

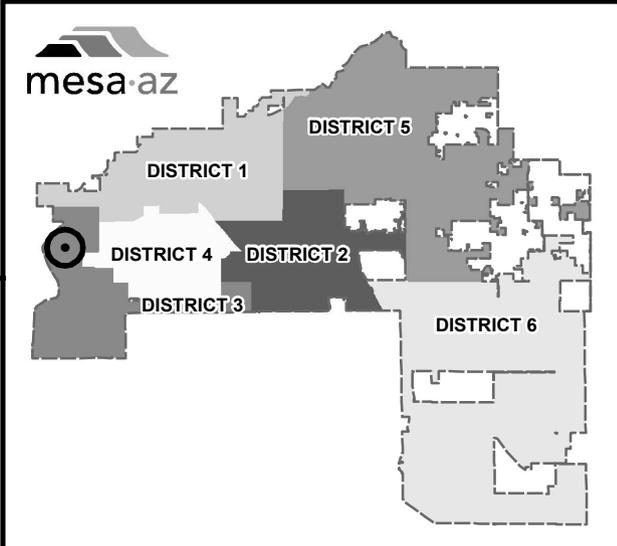
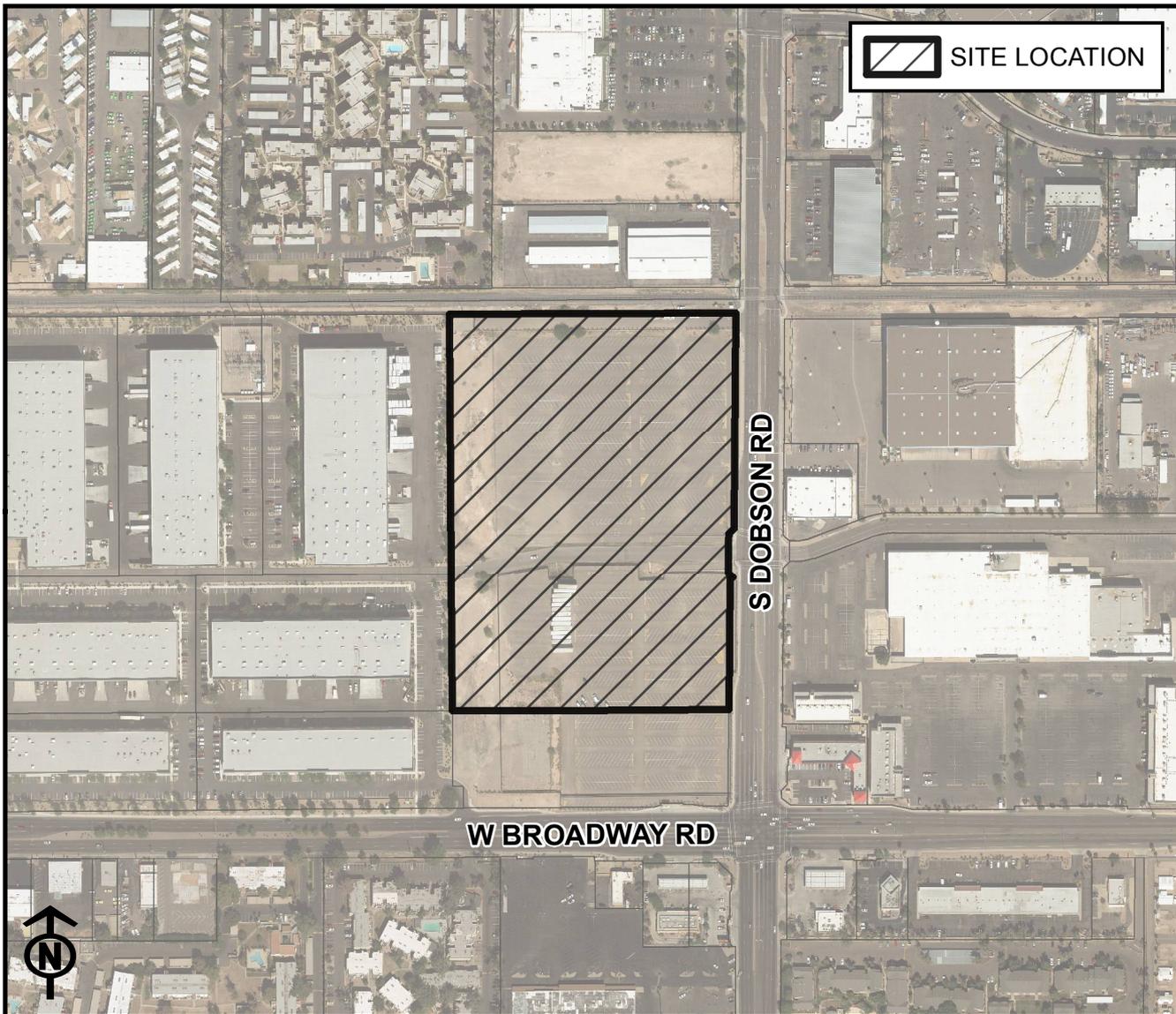
Z14-041

Z14-041

Z14-041

Z14-041

Z14-041



PLANNING AND ZONING VICINITY MAP

CASE:
Z14-041

PROJECT:
BROADWAY 101 COMMERCE PARK - PHASE 3

ADDRESS:
232 S DOBSON RD - LOCATED WEST OF DOBSON RD ON THE NORTH SIDE OF BROADWAY RD

REQUEST:
MODIFICATION OF THE EXISTING PAD OVERLAY IN THE LI ZONING DISTRICT AND SITE PLAN REVIEW. THIS REQUEST WILL ALLOW FOR THE DEVELOPMENT OF A GROUP INDUSTRIAL CENTER. (PLN2014-00289)



Planning and Zoning Board

Case Information

CASE NUMBER: Z14-041 (PLN2014-00289)
LOCATION/ADDRESS: 232 South Dobson Road.
GENERAL VICINITY: Located west of Dobson Road on the north side of Broadway Road.
REQUEST: Modification of the existing PAD overlay in the LI zoning district and Site Plan Review.
PURPOSE: This request will allow for the development of a group industrial center.
COUNCIL DISTRICT: District 6
OWNER: Kenn Francis PRA/LB LLC
APPLICANT: Stephen Krager, Euthentics Architecture
STAFF PLANNER: Wahid Alam, AICP

SITE DATA

PARCEL NUMBER: 134-37-017
PARCEL SIZE: 15.5± acres
EXISTING ZONING: Light Industrial Planned Area Development (LI PAD)
GENERAL PLAN DESIGNATION: General Industrial (GI)
CURRENT LAND USE: Parking lot (old Motorola plant)

SITE CONTEXT

NORTH: Existing parking lot – zoned LI PAD
EAST: Dobson Road, then – strip retail zoned LI
SOUTH: Vacant (NWC Broadway and Dobson approved for a convenience store)-zoned LI PAD. (across from Broadway Road) Circle K – zoned GC and existing retail – zoned LC district.
WEST: Existing Broadway 101 Commerce Park –Phase 2 – zoned LI PAD

ZONING HISTORY/RELATED CASES:

February 2, 1966: Annexed to City (Ord. # 510)
November 1, 2004: Rezone from M-1 to M-1 PAD (Z04-73) (Ord. #4298)

STAFF RECOMMENDATION: Approval with Conditions
P&Z BOARD DECISION: Approval with conditions. Denial
PROP 207 WAIVER: Signed Not Signed

PROJECT DESCRIPTION/REQUEST

This request is for: 1) a Site Plan Review to allow the addition of two buildings (totaling 212,984 square feet) in an existing industrial center and, 2) a modification of the existing PAD Overlay on this 15.5 acre site to allow the encroachment of parking stalls into the north setback and an increased building height. Primary access to the site is from Dobson Road with vehicular circulation around the two freestanding buildings and secondary access through the existing industrial center to the west. The site was previously the location of the Motorola plant and was designated as an expansion area as part of the approval for the Broadway 101 Commerce Park industrial center (Z04-073 LI-PAD) on this site. The architecture and landscaping were discussed by the Design Review Board at their June 4, 2014 work session. The revised site plan, building elevations and landscape plan have addressed Design Review Board's suggestions.

DEVELOPMENT STANDARDS

The proposed site plan conforms to the development standards of the Zoning Ordinance in regards to setbacks, parking, landscaping, and foundation base. The applicant is not requesting major deviations from standards, except for the encroachment of parking stalls into the required landscape yard along the north property line. The LI zoning district allows a maximum of 40-foot tall buildings, the proposed buildings will have a maximum height of 47'-10" including a painted steel cornice cap feature. These minor deviations will be addressed by the modification of the existing PAD overlay. Staff is supportive of these modifications.

NEIGHBORHOOD PARTICIPATION

The applicant has completed a Citizen Participation Plan which included mailing letters to all property owners within 500' of the site and registered neighborhoods and homeowners associations within 1000'. The Citizen Participation report indicates two neighborhood meetings were held on June 19 and June 27, 2014. At both meetings no neighbors showed up for the presentation. The applicant posted the property per requirements and mailed notification letters for the public hearing to the same radius. To date neither staff nor the applicant has received any inquiries about the proposal.

CONFORMANCE WITH THE GENERAL PLAN

The adopted Mesa 2025 General Plan designates this site as General Industrial. This designation identifies areas where intensive or hazardous manufacturing, assembly, and storage operations and indoor/outdoor storage takes place. Residential use is not permitted in this category. Appropriate locations offer direct principal arterial and arterial road access, connections to potable water and sanitary sewer, and proximity to public safety services. General Industrial areas are to be isolated and are appropriately buffered from other less intense employment or residential areas. General Industrial areas are located on and with direct access to principal arterial and arterial streets, rail facilities, and airports. The proposed use is permitted in the LI zoning district and is in conformance with the General Plan.

