE IS PER SEPARATE PERMIT.

Landscape Plan
Scale 1:20



See working sheet before you buy
CALL FOR THE BLUE STAKES
263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY

LANDSCAPE PLAN

phillip r. ryan
landscape architect p.c.
landscape architecture & planning
575 w. chandler blvd., suite 229
chandler, arizona 85225
(480) 899-0813 fax (480) 963-3674

Notice of attorney filing for payment of costs
This contract allows (lines above) the owner to require the
submission of bills of estimate in billing cycles other than
every 30 days. (The contract may allow the owner to make
payment on some alternative schedule after certification and
approval of bills and estimates). A written description of
such other billing cycle(s) is/are applicable to this project as
available from the owner or the owner's designated agent at
1-800-STAKE-IT
540 S. COLLEGE AVENUE, SUITE 201, TUCSON, AZ 85724
(520) 887-1122
and the owner or its designated agent shall provide this written
description on request.

**SOUTHERN AVENUE
RETAIL CENTER**
2110 W. SOUTHERN AVE
2120 W. SOUTHERN AVE
MESA, ARIZONA 85202

**LAWRENCE
& GEYSER**
DEVELOPMENT



WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
(602)265-1891



ARCHITECTURE AND PLANNING

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FLOOR PLAN KEY NOTES

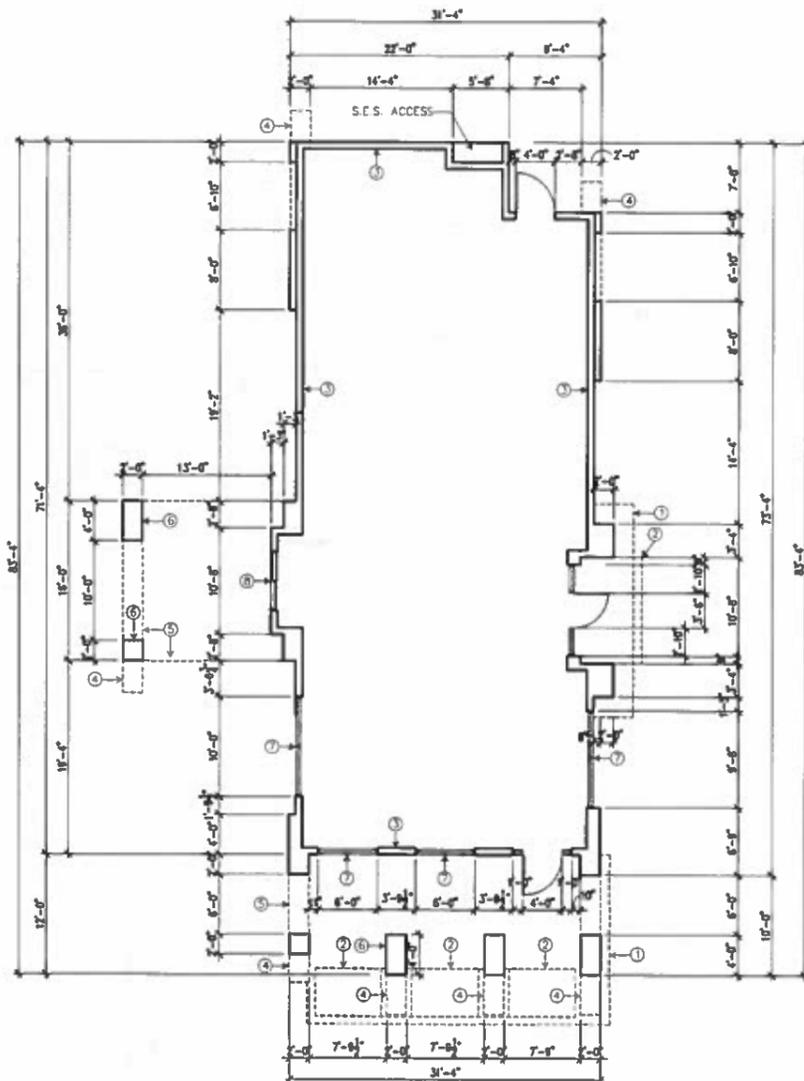
- ① DASHED LINE INDICATES ROOF OVERHANG
- ② DASHED LINE INDICATES SHADING CANOPY ABOVE
- ③ 2X6 STUD WALL WITH STUCCO FINISH
- ④ DASHED LINE INDICATES ANGLE OF NEW COLUMN
- ⑤ DASHED LINE INDICATES STRUCTURE ABOVE
- ⑥ WOOD FRAME COLUMN (DIMENSIONS ARE TO OUTSIDE OF SHEATHING)
- ⑦ TYPICAL STOREFRONT SYSTEM - PAINT SPEC PER ELEVS
- ⑧ DRIVE THRU WINDOW

GENERAL NOTES

- 3. OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS AT THE FLOOR OR CEILING SHALL BE FIRESTOPPED WITH NONCOMBUSTIBLE MATERIALS.
- 4. ALL WALLS CONTAINING ROOF DRAINS SHALL BE 2X6 CONSTRUCTION OR FURRED TO SUFFICIENT WIDTH TO SUPPORT
- 5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EXISTING STOREFRONT OVERHEAD WALL EXTENSIONS AND PREPPING ALL STOREFRONT SURFACES FOR INSTALLATION OF NEW STRUCTURAL ELEMENTS AND FINISHES. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS PRIOR TO INSTALLATION OF NEW FINISHES.
- 6. FOR ALL DETAIL REFERENCES NOT SHOWN, PLEASE SEE BUILDING SECTIONS.
- 7. NOTICE OF SCOPE OF WORK: NO INTERIOR WORK, NO CHANGE IN USE OR OCCUPANCY TO EXISTING SUITES SHALL BE PERFORMED UNDER THIS PERMIT

LEGEND

- ① KEYNOTE SYMBOL-UNLESS NOTED OTHERWISE
- ② KEYNOTE SYMBOL-FOR ROOF PLAN ONLY
- ③ COLOR SELECTION-SEE COLOR LEGEND ELEVATION SHEETS.
- XXXXX DESIGNATES EXISTING CMU WALL OR EXISTING CMU COLUMN
- XXXXX DESIGNATES EXISTING CMU WALL W/ NEW APPLIED 2X6 STUD WALL COVER
- ===== WOOD FRAMED WALL OR PARAPET
- ===== DESIGNATES NEW BRICK FINISH
- ===== DESIGNATES NEW BRICK VENEER OVER NEW WOOD FRAMED WALL
- ===== DESIGNATES EXISTING BUILDING - INTERIOR OF EXISTING BUILDING N.I.C.



FLOOR PLAN

2120 N. SOUTHERN AVE.

SCALE: 1/8" = 1'-0"



ROOF PLAN KEY NOTES

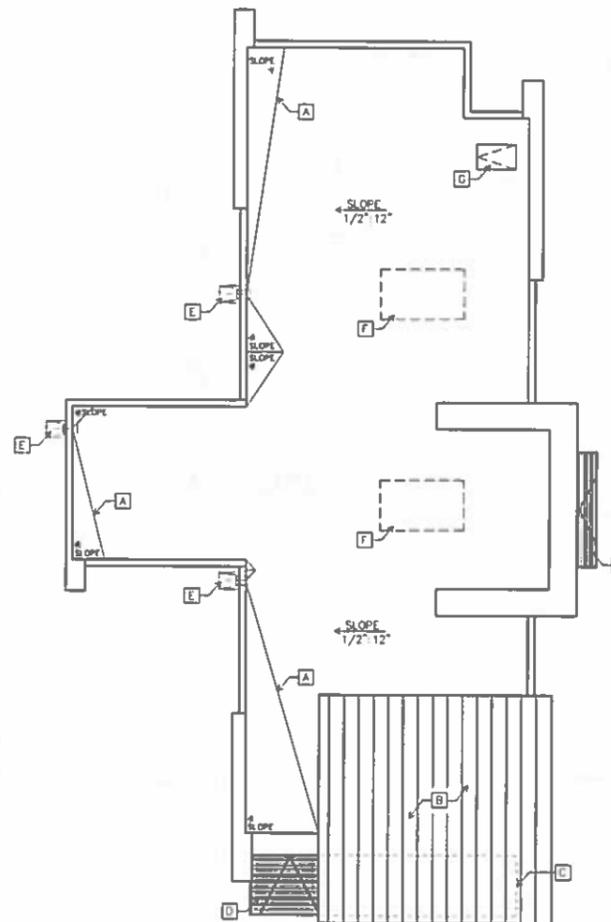
- A NEW CRICKET
- B METAL SEAM ROOFING
- C DASHED LINE INDICATES CANOPY BELOW
- D NEW METAL SHADE CANOPY
- E NEW ROOF SCUPPER WITH CONDUCTOR DOWN TO SPLASH BLOCK
- F MECHANICAL EQUIPMENT