STAFF ANALYSIS

This request is for site plan review of an underutilized parking lot for two industrial buildings as Phase 3 of the Broadway 101 Commerce Park development. This proposed development will complete the former Motorola site redevelopment except for one small commercial pad site along Broadway. The proposed development will be accessible from Dobson Road by three driveways. The main entry will be by a private driveway off of the existing signalized traffic intersection serving the largest building to the north and smaller building to the south. This private driveway will connect the existing Commerce Park to the west with the proposed development and Dobson Road. There is cross-access provided to the approved convenience store to the south at the northwest corner of Dobson and Broadway Roads. The proposed site plan shows a car wash type development on parcel 2. Future Site Plan Review will be required for specific uses by the P&Z Board.

This request also includes a modification to the approved PAD. The current proposal develops the site to current development standards except for a few minor deviations in landscape setbacks, foundation base, and building height. The PAD modification will address those deviations.

CONCERNS:

Staff had initial concerns with the building orientation. Specifically, staff was concerned with the lack of curb appeal and design along the Dobson Road frontage and the lack of screening of the loading docks from the Broadway Road frontage. The proposed building orientations are such that both buildings position their public entrances facing the internal private driveway with the Dobson Road frontage being exposed to the end walls of each building. The applicant worked with staff to address these issues and enhance the curb appeal along Dobson Road and buffer the view towards the loading dock from Broadway Road through the incorporation of the following design solutions:

- a) Increased building articulation on end walls facing Dobson Road including false store front glass door and windows.
- b) The addition of building elements that are compatible with the existing Commerce Park and future improvements along the Dobson Road frontage.
- c) The provision of pedestrian connections between Dobson Road and the existing Commerce Park to the west.
- d) Enhanced railing panel in the retention area along the Dobson Road frontage.
- e) Enhanced entry monumentation at the Dobson Road entry with monument signs to match the existing ones on Broadway Road.

The applicant has worked well with staff to resolve these minor concerns related to the proposed development and staff is supportive of the site plan.

CONCLUSION:

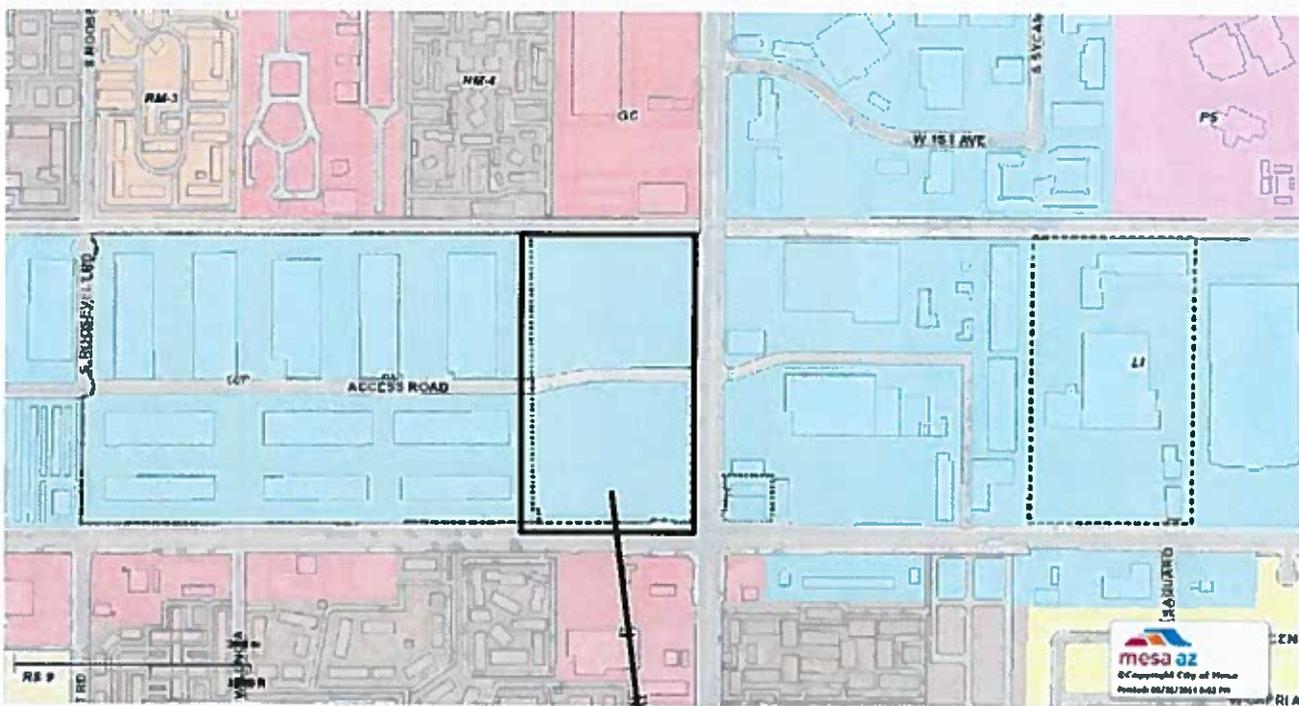
Staff recommends approval of the Site Plan and the modification of the existing PAD Overlay with the following conditions:

CONDITIONS OF APPROVAL:

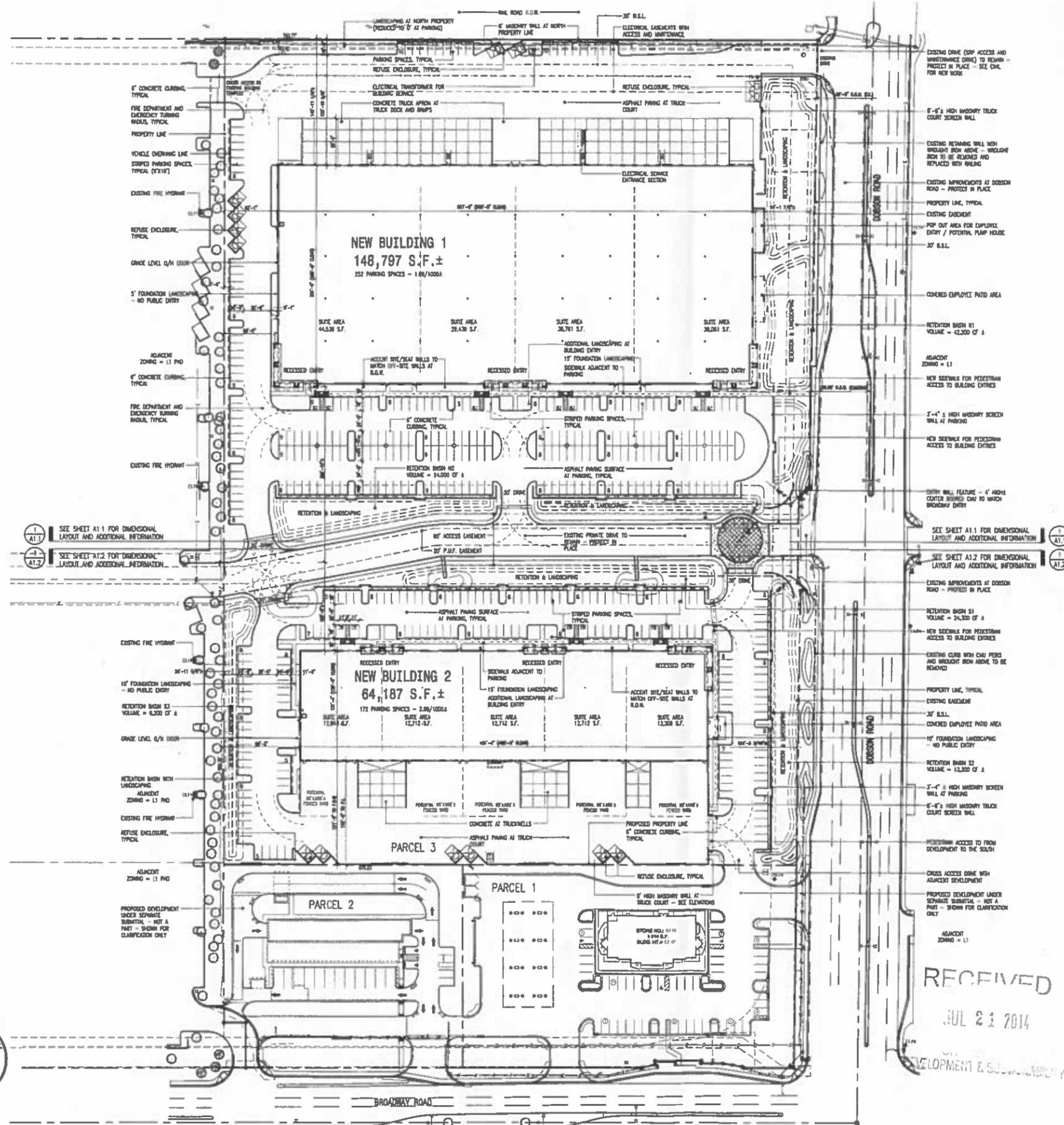
1. Compliance with the basic development as described in the project narrative and as shown on the site plan, landscape plan, and building elevations (updated exhibits submitted on July 22, 2014) except as otherwise conditioned.

2. Compliance with all requirements of Design Review approval.
3. Compliance with all City development codes and regulations.
4. Signs (detached and attached) require separate approval and permit for locations, size, and quantity.
5. **All perimeter landscaping shall be installed prior to receiving the Certificate of Occupancy for the first building constructed.**
6. **The retention basin guard rails along Dobson Road shall be installed per typical railing panel identified in drawing sheet #A7 submitted on July 22, 2014.**
7. **The building details such as the painted steel cornice cap feature, arched awning with perforated metal fronting Dobson Road, etc. shall match in color, material and texture with existing buildings in previous phases along Broadway.**
8. **The interior of the parapets shall be finished with approved building material, color and texture.**

Existing Zoning Map



Proposed Site



PROJECT INFORMATION:

PROJECT ADDRESS:
NORTHWEST CORNER OF BROADWAY AND DOBSON ROADS - MESA, ARIZONA
APPLICATION SUBMITTED FOR ADDRESS ASSIGNMENT

PROJECT DESCRIPTION:
PROPOSED DEVELOPMENT WITH (2) ONE STORY INDUSTRIAL BUILDINGS TOTALING APPROXIMATELY 212,984 S.F. ± ON THE REMAINING PORTION OF LAND (APPROX. 113,402 AC.) OF THE BROADWAY 101 COMMERCE PARK. PROPOSED BUILDINGS TO BE BUILT ON THE FIRST TWO PHASES WITH BUILDINGS ORIENTED TO FRONT ON THE PRIVATE DRIVE THAT CUTS THROUGH THE SITE WITH ACCESS OFF OF DOBSON ROAD. THE SOUTHWEST BUILDING TO HAVE ACCESS PROPOSED DEVELOPMENT TO THE SOUTH WHICH IS UNDER SEPARATE SUBMITTAL AND REVIEW. SITE PLAN REQUIRES CHANGES TO PHD AND WILL BE DEVELOPED WITH LANDSCAPE, PARKING AND RETENTION TO MEET CITY ORDINANCE REQUIREMENTS.

LEGAL DESCRIPTION:
LOT 7, BROADWAY 101 COMMERCE PARK, PHASE 3, ACCORDING TO THE PLAN, RECORDED IN BOOK 623 OF MAPS, PAGE 44, AND THE AFFIDAVIT OF CONNECTION, RECORDED IN RECORDS NO. 2004-000743, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NUMBER: 134-33-017 **QUARTER SECTION:** 5-0

ZONING: I-1 PHO **NET AREA:** 67,943 S.F. ± (25,402 AC)
SITE AREA: **CROSS AREA:** 743,982 ± (17.27 AC)

BUILDING AREA:
BUILDING 1: 148,797 S.F. ±
BUILDING 2: 64,187 S.F. ±
TOTAL BUILDING AREA: 212,984 S.F. ±

COVERAGE: 212,984 S.F. / 67,943 S.F. ± = 315% ±

CONSTRUCTION TYPE: 10-478 (PROPOSED - UNLIMITED AREA CATEGORY)

OCCUPANCY: 0 / 11 / 51 (BUSINESS / PRODUCTION / STORAGE)

SHELL BUILDINGS: - NO OCCUPANT LOAD

PARKING REQUIREMENTS:

BUILDING 1 (148,797 S.F. WITH 20% OFFICE)	
OFFICE AREA: 30,420 S.F. / 37% S.F. ±	71 SPACES
WAREHOUSE AREA: 118,377 S.F. / 80% S.F. ±	131 SPACES
TOTAL PARKING REQUIRED (BUILDING 1) =	202 SPACES**
TOTAL PROVIDED PARKING:	252 SPACES
ACCESSIBLE PARKING SPACES REQUIRED / PROVIDED:	7 SPACES
BUILDING 2 (64,187 S.F. WITH 20% OFFICE)	
OFFICE AREA: 12,730 S.F. / 37% S.F. ±	30 SPACES
WAREHOUSE AREA: 51,457 S.F. / 80% S.F. ±	58 SPACES
TOTAL PARKING REQUIRED (BUILDING 2) =	88 SPACES
TOTAL PROVIDED PARKING:	172 SPACES**
ACCESSIBLE PARKING SPACES REQUIRED / PROVIDED: 4 SPACES	

** TYPICAL PARKING SPACES 8'-0" X 18'

PROJECT TEAM

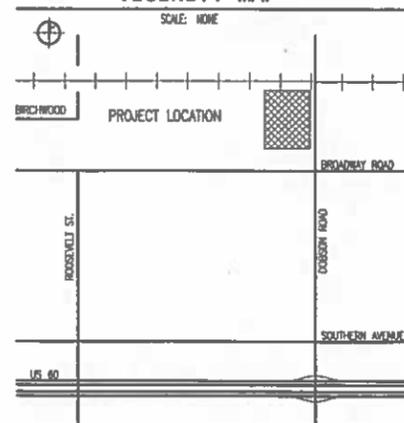
OWNER:
PRA/LB LLC
474 PACIFIC REALTY ADVISORS
6700 EAST EXETER BOULEVARD
SCOTTSDALE, ARIZONA 85251
CONTACT: TERRY FINNICK
VOICE: (480) 224-8771
FAX: (480) 224-8777

ARCHITECT:
STEPHEN M. KRACER AND ASSOCIATES
3210 NORTH CENTRAL AVENUE
SUITE 100
PHOENIX, ARIZONA 85012
CONTACT: STEPHEN M. KRACER
VOICE: (602) 252-0886
FAX: (602) 252-0827

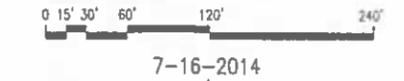
LANDSCAPE ARCHITECT:
PARKING DESIGN GROUP
1200 WEST WILLOW DRIVE
PHOENIX, ARIZONA 85015
VOICE: (602) 908-0300
CONTACT: STEPHEN PARKING

CIVIL ENGINEER:
CALDWY DESIGN GROUP
148 3RD STREET
SUITE 645
OAKLAND, CA 94607
CONTACT: REED PARKING
VOICE: (415) 385-1452
FAX: (415) 224-8823