ROOF DRAIN NOTES

- 1.) ROOF DRAINS SHALL BE INSTALLED, SIZED AND DISCHARGED IN ACCORDANCE WITH CHAPTER 11 OF THE PLUMBING CODE.
- 2.) WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED TWO (2) INCHES ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS MAY BE INSTALLED IN ADJACENT PARAPET WALLS WITH THE INLET FLOW LOCATED TWO (2) INCHES ABOVE THE LOW POINT OF THE ADJACENT ROOF AND HAVING A MINIMUM OPENING HEIGHT OF FOUR (4) INCHES.
- 3.) VERTICAL PRIMARY AND OVERFLOW ROOF DRAIN SIZES SHALL COMPLY WITH 2003 IPC FOR THE TRIBUTARY AREA SERVED.
- 4.) ROOF DRAIN AND OVERFLOW DRAINS SHALL BE EQUIPPED WITH STRAINERS EXTENDING NOT LESS THAN FOUR (4) INCHES ABOVE THE SURFACE OF THE ROOF IMMEDIATELY ADJACENT TO THE DRAIN. ROOF DECK STRAINERS FOR USE ON SUN DECKS, PARKING DECKS AND SIMILAR AREAS MAY BE AN APPROVED FLAT-SURFACE TYPE WHICH IS LEVEL WITH THE DECK, PROVIDED THE INLET AREA IS NOT LESS THAN TWO TIMES (2X) THE AREA OF THE PIPE TO WHICH THE DRAIN IS CONNECTED.

GENERAL NOTES

- A.) MULTIPLE ROOF TOP HVAC UNITS ARE TO BE IDENTIFIED INDIVIDUALLY AND BY THE AREA THEY SERVE.
- B.) ALL PORTIONS OF FLAT ROOFS SHALL BE A MINIMUM OF 3/8"12 SLOPE. CRICKET VALLEYS SHOULD BE SIZED ACCORDINGLY
- C.) FRAMER TO PROVIDE 2X4 BLOCKING BETWEEN TRUSSES AT EACH ROOF VENT OPENING. DISPERSE ROOF VENTS THROUGHOUT THE ROOF AREA BEING SERVED.
- D.) FLAT VENT: 22 X 22 (FREE VENT AREA IS 280 S.I.) AS MANUFACTURED BY GENERAL METALS MANUFACTURING AND SUPPLY COMPANY OR EQUAL (NET FREE AREA SHALL BE THE SAME OR MEET THE REQUIREMENTS OF THE CALCULATION TABLE)
- E.) CONTRACTOR IS RESPONSIBLE FOR CUTTING AND REMOVAL OF EXISTING ROOFING SECTIONS, AND ALL PREP, PATCH, AND REPAIR OF EXISTING ROOF AND STRUCTURE TO ALLOW FOR INSTALLATION OF NEW STRUCTURAL ELEMENTS AND ROOF SECTIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS PRIOR TO INSTALLATION OF NEW CONSTRUCTION.



ROOF PLAN

2120 N. SOUTHERN AVE.

SCALE: 1/8" = 1'-0"



Notice of alternate billing (or payment) cycle
 The architect agrees (only after) the owner to require the submission of billings or estimates in billing cycles other than their own. (This agreement may allow the owner to make payment on some alternate schedule after notification and approval of billings and estimates). A written description of approval of billings and estimates is to be provided to the project or available from the owner or the owner's designated agent or architect's office.
 LAWRENCE & GEYSER DEVELOPMENT
 540 S. COLLEGE AVENUE, SUITE 200, TUCSON, AZ 85718
 (480) 887-4422
 and the owner or its designated agent shall provide this written description in minutes.

LAWRENCE & GEYSER DEVELOPMENT

SOUTHERN AVENUE RETAIL CENTER

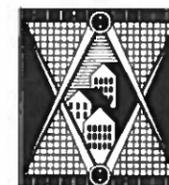
2110 W. SOUTHERN AVE
 &
 2120 W. SOUTHERN AVE
 MESA, ARIZONA 85202



EXPIRES: 3/31/17
PRELIMINARY

WHITNEYBELL PERRY INC

1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 W Chandler Blvd, Suite 123
 Chandler, Arizona 85224-7532
 (602) 265-1891



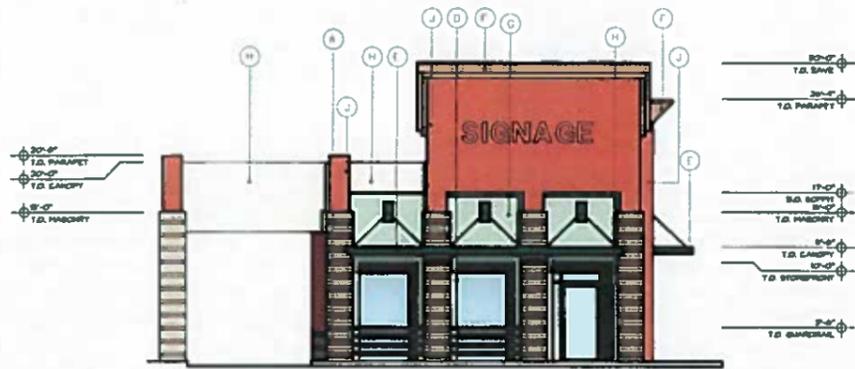
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 1 Oct 2014

**FLOOR & ROOF PLAN
 BUILDING 2**



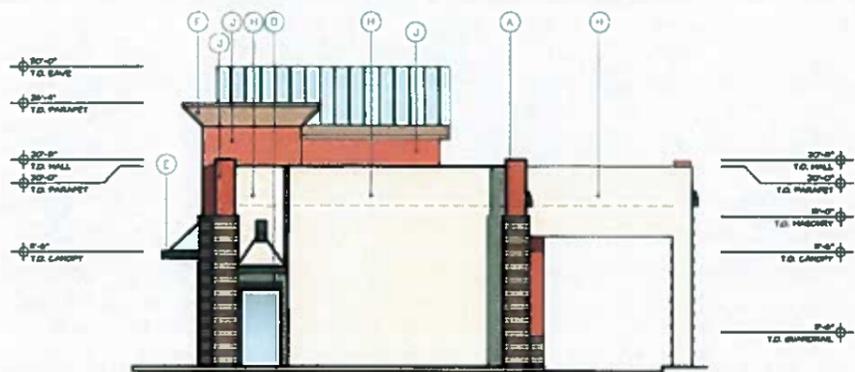
SOUTH ELEVATION - BUILDING 2



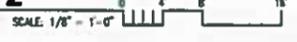
EAST ELEVATION - BUILDING 2



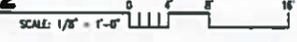
PROPOSED NEW SIGN LOCATIONS. FINAL SIGN PACKAGE TO BE PREPARED BY SIGN COMPANY, SUBMITTED AND APPROVED BY CITY UNDER SEPARATE PERMIT.



NORTH ELEVATION - BUILDING 2



WEST ELEVATION - BUILDING 2



COLOR SCHEDULE

- TWO COURSES X TWO COURSES: OGDN PLUS COLOR REPELLENT MASONRY STAIN SYSTEM TO MATCH DUNN EDWARDS COLOR
- A OGDN PLUS COLOR REPELLENT MASONRY STAIN SYSTEM TO MATCH DUNN EDWARDS COLOR DEC717 "BAKED POTATO" LRV 34
- B NOT USED
- C STUCCO FINISH W/DUNN EDWARDS PAINT COLOR DER136 "TERRACOTTA SAND" LRV 48
- D WINDOW FRAME W/DUNN EDWARDS PAINT COLOR DER367 "BLACK TIE" LRV 6
- E METAL CANOPY W/DUNN EDWARDS PAINT COLOR DER284 "MIDNIGHT SPRUCE" LRV 10
- F ROOF TRIM W/DUNN EDWARDS PAINT COLOR DER087 "MONTEREY BROWN" LRV 17
- G STUCCO FINISH W/DUNN EDWARDS PAINT COLOR DER780 "ROCKLED GRAY" LRV 45
- H STUCCO FINISH W/DUNN EDWARDS PAINT COLOR DER142 "FLOATING FEATHER" LRV 65
- J STUCCO FINISH W/BEHR PAINT COLOR 2100-7 "FIREBRICK"
- K BERTRIDGE HIGH STANDING SEAM TEE-PANEL METAL ROOF PREFRESHED GALVALUME ASTM 752-88 AZ-55



**SOUTHERN AVENUE
 RETAIL CENTER**
 2110 W. SOUTHERN AVE
 &
 2120 W. SOUTHERN AVE
 MESA, ARIZONA 85202



NOT FOR CONSTRUCTION

WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 W Chandler Blvd, Suite 123
 Chandler, Arizona 85224-7532
 (602) 265-1891



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BUILDING ELEVATIONS

SOUTHERN RETAIL PLAZA

EXTERIOR SIGNAGE

NOTE: COST FOR PROVIDING NECESSARY ELECTRICAL WIRING TO SIGN AREA IS NOT INCLUDED IN SIGN PROPOSAL.