VICINITY MAP



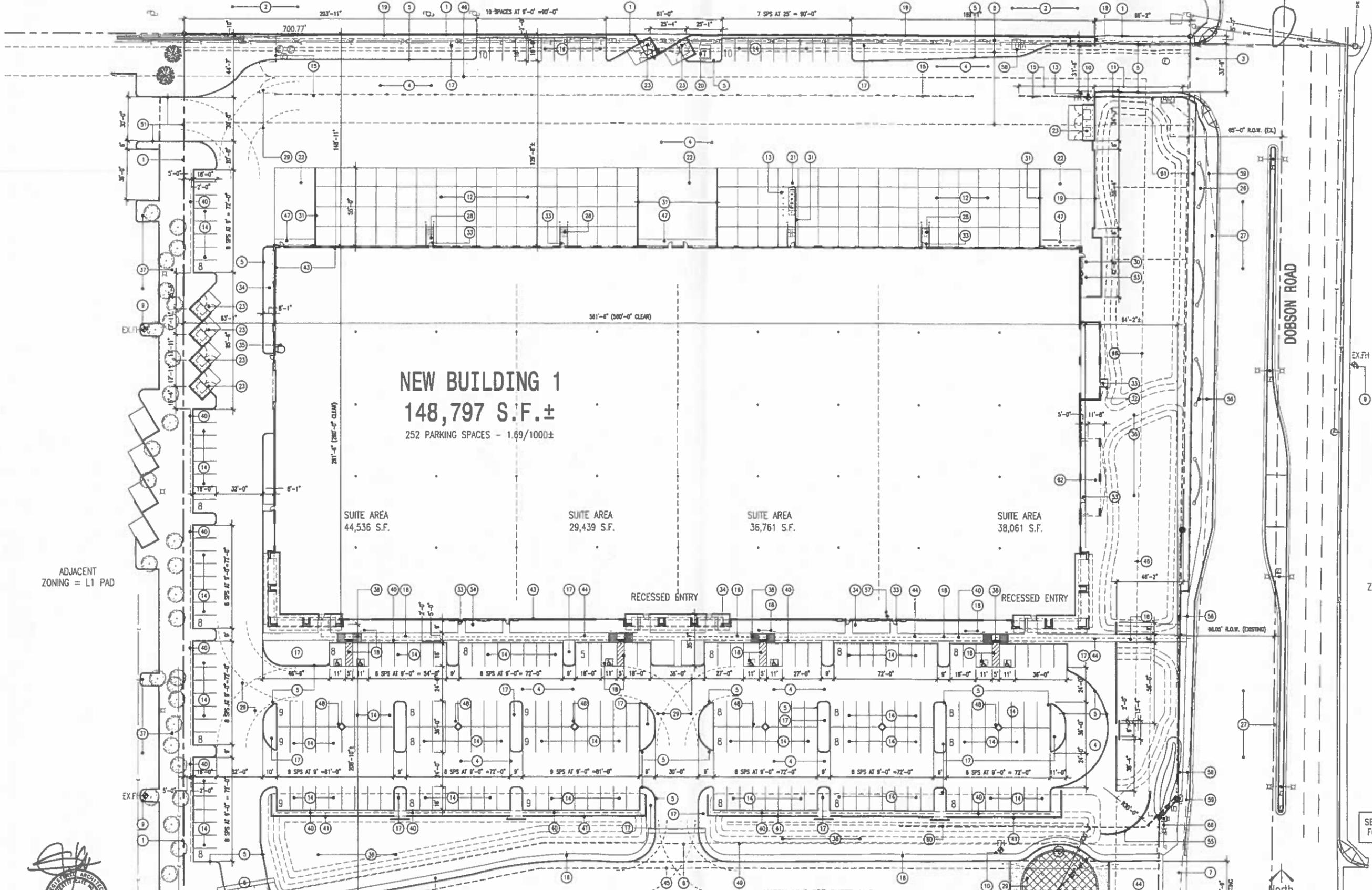
Schematic Site Plan

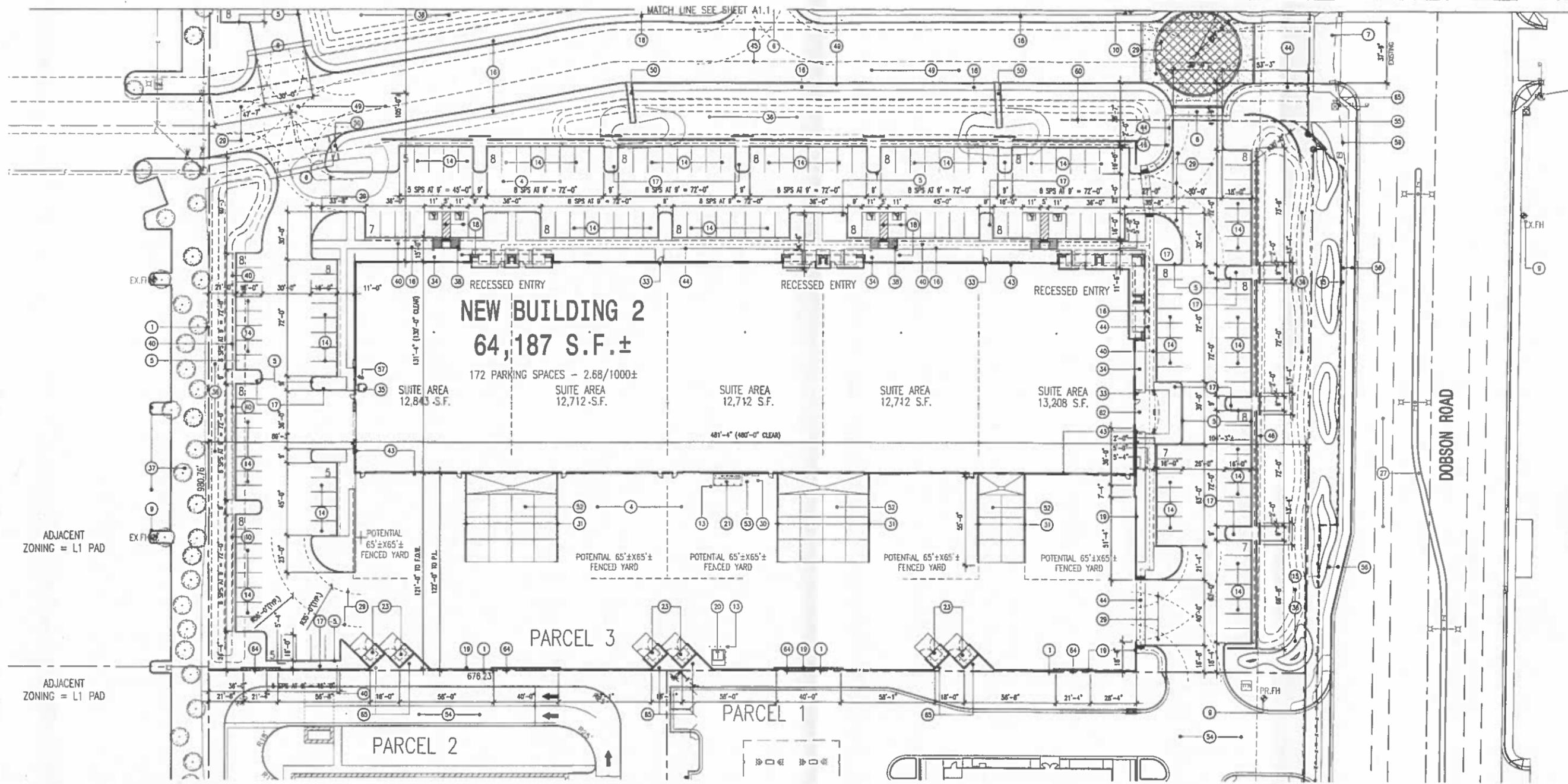


7-16-2014



RECEIVED
JUL 21 2014
DEVELOPMENT & SUBMITTAL





SITE PLAN KEY NOTES:

- 1 PROPERTY LINE - TYPICAL, SEE CIVIL FOR ADDITIONAL INFORMATION.
- 2 EXISTING RAILROAD RIGHT OF WAY - PROTECT IN PLACE.
- 3 EXISTING DRIVE FOR SRP ACCESS AND MAINTENANCE TO SRP SUB-STATION LOCATED ON ADJACENT SITE TO THE WEST - PROTECT IN PLACE.
- 4 ASPHALT PAVING OVER COMPACTED A.B.C. SEE CIVIL DRAWINGS AND SOILS REPORT FOR PAVING SECTIONS AND REQUIREMENTS.
- 5 CONCRETE CURBING - SEE CIVIL PLAN FOR LOCATIONS OF VERTICAL CURB, EXTRUDED CURB AND CURB & CUTTER.
- 6 NEW DRIVEWAY PER CITY OF MESA STANDARDS FROM EXISTING PRIVATE DRIVE - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 EXISTING PRIVATE DRIVE DRIVE WITH LIGHT AT DOBSON AND K-WAY DRIVE - PROTECT IN PLACE.
- 8 EXISTING SRP ELECTRICAL EASEMENTS FOR UTILITY LINES OVERHEAD AND ACCESS / MAINTENANCE - PROTECT IN PLACE.
- 9 EXISTING FIRE HYDRANT, PROTECT IN PLACE.
- 10 NEW FIRE HYDRANT, SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 EXISTING RETAINING WALL WITH MASONRY PERS AND WROUGHT IRON ABOVE - MASONRY PERS AND WROUGHT IRON TO BE REMOVED, REPORT RETAINING WALL AND PAINT - PROVIDE 42" HIGH RAILING WHERE GRADE DIFFERENCE EXCEEDS 18".
- 12 CONCRETE TRUCK APRON, 7" CONCRETE OVER A.B.C. SEE CIVIL DRAWINGS AND SOILS REPORT. ALL CONTROL AND EXPANSION JOINTS SHALL BE CALK. SEE DETAILS INDICATED.
- 13 STEEL PIPE BOLLARD FILLED WITH CONCRETE, SEE DETAIL INDICATED. EXPOSED STEEL TO BE PREPARED AND PAINTED PER SPECIFICATIONS.
- 14 STRIPED PARKING SPACES - SPACE SHALL BE 9'X11'6" WITH 2'-0" VEHICLE OVERHANG 9'X18' W/OUT OVERHANG TYPICAL UNLESS NOTED OTHERWISE.
- 15 EXISTING FENCING TO BE DEMOLISHED - REMOVE FOOTINGS AND OR CONCRETE POST CONCRETE SIDEWALK OVER ABC. SIDEWALK SHALL BE SALT FINISH (PROVIDE SAMPLE TO ARCHITECT). SEE CIVIL DRAWINGS FOR VERTICAL ELEVATIONS.
- 16 EXISTING DRIVEWAY TO ARCHITECT. SEE CIVIL DRAWINGS FOR VERTICAL ELEVATIONS.
- 17 PARKING LOT LANDSCAPING (PARKING ISLAND AND /OR TREE WELL) - SEE LANDSCAPE DRAWINGS.
- 18 ACCESSIBLE PARKING SPACE - PROVIDE PAVEMENT MARKING PER DETAIL 03/A1.2 AND PARKING SIGN PER 04/A1.2 - PROVIDE VAN DECAL ON SIGN AS INDICATED ON SIGN DETAIL.
- 19 8'-0" HIGH MASONRY SCREEN WALL AT TRUCK COURT - BRICK/CMU - SEE EXTERIOR ELEVATIONS FOR BLOCK TYPE AND COLOR. SEE DETAILS INDICATED AND CIVIL DRAWINGS.
- 20 ELECTRICAL UTILITY TRANSFORMER - SEE ELECTRICAL DRAWINGS. CONTRACTOR TO COORDINATE WITH SUPPLYING UTILITY COMPANY. PROVIDE CONCRETE SLAB 12" ABOVE PAVING SURFACE UNDER TRANSFORMER PER UTILITY REQUIREMENTS.
- 21 BUILDING SERVICE ENTRANCE SECTION - SEE FLOOR PLAN AND ELECTRICAL DRAWINGS. CONTRACTOR TO COORDINATE ALL UNDERGROUND CONDUITS BETWEEN BUILDING, SES AND TRANSFORMER.
- 22 CONCRETE TRUCK RAMP - 7" CONCRETE OVER 4" A.B.C. SEE STRUCTURAL AND CIVIL DRAWINGS.
- 23 REFUSE ENCLOSURE WITH SOLID GATES PER CITY OF MESA DETAILS M08.01 THRU M02.07.
- 24 MASONRY SCREEN WALL AT PARKING - 3'-4" TO 4'-0" HIGH SEE DETAILS FOR ADDITIONAL INFORMATION.
- 25 WATER METER AND BACKFLOW PREVENTER - SEE CIVIL AND PLUMBING DRAWINGS. BUILDING SHUT OFF VALVE TO BE IN LANDSCAPE BOX WITH COVER.
- 26 EXISTING LANDSCAPE IN RIGHT OF WAY - PROTECT IN PLACE - SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE IN RIGHT OF WAY AND ON SITE.
- 27 EXISTING STREET IMPROVEMENTS, PROTECT IN PLACE UNLESS NOTED OTHERWISE - SEE CIVIL PLANS FOR ADDITIONAL WORK.
- 28 STEEL STAR WITH STEEL HANDRAILS AT DOCK ACCESS / FIRE ACCESS DOORS SEE FLOOR PLANS.
- 29 DASHED LINES INDICATE FIRE DEPARTMENT TURNING RADII - 35' AT INTERIOR SIDE AND 55' AT EXTERIOR RADII.
- 30 TELEPHONE TERMINAL CABINET IN ELECTRICAL ROOM - SEE ELECTRICAL.
- 31 TRUCK RAMP SIDE WALL AND / OR S.E.S. SCREEN WALL AT SES - CAST IN PLACE CONCRETE WITH RAILING SEE FLOOR PLAN AND PANEL ELEVATIONS.
- 32 CONCRETE STOOP AT ACCESS/EXIT DOOR - PROVIDE PROVIDE 3/4" STOOP WITH SIDEWALK TO RIGHT OF WAY - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 33 FIRE DEPARTMENT ACCESS DOOR FOR HIGH PILE STORAGE SEE FLOOR PLAN.
- 34 FOUNDATION LANDSCAPING PER CITY OF MESA REQUIREMENTS SEE LANDSCAPE PLANS.
- 35 ROOF ACCESS VIA INTERIOR ROOF LADDER TO HOOD HATCH ABOVE SEE FLOOR PLAN AND ROOF PLAN.
- 36 RETENTION BASIN FOR ON SITE DRAINAGE WITH LANDSCAPING - SEE CIVIL AND LANDSCAPE DRAWINGS FOR INFORMATION.
- 37 EXISTING IMPROVEMENTS ON ADJACENT PROPERTY (CURBING, LANDSCAPE AND PARKING, ETC.), PROTECT IN PLACE.
- 38 CONCRETE ACCESSIBILITY RAMP AT ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1:12 - 6" MAXIMUM RISE WITHOUT HANDRAILS - PROVIDE TRUNCATED DOMES AT BOTTOM WHERE PATH LEADS TO TRAFFIC ISLE AS INDICATED.
- 39 6'X6' X 6'-0" CONCRETE PARKING BUMPER AT PARKING SPACE.
- 40 DASHED LINE INDICATES VEHICLE OVERHANG LIMITS.
- 41 8" MASONRY RETAINING WALL TO 3'-4" +/- ABOVE FINISH GRADE AT PARKING AND RETENTION BASIN - SEE CIVIL DRAWINGS AND DETAILS INDICATED.
- 42 F.O.C.(FIRE DEPARTMENT CONNECTION) AT ADDRESS SIDE OF BUILDING.
- 43 EXTERIOR BUILDING WALL - SEE FLOOR PLAN.
- 44 DASHED LINES INDICATE ACCESSIBLE ROUTE FROM BUILDING ENTRIES TO RIGHT OF WAY. SLOPES SHALL NOT EXCEED 1:20 IN TRAVEL DIRECTION AND 1:50 CROSS SLOPE. SEE CIVIL DRAWINGS.
- 45 DASHED LINE INDICATES EXISTING PUBLIC UTILITY EASEMENT.
- 46 DASHED LINE INDICATES BUILDING SETBACK LINE.
- 47 FIRST 3" OF RAMP TO BE 1% SLOPE MAX SEE CIVIL PLANS.
- 48 4'X4' DIAMOND TREE WELL AT PARKING WITH 8" CURB - PROVIDE ENGINEERED LANDSCAPE SOIL PER LANDSCAPE DRAWINGS AND COMPACTION PER SOILS REPORT TO COORDINATE ACCESS DURING CONSTRUCTION.
- 49 EXISTING SCUPPERS AT DRIVE FOR DRAINAGE - SEE CIVIL DRAWINGS FOR MODIFICATIONS TO SPILLWAYS AND DRAINAGE.
- 50 WOODY PARKING AT EXISTING TO PROVIDE ACCESS TO SITE FOR SRP ACCESS AND MAINTENANCE TO SUB-STATION - SEE CIVIL DRAWINGS.
- 51 CONCRETE TRUCKWELL - SEE SOILS REPORT AND STRUCTURAL. SEE CIVIL FOR SLOPE AND CATCH BASIN INFORMATION.
- 52 EXISTING HOUSE PANELS (HIGH AND LOW) PAINT TO MATCH BUILDING COLOR - SEE ELECTRICAL.
- 53 8" MASONRY ENTRY WALL FEATURE TO MATCH ENTRY WALL FEATURE ON BROADWAY ENTRY. - BRICK/CMU CURB CENTER SCORED, PAINTED.
- 54 SIDEWALK AND LANDSCAPING IN RIGHT OF WAY TO REMAIN - CITY OF MESA UNDERWAY WITH STREET IMPROVEMENT PROJECT TO SIDEWALK AND LANDSCAPE - PROJECT NUMBER 06-008-001, CONTRACTOR TO PROTECT NEW WORK IN PLACE.
- 55 PROPOSED FIRE SPRINKLER RISER LOCATION.
- 56 EXISTING TRANSFORMER TO REMAIN - PROTECT IN PLACE.
- 57 SIGHT VISIBILITY TRIANGLE - SEE LANDSCAPE PLAN FOR LIMITATION OF LANDSCAPING IN THESE AREAS.
- 58 EXISTING CONCRETE CURB / WALL TO BE REMOVED - SEE CIVIL PLANS.
- 59 PROVIDE NEW 42" HIGH SAFETY RAILING AT EXISTING RETAINING WALL WHERE GRADE DIFFERENCE EXCEEDS 18" - SEE TYPICAL SECTION ELEVATION ON SHEET A1.
- 60 COVERED EXTERIOR PATIO AREA WITH CONCRETE SLAB.
- 61 4'-6" HIGH MASONRY SCREEN WALL AT EXTERIOR PATIO AREA - SINGLE SCORED CURB, PAINTED.
- 62 PAINTED STEEL TRELIS INSET AT WALL OFFSETS - SEE LANDSCAPE PLAN AND WALL ELEVATIONS.
- 63 LANDSCAPE PLANTER AT REFUSE ENCLOSURE ALONG SOUTH PROPERTY - SEE LANDSCAPE PLAN.
- 64 EXISTING TRAFFIC CONTROL LIGHT TO REMAIN - PROTECT IN PLACE.