YESCO LLC
LAS VEGAS DIVISION
5119 SO. CAMERON ST.
LAS VEGAS, NV 89118
PHONE: (702) 876-8080
WWW.YESCO.COM



Client Name & Address
SOUTHERN RETAIL PLAZA
2110 & 2120 SOUTHERN AVE.
MESA, AZ 85202

Project Tracking Number
6094393

Project Name
SOUTHERN
RETAIL PLAZA

Account Executive
**TIM
LAMBSON**

Designer
**JAMIE
PETERSON**

Design Approval

Checked by:

Creative Director:

Estimating

Account Executive

Client:

Rev / Date / Designer

08/19/14 - JP

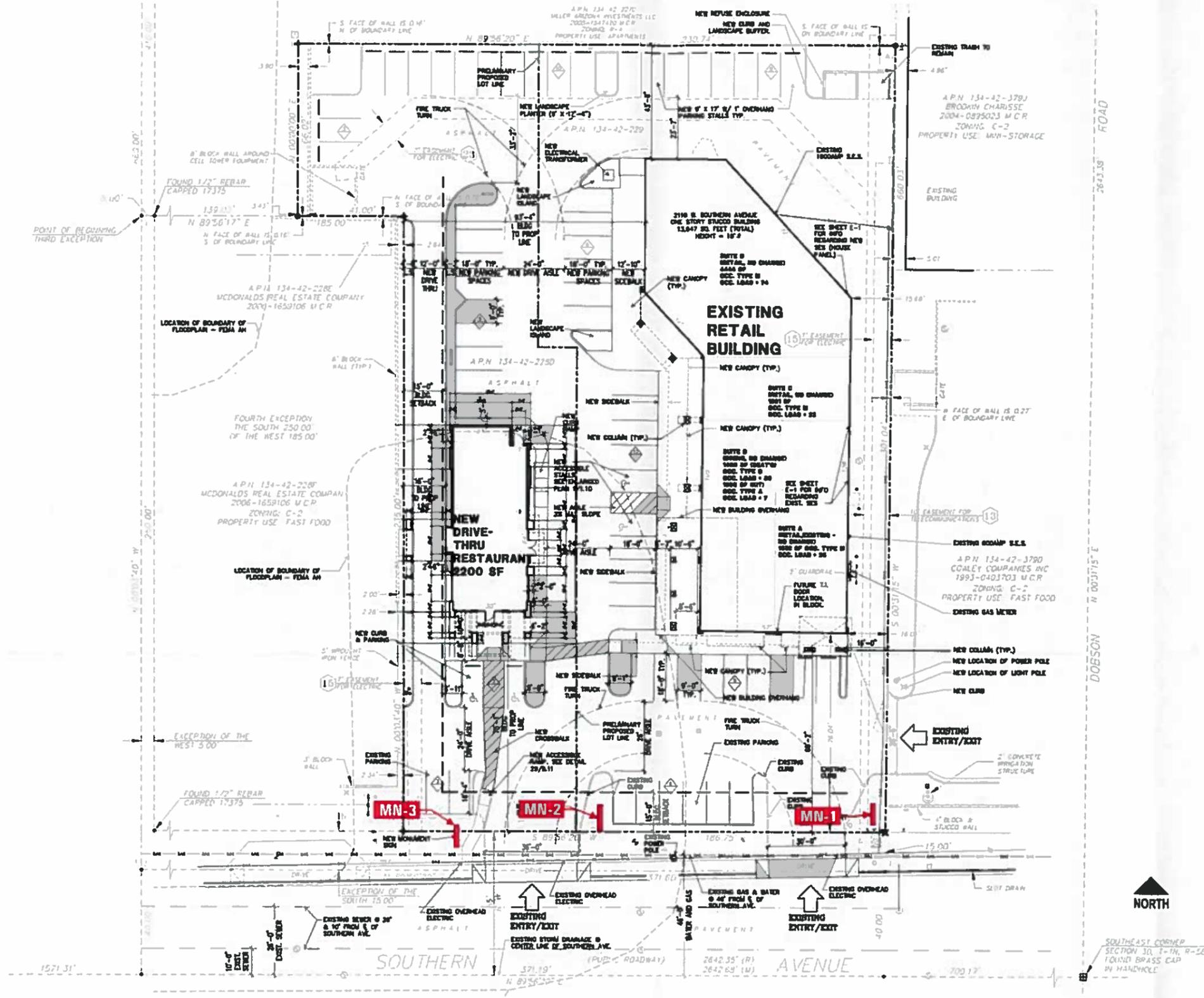
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COVER SHEET

Classification:
CVR

Reference Design

DWG. Serial

Sheet:
CVR



NEW ILLUMINATED D/F MONUMENT SIGN
 SCALE @ 1/2" = 1'-0" QTY = ONE (1) EA REQD

NOTE: COST FOR PROVIDING NECESSARY ELECTRICAL WIRING TO SIGN AREA IS NOT INCLUDED IN SIGN PROPOSAL.

YESCO LLC
 LAS VEGAS DIVISION
 5119 SO. CAMERON ST.
 LAS VEGAS, NV 89118
 PHONE: (702) 876-8080
 WWW.YESCO.COM

YESCO

Client Name & Address:
SOUTHERN RETAIL PLAZA
 2110 & 2120 SOUTHERN AVE.
 MESA, AZ 85202

Project Tracking Number:
6094393

Project Name:
SOUTHERN RETAIL PLAZA

Account Executive:
TIM LAMBSON

Designer:
JAMIE PETERSON

Design Approver:

Checked by:

Creative Director:

Estimating:

Account Executive:

Client:

Rev / Date / Designer:
 08/19/14 - JP

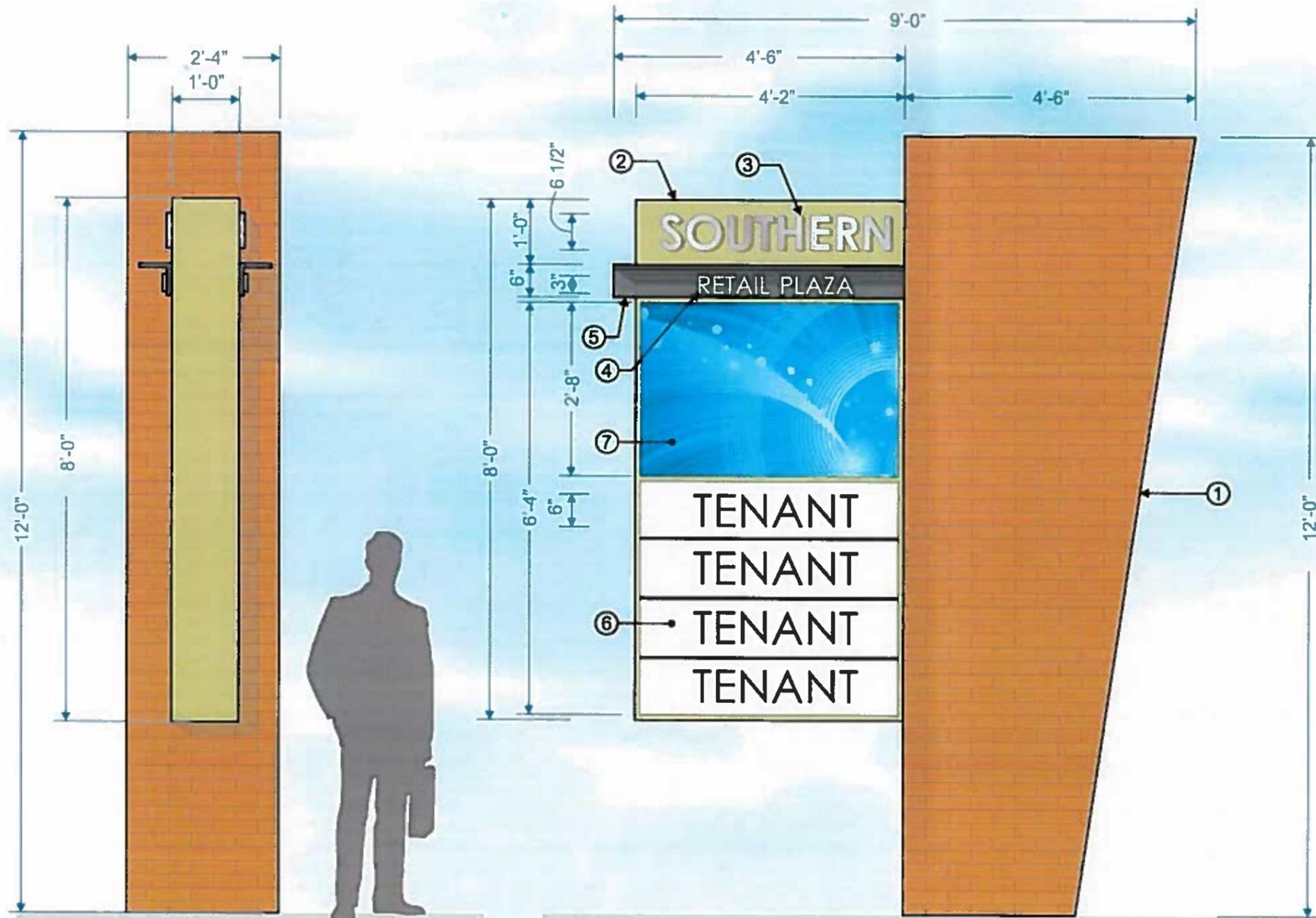
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SITE PLAN

Drawn by:
SITE

Reference Design:

D.S.M. Seal

Sheet:
SITE

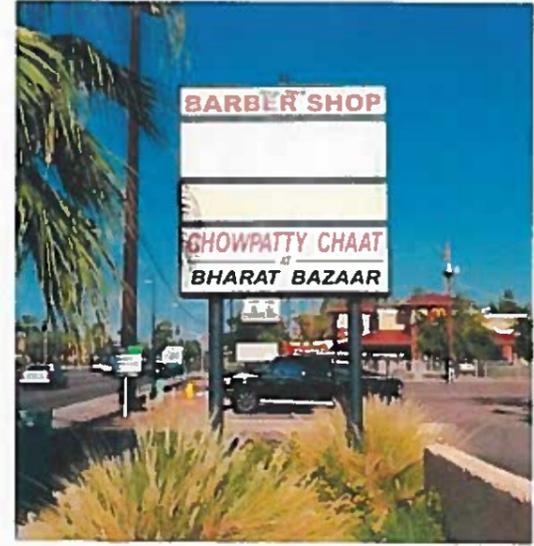


NOTES

REMOVE EXISTING D/F MONUMENT SIGN
MANUFACTURE AND INSTALL ONE (1)
D/F MONUMENT SIGN

- ① BRICK BASE SUPPORT. BRICKWORK TO MATCH BUILDING FINISH.
- ② D/F SHEET METAL CABINET. PAINTED TO MATCH DUNN EDWARDS DEC780.
- ③ FLAT CUT OUT LETTERS. BRUSHED STAINLESS FINISH.
- ④ FLAT CUT OUT LETTERS. PAINTED WHITE.
- ⑤ 6" X 6" ANGLE IRON. PAINTED TO MATCH DUNN EDWARDS DE6294
- ⑥ ILLUMINATED TENANT PANELS. WHITE ACRYLIC W/ VINYL LOGOS. LOGOS T.B.D.
- ⑦ FULL COLOR 6MM LED DISPLAY 128 X 192. VISUAL OPENING: 4'-0" X 2'-8"

- DUNN EDWARDS DEC780 "TICKLED CROW"
- DUNN EDWARDS DE6294 "MIDNIGHT SPRUCE"
- BRUSHED STAINLESS STEEL FINISH
- "DUSTY ROSE" BRICKWORK



EXISTING

MN-1 NEW ILLUMINATED D/F MONUMENT SIGN
SCALE @ 1/2" = 1'-0" QTY = ONE (1) EA REQ'D

NOTE: COST FOR PROVIDING NECESSARY ELECTRICAL WIRING TO SIGN AREA IS NOT INCLUDED IN SIGN PROPOSAL.

YESCO LLC
LAS VEGAS DIVISION
5119 SO CAMERON ST
LAS VEGAS, NV 89118
PHONE: (702) 876-8080
WWW.YESCO.COM

YESCO

Client Name & Address:
SOUTHERN RETAIL PLAZA
2110 & 2120 SOUTHERN AVE.
MESA, AZ 85202

Project Tracking Number:
6094393

Project Name:
SOUTHERN RETAIL PLAZA

Account Executive:
TIM LAMBSON

Designer:
JAMIE PETERSON

Design Approvals:
Checked by:

Creative Director:

Estimating:

Account Executive:

Client:

Rev / Date / Designer:
08/19/14 - JP

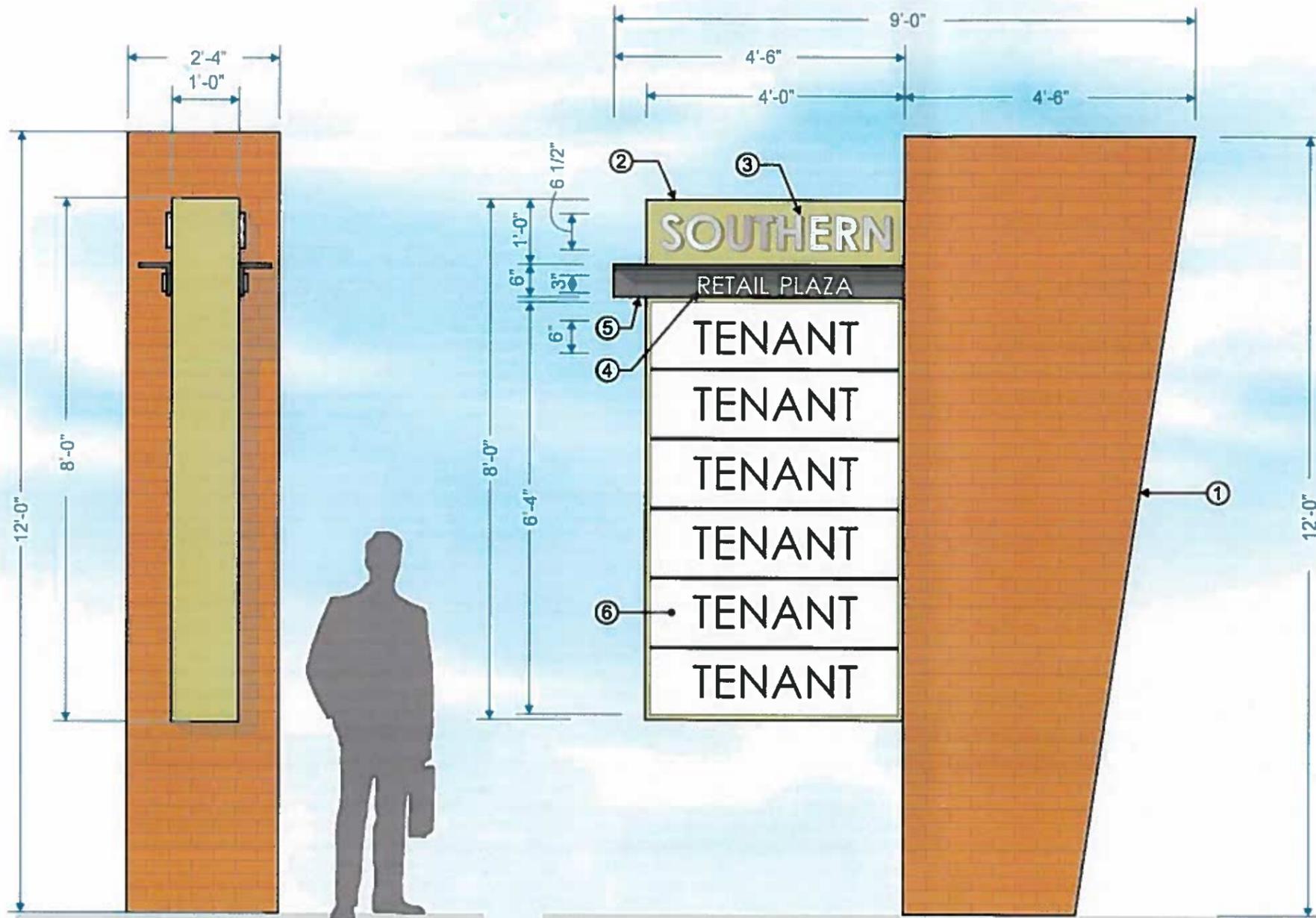
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MONUMENT SIGNS

Classification:
MN-1

Reference Design:

O.E.M. Serv:

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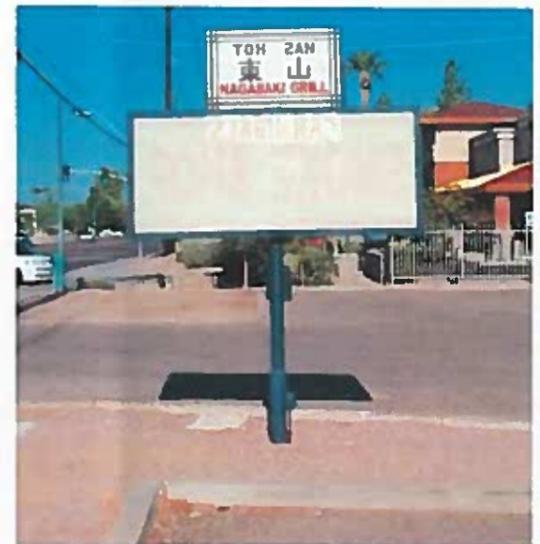


NOTES

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MANUFACTURE AND INSTALL ONE (1)
D/F MONUMENT SIGN

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- ③ FLAT CUT OUT LETTERS. BRUSHED STAINLESS FINISH.
- ④ FLAT CUT OUT LETTERS. PAINTED WHITE.
- ⑤ 6" X 6" ANGLE IRON. PAINTED TO MATCH DUNN EDWARDS DE6294
- ⑥ ILLUMINATED TENANT PANELS. WHITE ACRYLIC W/ VINYL LOGOS. LOGOS T.B.D.