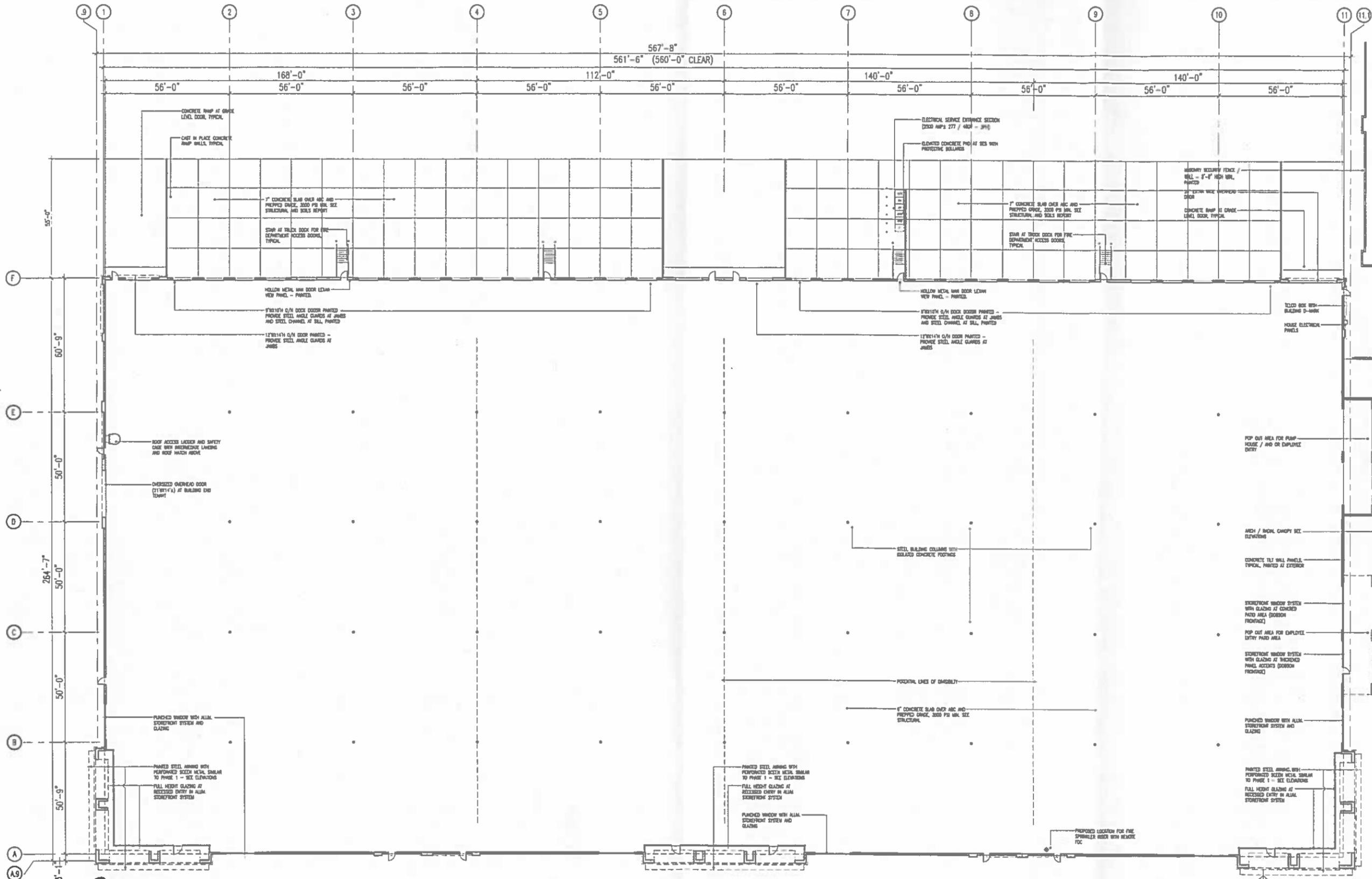


Enlarged Site Plan - South



7-16-2014





Schematic Floor Plan - Building 1



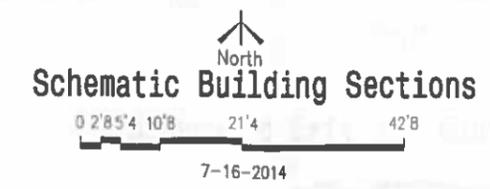
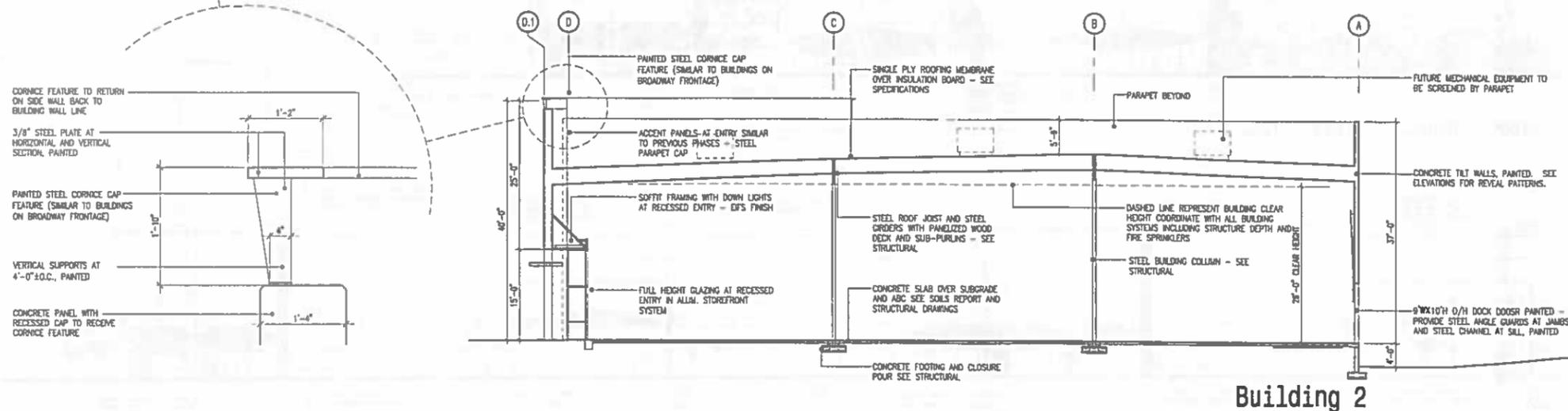
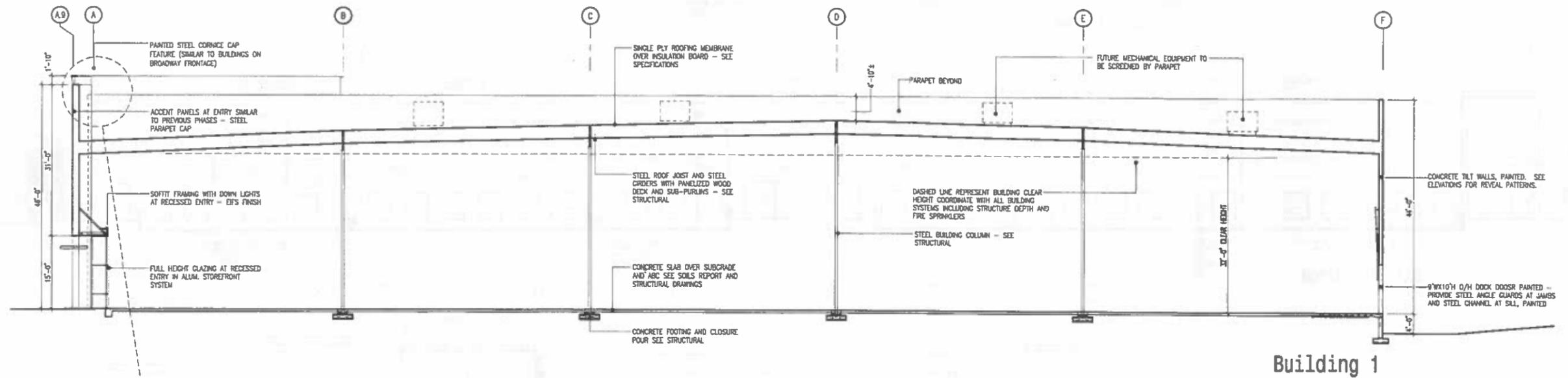
PRA / LB llc - Pacific Realty Advisors

Euthenics
Architecture & Interiors



Broadway 101 Commerce Center Park - Phase 3
Northwest Corner of Broadway & Dobson Road - Mesa, Arizona

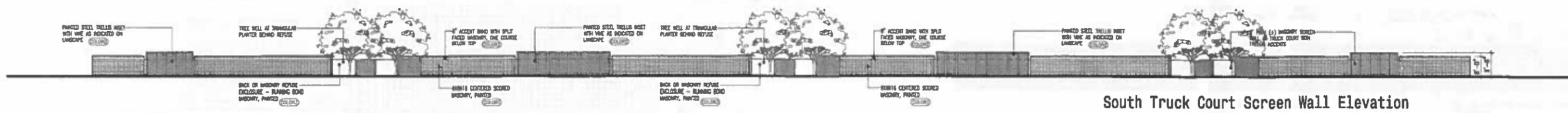
A2



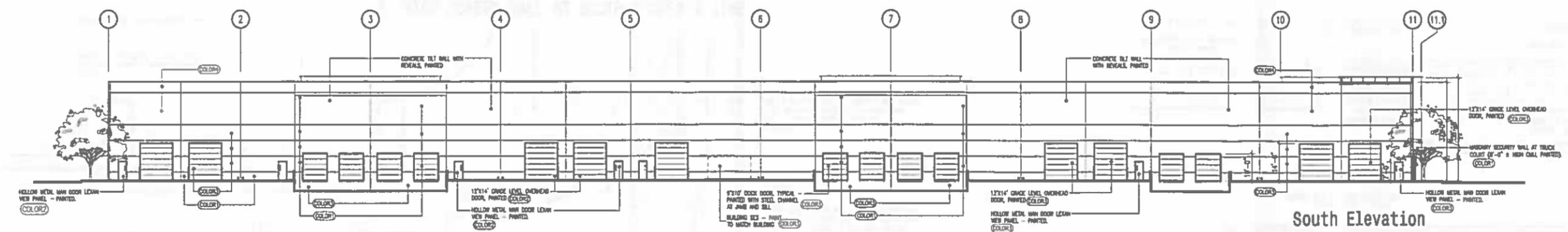
PRA / LB llc - Pacific Realty Advisors



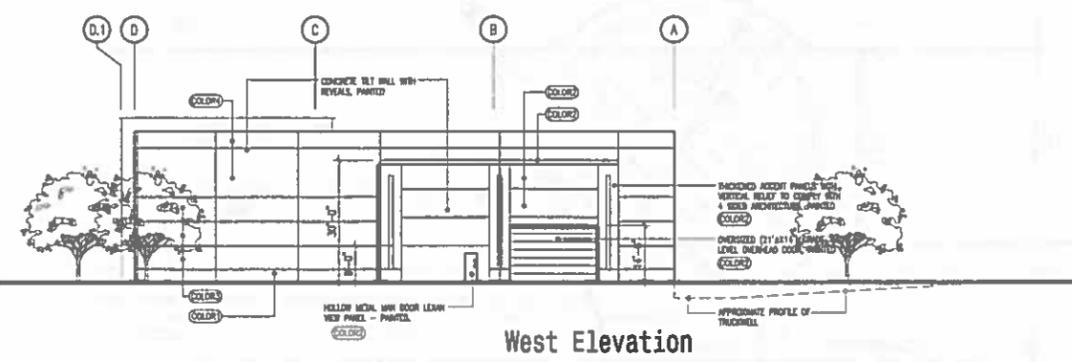
Broadway 101 Commerce Center Park - Phase 3
 Northwest Corner of Broadway & Dobson Road - Mesa, Arizona



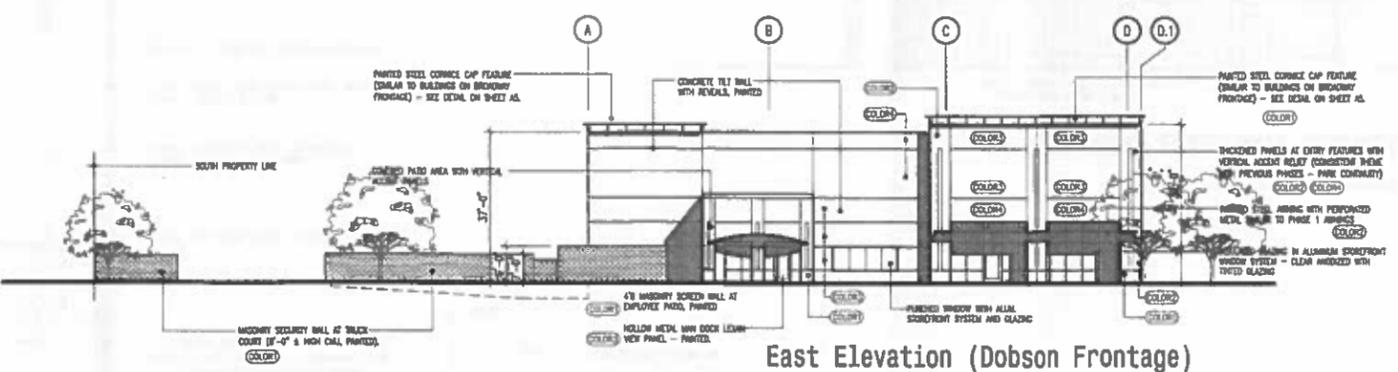
South Truck Court Screen Wall Elevation



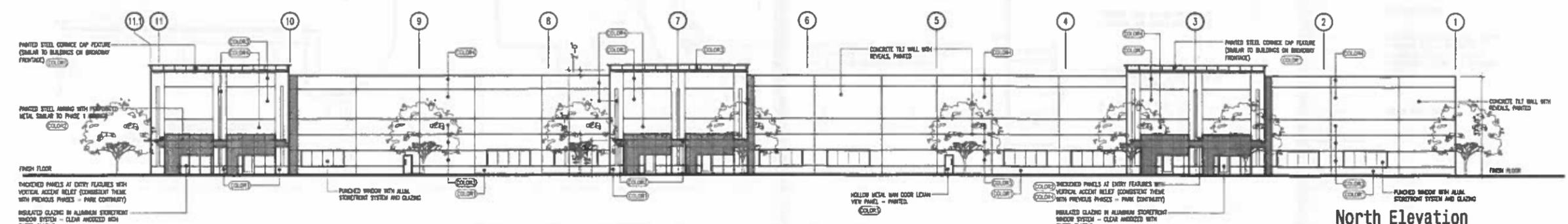
South Elevation



West Elevation



East Elevation (Dobson Frontage)



North Elevation

ELEVATION GENERAL NOTES:

1. ADDRESS NUMBERS SHALL BE PAN CHANNEL NUMBERS - LETTERS SHALL BE 1-1/2" MINIMUM DEPTH.
2. BUILDING SHALL BE PAINTED A FOUR COLOR SCHEME AS INDICATED TO MATCH EXISTING BUILDINGS.
3. ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALL.
4. GROUND MOUNTED BUILDING EQUIPMENT SHALL BE PAINTED TO MATCH BUILDING.
5. EXPOSED CONCRETE SILLS AT FULL HEIGHT WINDOW SYSTEMS SHALL BE PAINTED - COLOR #2, TYPICAL.
6. ALL EXTERIOR SURFACES OF BUILDING TO BE PAINTED INCLUDING TOP AND BACK SIDES OF PARAPETS.