- DUNN EDWARDS DEC780
"TICKLED CROW"
- DUNN EDWARDS DE6294
"MIDNIGHT SPRUCE"
- BRUSHED STAINLESS
STEEL FINISH
- "DUSTY ROSE"
BRICKWORK



EXISTING

MN-2 NEW ILLUMINATED D/F MONUMENT SIGN
SCALE @ 1/2" = 1'-0" QTY = ONE (1) EA REQ'D

NOTE: COST FOR PROVIDING NECESSARY ELECTRICAL WIRING TO SIGN AREA IS NOT INCLUDED IN SIGN PROPOSAL.

YESCO LLC
LAS VEGAS DIVISION
5119 SO. CAMERON ST.
LAS VEGAS, NV 89118
PHONE (702) 876-8080
WWW.YESCO.COM
BY CONTRACT LICENSE: RETAIL, RESIDENTIAL & RESTAURANT



Client Name & Address:
SOUTHERN RETAIL PLAZA
2110 & 2120 SOUTHERN AVE.
MESA, AZ 85202

Project Tracking Number:
6094393

Project Name:
SOUTHERN
RETAIL PLAZA

Account Executive:
TIM
LAMBSON

Designer:
JAMIE
PETERSON

Design Approval's

Checked by:

Creative Director:

Estimating:

Account Executive:

Client:

Rev / Date / Designer:
08/19/14 - JP

Description:
MONUMENT
SIGNS

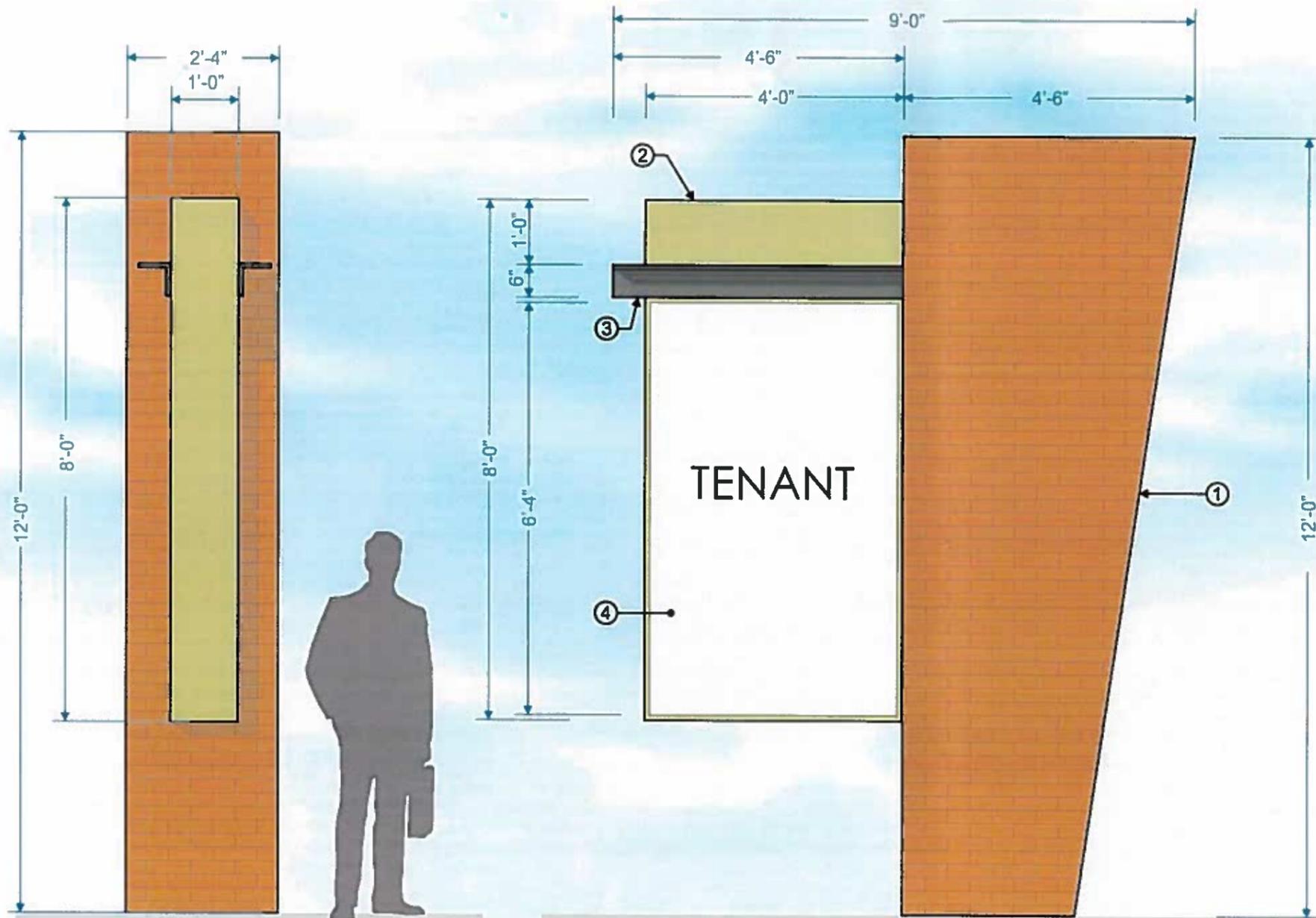
Classification:
MN-2

Reference Design:

Q. E. M. Design

Sheet:

2.0



NOTES

REMOVE EXISTING D/F MONUMENT SIGN
MANUFACTURE AND INSTALL ONE (1)
D/F MONUMENT SIGN

- ① BRICK BASE SUPPORT. BRICKWORK TO MATCH BUILDING FINISH.
- ② D/F SHEET METAL CABINET. PAINTED TO MATCH DUNN EDWARDS DEC780.
- ③ 6" X 6" ANGLE IRON. PAINTED TO MATCH DUNN EDWARDS DE6294
- ④ ILLUMINATED TENANT PANELS. WHITE ACRYLIC W/ VINYL LOGOS. LOGOS T.B.D.

-  DUNN EDWARDS DEC780 "TICKLED CROW"
-  DUNN EDWARDS DE6294 "MIDNIGHT SPRUCE"
-  BRUSHED STAINLESS STEEL FINISH
-  "DUSTY ROSE" BRICKWORK



EXISTING

MN-3 NEW ILLUMINATED D/F MONUMENT SIGN
SCALE @ 1/2" = 1'-0" QTY = ONE (1) EA REQ'D

NOTE: COST FOR PROVIDING NECESSARY ELECTRICAL WIRING TO SIGN AREA IS NOT INCLUDED IN SIGN PROPOSAL.

YESCO LLC
LAS VEGAS DIVISION
5119 SO. CAMERON ST.
LAS VEGAS, NV 89118
PHONE: (702) 876-8080
WWW.YESCO.COM
BY CONTRACTOR LICENSE #102181, #102182, #102183 & #102184

YESCO

Client Name & Address:
SOUTHERN RETAIL PLAZA
2110 & 2120 SOUTHERN AVE.
MESA, AZ 85202

Project Tracking Number:
6094393

Project Name:
SOUTHERN RETAIL PLAZA

Account Executive:
TIM LAMBSON

Designer:
JAMIE PETERSON

Design Approvals

Checked by:

Creative Director:

Estimating

Account Executive

Client:

Rev / Date / Designer
08/19/14 - JP

Description:
MONUMENT SIGNS

Classification:
MN-3

Reference Design

© U.M. Signs

Sheet:
3.0



Southwest corner

Remove existing building overhangs.
 New shading canopies will be attached to the wall.
 Brick veneer will be added onto some walls (see elevations)
 Repainting all walls on all sides.
 A new tower element will take part of smokeshop and extend out to the end of the sidewalk to provide shade beneath for pedestrians. A new tower element will take part of Andrew's Barbeque (west end) and extend out to the end of sidewalk and a patio will be added in the area for the restaurant.
 Extended sidewalks will occur and parking sizes will be 9'x16' with 2' overhang.



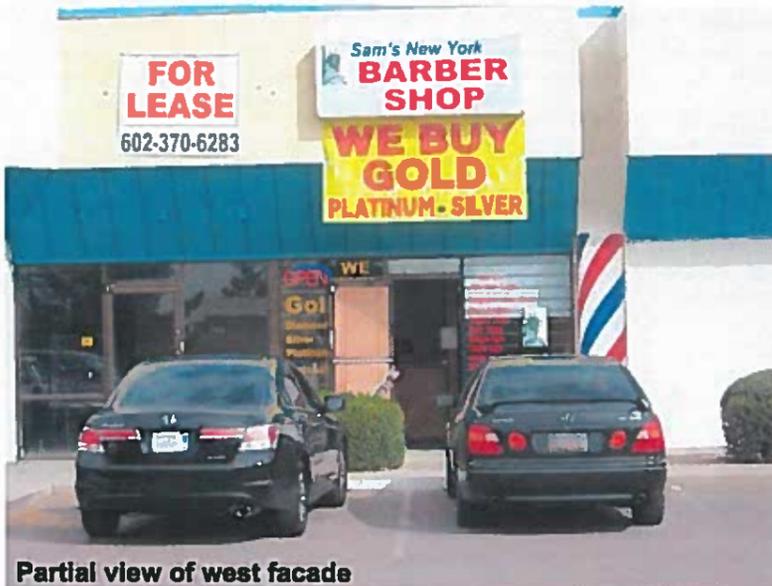
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 New shading canopies will be attached to some of the walls.
 New columns will be added (see elevations)
 Repainting all walls on all sides.
 A new tower element will be located here for Andrews Barbeque and extend out to the end of sidewalk and a patio will be added in the area for the restaurant.
 A new tower element will also be added for Bird's Cage.
 Extended sidewalks will occur and parking sizes will be 9'x16' with 2' overhang.



Existing building overhang (Bird's Cage), will be removed and replaced with tower element that extends out to the middle of sidewalk and will provide shade beneath for pedestrians.
 Existing planters in this location will be removed.
 Walls will be repainted.



Existing building overhang - will be removed and replaced.
 Repainting window frames as needed



Partial view of west facade

Remove existing building overhangs.
 New shading canopies will be attached to these walls.
 New columns will be added (see elevations)
 Repainting all walls on all sides.
 Existing painting stripes will be removed.



East wall

Back wall (east end) will only be repainted.



Northeast wall

Northeast wall will only be repainted

SOUTHERN AVE RETAIL
 MESA, ARIZONA

LAWRENCE & GEYSER
 DEVELOPMENT

PRELIMINARY
 Expires 12/31/2012

WHITNEYBELL ARCHITECTS INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 (602)265-1891

ARCHITECTURE AND PLANNING

Southern Ave Retail Center
 Existing Site Photographs

29 SEPT 2011



Southwest corner

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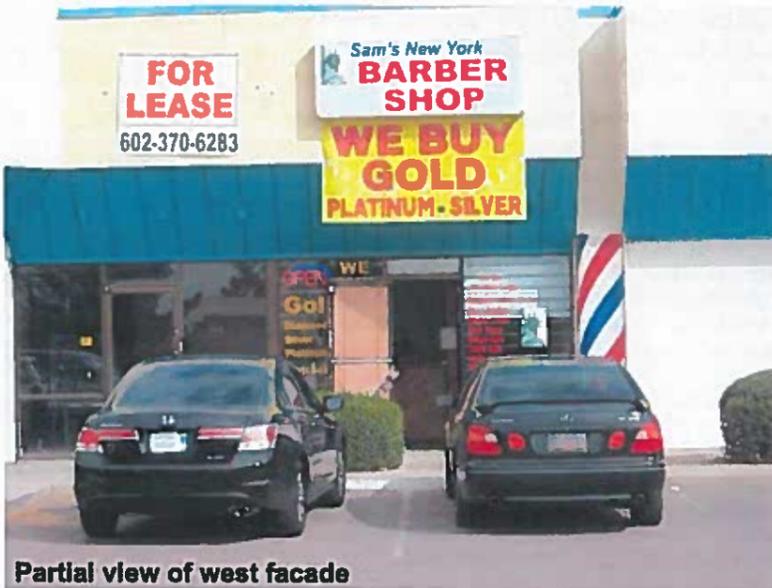
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 Existing painting stripes will be removed.



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Northeast wall

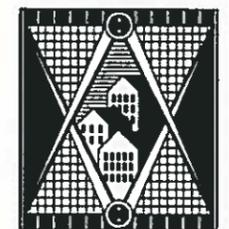
Northeast wall will only be repainted

SOUTHERN AVE RETAIL
 MESA, ARIZONA

LAWRENCE & GEYSER
 DEVELOPMENT

PRELIMINARY
 Expires 12/31/2012

WHITNEYBELL ARCHITECTS INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
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Southern Ave Retail Center
 Existing Site Photographs

29 SEPT 2011

Justification and Compatibility Statement
13 October 2014

City of Mesa
55 North Center Street
Mesa, AZ 85201

RE: Southern Avenue Retail Center
2110 W. Southern Ave.
&
2120 W. Southern Ave.
Mesa, Arizona 85202

WHITNEYBELL PERRY INC

1102 EAST MISSOURI AVENUE
PHOENIX, ARIZONA 85014-2784



ARCHITECTURE & PLANNING
PHOENIX ■ CHANDLER

Whitneybell Perry Inc. (WPI), on behalf of Lawrence and Geysler Development (L&G), has the opportunity to re-develop the underutilized property located at 2110 & 2120 W. Southern Ave. in the City of Mesa, AZ. This 1.60 acre site is in a great location and well suited for L&G's business plan. L&G has successfully redeveloped underutilized commercial properties in the Phoenix Metro area on numerous occasions. Our proposed redevelopment of 2110 and 2120 W. Southern Ave. will provide highly desirable leasable retail space in a great location, while our site design and architecture will enhance the aesthetics of the entire community.

With our business plan serving the needs and desires of the neighborhood as well as supporting the surrounding community, it is our goal to coexist with our surrounding area, create stability in business, and have positive impacts on the community.

Customers are made aware of the property primarily via drive-by awareness. Attractive imaging and brand name recognition will draw area residents and employees from the surrounding neighborhood, while providing an aesthetically pleasing development for the community.

L&G's retail centers feature modern building and site design assuring that the facility compliments the community it serves with architectural compatibility and attractive landscaping while promoting the individual tenants in order to insure successful economics. L&G is deliberate about positioning our location to be of service and to generate tax revenue for the City of Mesa for decades to come.

PROJECT NARRATIVE

WPI has prepared this narrative for the opportunity to receive the City of Mesa's participation and counseling in regards to zoning and land use as well as site development for a property located at 2110 & 2120 W. Southern Ave. in Mesa, AZ.

The subject property, a former strip retail center with a free standing restaurant building, is located on the North side of Southern Avenue, just East of San Jose St. and West of Dobson Rd. The parcel is designated as Neighborhood Commercial under the voter approved Mesa 2025 General Plan. The property is currently zoned Light Commercial (LC- formerly C-2). The property consists of two lots totaling 1.60 acres and has two existing single story buildings. The property is currently only partially occupied.

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At this time L&G is proposing to completely re-develop the entire site with more attractive landscaping, retention, parking, drive aisles, and site lighting and to demolish the existing free standing restaurant building on the Western portion of the lot in order to construct a new leasable shell building for retail/dining with a drive-through aisle. This location will offer prime commercial retail leasable space adjacent to the residential, commercial, and employment land uses that currently surround the site.

The new leasable shell building will receive an exterior treatment to match the recently remodeled existing retail building. The street front elevations will allow for storefront windows to showcase tenant product and provide better visibility. Areas of accent color and building signage will be utilized to make the exterior attractive. Every effort will be made to break up the massiveness and to articulate the fenestration. Exterior colored elevations and a rendering have been submitted as part of the overall design review application.

The site will be improved by the addition of new landscaping materials and signage. All landscaping will be maintained in order to provide better visibility for security purposes and to improve the overall appearance of the site. New interior circulation drives will be added to facilitate movement within the site, connecting the existing driveways for better security and fire protection, and reducing number of vehicles entering and exiting the right-of-way. New grading plans and landscape plans will be submitted as part of the overall design review application.

The proposed use as a light commercial center continues the function of providing space for needed services to the adjacent neighborhoods. The improvements to the building and the site will lessen the impact on the surrounding properties including improved sound buffering, air quality, and aesthetic impacts on the.