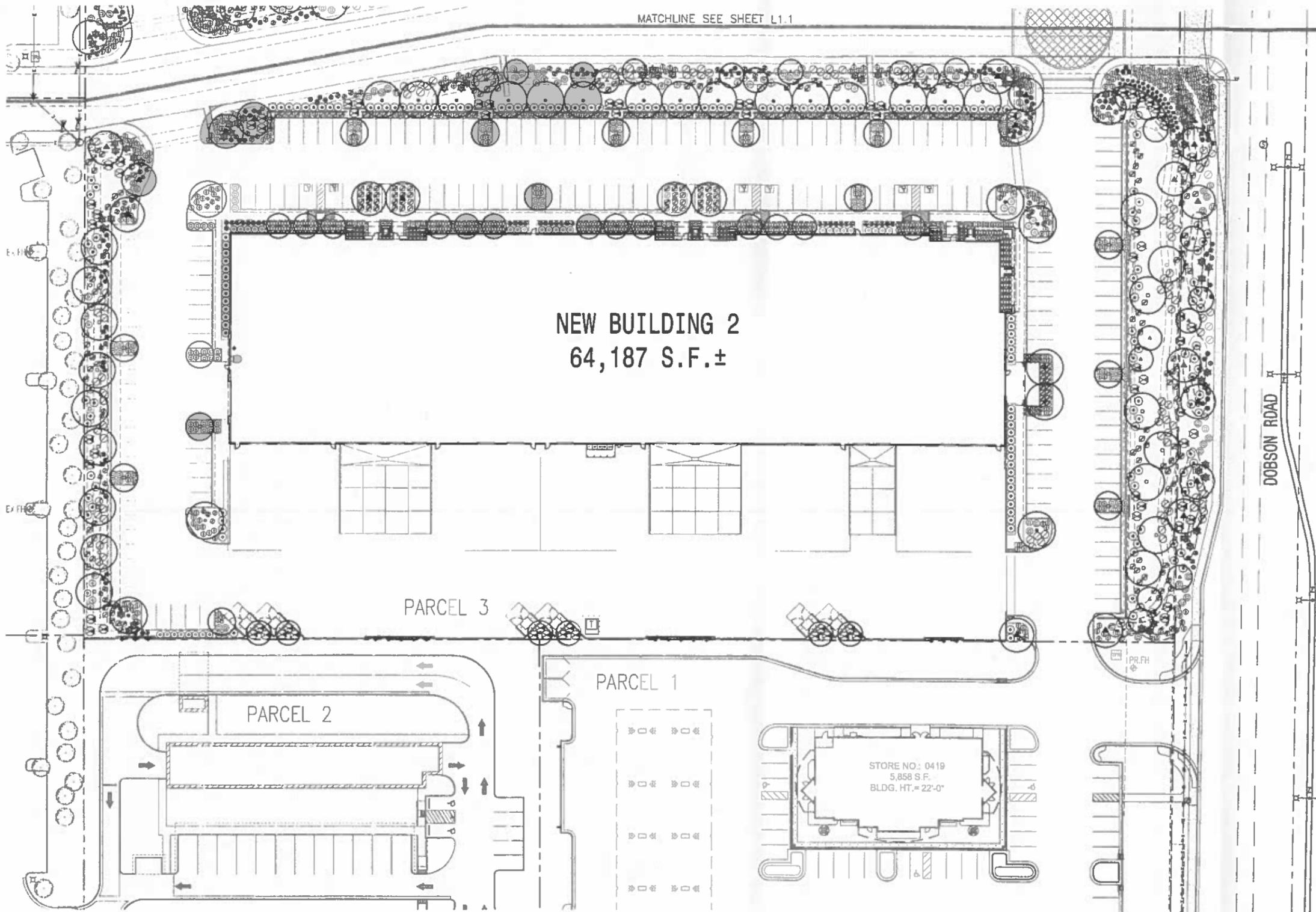
PAINT COLOR SCHEDULE:

NUMBER	NAME	L.R.V.
COLOR 1	IRON ORE - SW 7089 (SHERWIN WILLIAMS)	6 %
COLOR 2	ANONYMOUS SW7048 (SHERWIN WILLIAMS)	20 %
COLOR 3	MEGA GROUND SW 7031 (SHERWIN WILLIAMS)	38 %
COLOR 4	HOSTA FLOWER 508-3 (PITTSBURGH PAINTS)	73 %



Schematic Exterior Elevations - Building 2





NEW BUILDING 2
64,187 S.F. ±

PARCEL 3

PARCEL 2

PARCEL 1

STORE NO: 0419
5,858 S.F.
BLDG. HT. = 22'-0"



PROJECT TEAM

OWNER REPRESENTATIVE:
TL SA & ASSOCIATES, INC.
4348 EAST BROADWAY SCHOOL ROAD
SUITE 311-407
PHOENIX, ARIZONA 85018
CONTACT: TOM STEWART
VOICE: (602) 234-8771
FAX: (602) 234-8877

OWNER:
PRA/LB LLC
414 PACIFIC REALTY AVENUE
8708 EAST CENTER BOULE
SCOTTSDALE, ARIZONA 85268
CONTACT: JOHN PAVANCO
VOICE: (480) 300-3402
FAX: (480) 300-3402

ARCHITECT:
STEPHENIA ARCHITECTURE AND INTERIORS
2510 NORTH CENTRAL AVENUE
SUITE 102
PHOENIX, ARIZONA 85016
CONTACT: STEPHEN H. WINKLER
VOICE: (602) 232-8800
FAX: (602) 232-1807

CIVIL ENGINEER:
CULLEN DESIGN GROUP
242 3RD STREET
SUITE 640
DULAND, CA 94587
CONTACT: NEDD PRINATO
VOICE: (415) 300-3402
FAX: (415) 224-9022

PLANT SCHEDULE

SYMBOL	BOTANICAL/Common NAME	SIZE
TREES		
○	ACACIA ANEURA MULGA	24" BOX
○	EUCALYPTUS PAPIUANA GHOST GUM	24" BOX
○	PARSONSONIA HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALM VERDE	36" BOX
○	DALBERGIA SISSOO SISSOO TREE	24" BOX
○	PROSOPIS 'PHOENIX' PHOENIX THORNLESS MESQUITE	15 GAL.
SHRUBS		
⊗	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL.
⊗	CONVOLVULUS CNEORUM BUSH MORNING GLORY	5 GAL.
⊗	EREMOPHILA MACULATA VALENTINE BUSH	5 GAL.
⊗	JUSTICIA SPICIGERA MEXICAN HONEYSUCKLE	5 GAL.
⊗	LEUCOPHYLLUM CANDIDUM 'THUNDER CLOUD' THUNDER CLOUD SAGE	5 GAL.
⊗	RUELLEA PENINSULARIS BAJA RUELLEA	5 GAL.
ACCENTS/VINES		
●	AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE	5 GAL.
●	DASYLIRON WHEELERI DESERT SPOON	5 GAL.
●	ECHINOCACTUS GRUSONII GOLDEN BARREL	5 GAL.
●	EUPHORBIA ANTISTYPHILITICA CANDELLILLA	5 GAL.
●	HARDENBERGIA VIOLACEA LILAC VINE	5 GAL.
●	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.
●	MIRLEBERGIA CAPILARIS 'REGAL MIST' REGAL MIST DEER GRASS	5 GAL.
GROUND COVER		
○	DALEA GREGGII TRAILING INDIGO BUSH	1 GAL.
○	LANTANA SPP. 'NEW GOLD' LANTANA	1 GAL.
○	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL.
DECOMPOSED GRANITE COLOR & SIZE TO MATCH PHASE ONE		

North
**Preliminary
Landscape Plan**
0 7.5' 15' 30' 60' 120'