With careful site design and modern construction methods, this property will reinvigorate an existing property, improve the aesthetics and property value along the Southern Avenue corridor, and provide opportunities for much needed services and businesses to serve the community at large. We feel that L&G's proposal for reinvigorating this development will be an asset to the community.

Justification for the Request to Waive certain Design Standards

We are requesting that the City of Mesa waive certain design standards due to special circumstances and conditions which apply to our project. The subject project is an existing development and should not be held to the same standards as a new development. The subject project has significant constraints which limit the utility of the property unless some modification is allowed. While the proposed development will not meet the development standards for new site development in the Fiesta District, it will result in a net decrease in building area, and net increases in conformance with landscaping, parking, site lighting, drainage, and building aesthetics.

The site is located within the Fiesta District which encompasses 2 square miles and is located between the US 60 and the north side of Southern Avenue and between the Tempe Canal and Extension Road.

The Fiesta District Urban Design Principles establish a foundation for the District's vision to create a uniquely identifiable area for Mesa that is an economically vibrant, pedestrian-friendly, and an active, urban destination.

The District is expected to evolve into a thriving, exciting, and economically vibrant area by defining a brand and a sense of place, as well as improving the aesthetics and the pedestrian flow within the area. The District's Design Principles indicate this will be accomplished by

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DEVELOPMENT & SUSTAINABILITY

incorporating furnishings and fixtures, design elements, lush landscaping, way-finding and other signage to improve the overall appearance and atmosphere of the Fiesta District through the built environment.

There is a desire for buildings within the District to face and interact with the street to create an interesting and engaging pedestrian environment with new development moving forward to the sidewalk and seas of parking no longer dominating the frontage.

New and more urban style residential development is desired to attract a diversity of age groups, while new office spaces, residential town homes, and apartments are expected to flourish above and behind ground floor uses to promote a more "walkable" environment.

The applicant therefore specifically requests waiver from the following site improvement standards noted in the staff report as follows:

1. Reduce building side yard setback at West property line from 15 feet required to 1'-0".

Reasoning: The existing building is located 8'-0" from the West property line. The proposed new building will be located 16'-0" from the property line, only the drive-thru canopy will be located within the 15'-0" required setback. The proposed drive-thru canopy is 16'-0" in length and located 1'-0" from the West property line. An enhanced landscape area 4'-0" wide with additional 2'-0" of landscaping on the adjacent property in addition to an existing 6'-0" masonry fence will provide adequate buffering between the two parcels.

2. Reduce the site development standard for size and spacing of landscape islands within the parking area.

Reasoning: The existing parking area contains no landscaped islands. The proposed site development includes half diamond landscape peninsulas located at the midpoint of each parking row as well as full length landscape peninsulas at the ends of each row. The net effect is an overall improvement in the provision of landscaping areas within the parking area over what currently exists.

3. Reduce the number of parking spaces required from 87 parking spaces to 63 parking spaces.

Reasoning: The existing parking layout was designed to implement the parking standards in place at the time of the prior development. The new proposal results in a reduction of gross square footage of buildings from 14,994 s.f. to 13,083 s.f., and an increase in total parking spaces provided from 58 spaces to 63 spaces. The proposed development implements cross access driveways to allow adjacent parcels to share parking as well as to improve inter-parcel access. The proposed development implements wider drive aisles and increased turning radii for improved fire access, solid waste collection access, and added landscaping islands. The proposed development realigns and widens the main driveway to meet current C.O.M. driveway design standards. Based on hours of operation, different times of peak use for various tenants, and joint access, we believe it is appropriate to reduce the required number of spaces.

4. Reduce the front yard landscape setback from 15'-0" to 5'-0".

Reasoning: The front yard landscape setback is implemented to increase the buffer yard between building and or parking from the pedestrian environment in at the street frontage. The City of Mesa is requesting an increased 10'-0" dedication for future right-of-way along Southern Avenue. The City of Mesa is currently implementing the recommendations of the Fiesta Improvement District to reduce Southern Avenue from three lanes to two lanes in the westbound direction which will result in an increased distance from back of curb to the parking area. The proposed parking layout moves the front row of parking Northwards, away from the existing front property

line (55' ROW) by 7'-0", such that the proposed parking will no longer be located within the increased right-of-way.

5. Reduce the number of required pedestrian link/access from two to one.

Reasoning: The frontage of the entire parcel is 186.75'. Providing a second pedestrian link for a project of this size and scale would necessitate a further reduction of the number of parking spaces and would provide no significant benefit over what can be achieved by a single access. It is highly likely that pedestrian customers will access both buildings during a normal visit.

Proposed Findings

1. The proposed redevelopment of the site invokes conformance with current development standards including the City of Mesa Zoning Ordinance and the Fiesta District Design Handbook; Private Realm Design Guidelines.
2. At the time of initial development in 1994, the setbacks, foundation base, and landscape requirements of the Zoning Code varied or were non-existent when compared to the development standards of the current Code.
3. The proposed project provides 62 parking spaces on-site where 87 are required. The reduced parking should not affect the lot as the proposed development reduces gross s.f. and increases total number of parking spaces.
4. Requiring compliance with the current code would not allow the redevelopment of the site to occur.
5. The deviations requested are consistent with the degree of change requested and improve the site significantly making it an asset to the Fiesta District.
6. The proposed improvements help bring the site into a closer degree of conformance with current standards.
7. The proposed use will not be detrimental to surrounding properties.

CONCLUSION

The proposal for the reuse of the property at 2110 & 2120 W Southern Ave. will be a good addition to the community of Mesa. We will improve the aesthetics as compared to the existing underutilized property. We will reduce or eliminate the negative side effects of the previous site plan which lacked pedestrian amenities, landscaping, and adequate drainage facilities. We will provide a valuable and necessary service to the community. We will continue the City's efforts to revitalize the Southern Avenue corridor which are currently underway. This proposal will not result in conflicts pertaining to noise, odor, or other factors. We respectfully request that staff, Board of Adjustment, Design Review Board, and Planning & Zoning Commission support our application to reuse the property in question.

Thank you for your consideration in this matter.

Sincerely,



Michael Robin Benning, Project Architect
WHITNEYBELL PERRY INC
ARCHITECTURE & PLANNING

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DEVELOPMENT & SUSTAINABILITY

Citizen Participation Report for Southern Avenue Retail Center
PLN 2014-00467
Date: 4 November 2014

Overview: This report provides results of the implementation of the Citizen Participation Plan for the Southern Avenue Retail Center. This site is located at 2110 and 2120 W Southern Ave. west of the northwest corner of Dobson Road and Southern Ave. The application is requesting Site Plan Review/Modification, Design Review Board, Land Division, and Substantial Conformance Improvement Permit for an existing 2.96 acre parcel zoned LC for Light Commercial. This report provides evidence that citizens, neighbors, public agencies and interested persons have adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

Contact:
Mike Perry
575 W Chandler Blvd Ste #123
Chandler, AZ 85225
Phone 602-256-1891
Email: mike@whitneybellperry.com

Neighborhood Meeting: One neighborhood meeting was held where citizens were invited to discuss the applicant's proposal and no citizens attended. [see attached sign in sheet];

1. 09/09/14 - Southern Avenue Retail Center, 2110 W Southern Avenue, Suite B, Mesa, AZ 85202. First neighborhood meeting – September 9, 2014

Correspondence and Telephone Calls:

1. Neighborhood meeting notification letters mailed to contact list (40), including property owners and registered neighborhoods on 08/29/14. (see attached list and example of materials mailed) 8 letters were returned.
2. No phone calls received.

Results:

There are 40 persons on the contact list as of the date of this citizen participation report (see attached)

Summary of concerns, issues and problems:

No issues, concerns or problems were raised.

Sincerely,

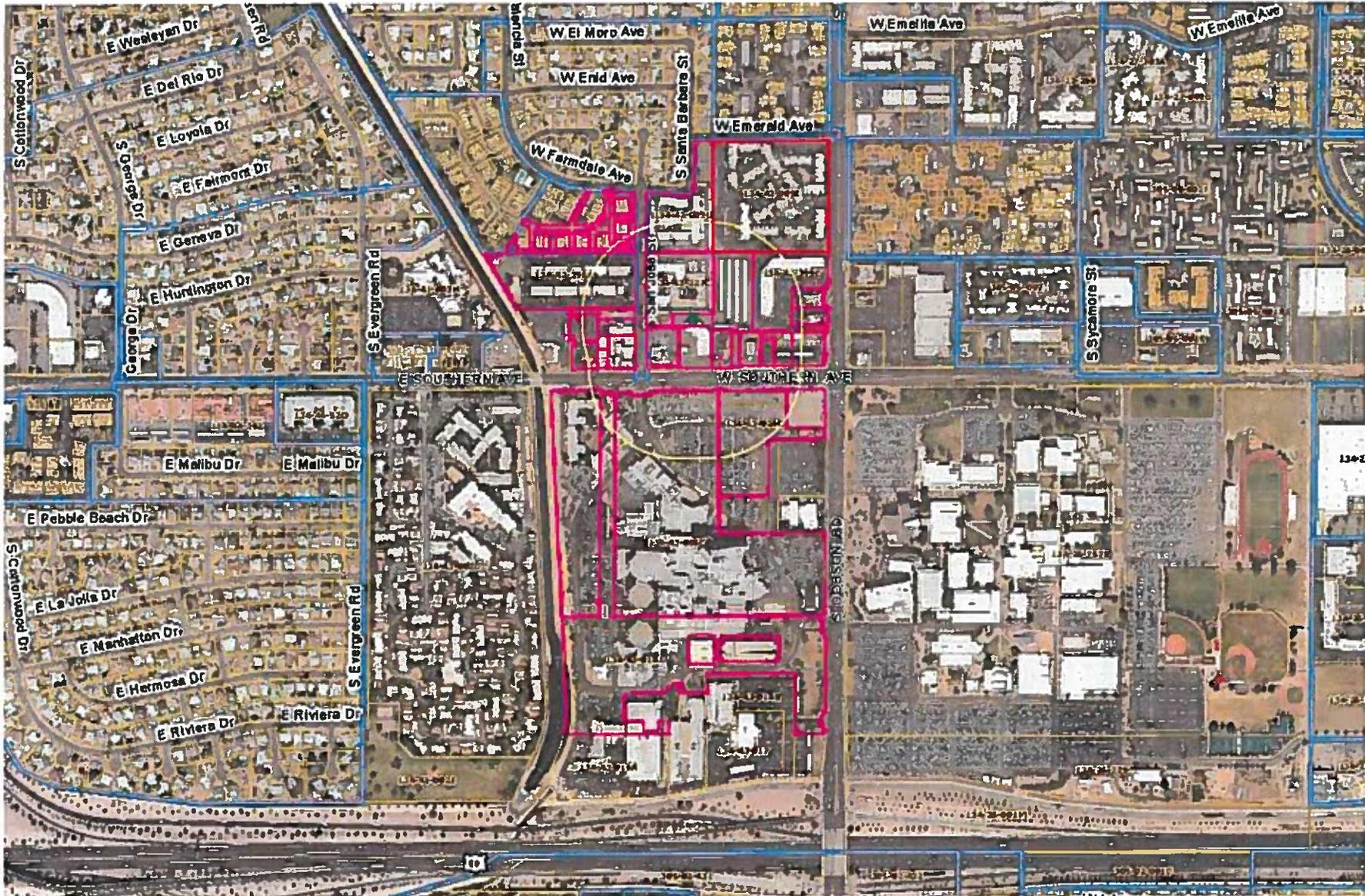
Mike Perry AIA, NCARB, LEED AP
Principal
WHITNEYBELL PERRY INC
ARCHITECTURE & PLANNING

WHITNEYBELL PERRY INC

1102 EAST MISSOURI AVENUE
PHOENIX, ARIZONA 85014-2784



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DEVELOPMENT
**SOUTHERN AVENUE
RETAIL CENTER**
134-2
210 W. SOUTHERN AVE
575 W. CHANDLER BLVD, SUITE 123
MESA, ARIZONA 85205

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-7724
575 W Chandler Blvd, Suite 123
Chandler, Arizona 85224-7532
(602) 265-1871



NOTIFICATION MAP SHOWING 600' RADIUS

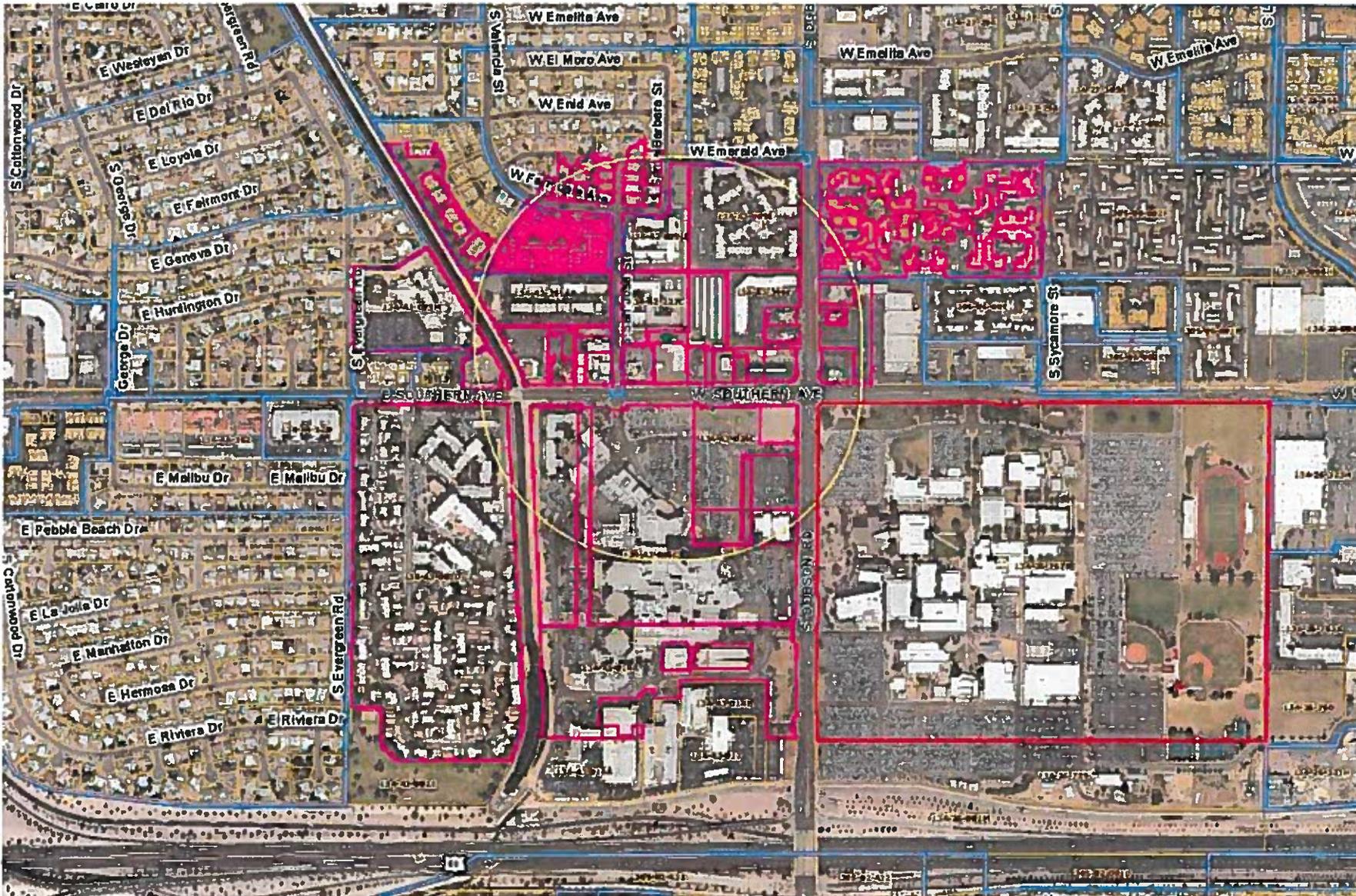


SITE ADDRESS:
210 W. SOUTHERN AVE.
MESA, AZ 85202
PARCEL NUMBERS:
134-42-2200 & 134-42-2201

210 W. SOUTHERN AVE.
MESA, AZ 85202

110
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20 Aug 2014
NOTIFICATION MAP

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LAWRENCE & GREYSER DEVELOPMENT
SOUTHERN AVENUE RETAIL CENTER
 2110 W. SOUTHERN AVE
 2120 W. SOUTHERN AVE
 MESA, ARIZONA 85202

WHITNEYBELL PERRY INC
 102 East Missouri Avenue
 Phoenix, Arizona 85014 2784
 575 W. Oarder Blvd, Suite 123
 Chandler, Arizona 85224-7532
 (602) 745-1871



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NOTIFICATION MAP SHOWING 1000' RADIUS



SITE ADDRESS:
 2110 W. SOUTHERN AVE.
 MESA, AZ 85202
PARCEL NUMBERS:
 134-42-2200 & 134-42-2201

2110 W. SOUTHERN AVE.
 MESA, AZ 85202

1110
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 28 Aug 2014
NOTIFICATION MAP

08/28/2014 10:00 AM 1000' RADIUS NOTIFICATION MAP FOR 2110 W. SOUTHERN AVE, MESA, AZ 85202