7-16-2014

PRA / LB llc - Pacific Realty Advisors

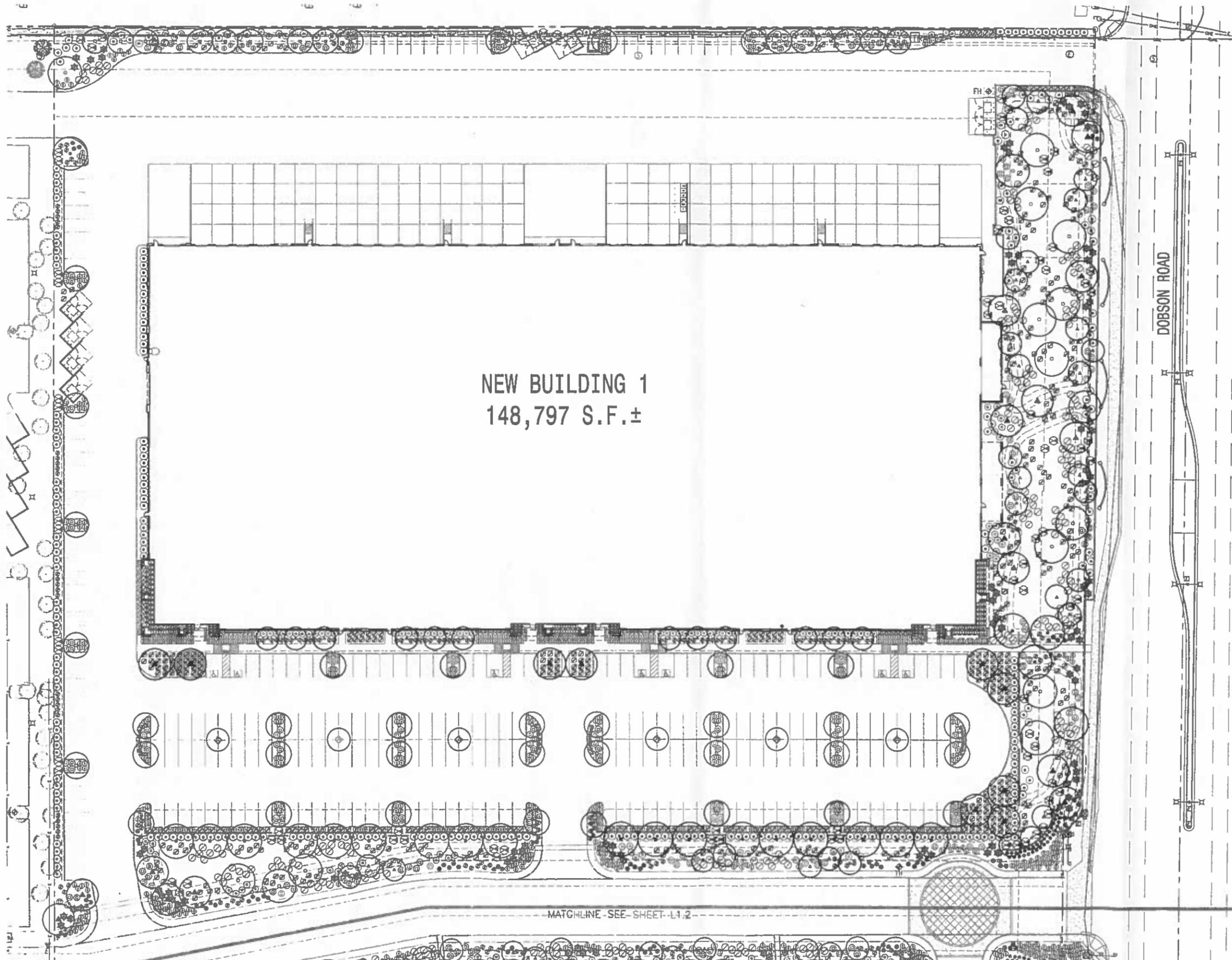
Euthenics
Architecture & Interiors

TL SA

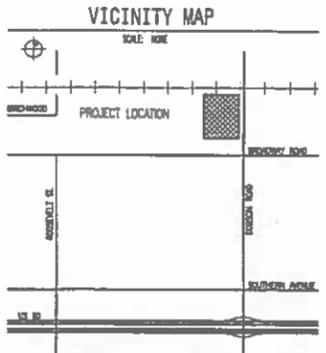
PARSONS DESIGN STUDIO
LANDSCAPE ARCHITECTURE / URBAN DESIGN
1200 W. WOODBURN DRIVE, PHOENIX, AZ 85023 P 602-480-8200

Broadway 101 Commerce Center Park - Phase 3
Northwest Corner of Broadway & Dobson Road - Mesa, Arizona

L1



NEW BUILDING 1
148,797 S.F. ±



PROJECT TEAM

OWNER REPRESENTATIVE:
T.L. STONE & ASSOCIATES, INC.
4345 EAST IRONWOOD ROAD
SUITE 21-467
MESA, ARIZONA 85218
CONTACT: TOM STONE
VOICE: (602) 234-5771
FAX: (602) 234-5177

OWNER:
PRA/LB LLC
474 PACIFIC REALTY ADVISORS
6705 EAST CENTER BUILDING
SCOTTSDALE, ARIZONA 85251
CONTACT: JOHN FRANKS

ARCHITECT:
CIVILIS ARCHITECTURE AND INTERIORS
2510 NORTH CENTRAL AVENUE
SUITE 102
MESA, ARIZONA 85213
CONTACT: STEVEN W. DUNN
VOICE: (602) 232-8828
FAX: (602) 232-9467

LANDSCAPE ARCHITECT:
PRA/LB LLC
474 PACIFIC REALTY ADVISORS
6705 EAST CENTER BUILDING
SCOTTSDALE, ARIZONA 85251
CONTACT: JOHN FRANKS

ENGINEER:
DHL DESIGN
CIVIL DESIGN GROUP
240 3RD STREET
SUITE 648
MESA, AZ 85207
CONTACT: NICK PRIBITZ
VOICE: (415) 380-7482
FAX: (415) 231-4822

PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE
TREES		
○	ACACIA ANEURA	24" BOX
○	MULGA	24" BOX
○	EUCALYPTUS PAPUANA	24" BOX
○	GHOST GUM	24" BOX
○	PARKINSONIA HYBRID 'DESERT MUSEUM'	36" BOX
○	DESERT MUSEUM PALM VERDE	24" BOX
○	DALBERGIA SISSOO	24" BOX
○	SISSOO TREE	24" BOX
○	PROSOPIS 'PHOENIX'	15 GAL.
○	PHOENIX THORNLESS MESQUITE	15 GAL.
SHRUBS		
⊗	CAESALPINIA PULCHERRIMA	5 GAL.
⊗	RED BIRD OF PARADISE	5 GAL.
⊗	CONVOLVULUS CNEORUM	5 GAL.
⊗	BUSH MORNING GLORY	5 GAL.
⊗	EREMOPHILA MACULATA	5 GAL.
⊗	VALENTINE BUSH	5 GAL.
⊗	JUSTICIA SPICIGERA	5 GAL.
⊗	MEXICAN HONEYSUCKLE	5 GAL.
⊗	LEUCOPHYLLUM CANDIDUM 'THUNDER CLOUD'	5 GAL.
⊗	THUNDER CLOUD SAGE	5 GAL.
⊗	RUPELLIA PENINSULARIS	5 GAL.
⊗	BAJA RUELLIA	5 GAL.
ACCENTS/VINES		
●	AGAVE GEMINIFLORA	5 GAL.
●	TWIN-FLOWERED AGAVE	5 GAL.
★	DASYLIRION WHEELERI	5 GAL.
●	DESERT SPOON	5 GAL.
●	ECHINOCACTUS GRUSONII	5 GAL.
●	GOLDEN BARREL	5 GAL.
●	EUPHORBIA ANTISYPHILITICA	5 GAL.
●	CANDELLILLA	5 GAL.
●	HARDENBERGIA VIOLACEA	5 GAL.
●	LILAC VINE	5 GAL.
●	HESPERALOE PARVIFLORA	5 GAL.
●	RED YUCCA	5 GAL.
●	MULLENBERGIA CAPILARIS 'REGAL MIST'	5 GAL.
●	REGAL MIST DEER GRASS	5 GAL.
GROUNDCOVER		
○	DALEA GREGGII	1 GAL.
○	TRAILING INDIGO BUSH	1 GAL.
○	LANTANA SPP.	1 GAL.
○	NEW GOLD LANTANA	1 GAL.
○	LANTANA MONTEVIDENSIS	1 GAL.
○	PURPLE TRAILING LANTANA	1 GAL.
DECOMPOSED GRANITE COLOR & SIZE TO MATCH PHASE ONE		

North
**Preliminary
Landscape Plan**

0 7.5' 15' 30' 60' 120'



7-16-2014

PRA / LB llc - Pacific Realty Advisors

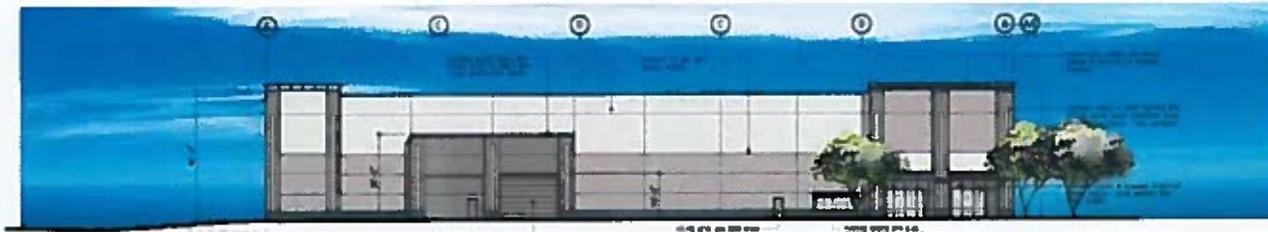
Broadway 101 Commerce Center Park - Phase 3
Northwest Corner of Broadway & Dobson Road - Mesa, Arizona

Euthenics
Architecture & Interiors

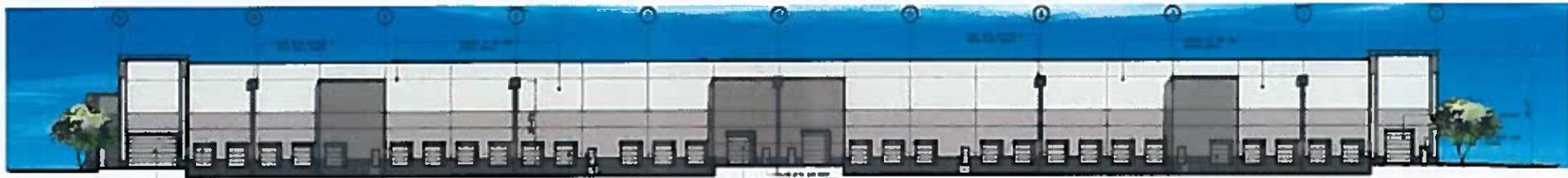
TLSA

PARSONS DESIGN STUDIO
LANDSCAPE ARCHITECTURE / URBAN DESIGN
128 W. Harbor Drive, Phoenix, AZ 85015 P 602 488 0288

L1.1



West Elevation



North Elevation



East Elevation (Dobson Frontage)



South Elevation

Schematic Exterior Elevations - Building 1



7-16-2014



South Truck Court Screen Wall Elevation



South Elevation



West Elevation

East Elevation (Dobson Frontage)



North Elevation

Schematic Exterior Elevations - Building 2



7-19-2014

**EUTHENICS
ARCHITECTURE**



3210 North Central Avenue - Suite 102
PHOENIX, ARIZONA 85012
TEL 602.252.3606
Fax 602.252.3607

June 3, 2014
(updated 7-16-2014)

**Broadway 101 Commerce Park – Phase 3
Project Description + Narrative**

Broadway 101 Commerce Park is a planned multi-tenant business / industrial park offering lease space for a variety of office, retail, storage and light industrial users located on the NWC of Dobson and Broadway roads. With the success of the previous phases, we are now submitting for a P&Z + Site Plan application for a portion of land that was shown as future development on the approved site plan. The proposed development is being planned to create a cohesive design within the Broadway Commerce Park.

The project consist of two buildings totaling approximately 212,984 s.f. of building space which will be compatible with the existing buildings and uses constructed in phase 1 and phase 2. The buildings will front onto the existing private drive that connects the Broadway 101 Commerce Park to Dobson Road. This phase proposes an entry feature similar to the Broadway Entry at Valencia which will create the cohesion and identity of the Broadway 101 Commerce Park. The drive will be upgraded with stamped colored concrete at the drive node to building 2 and sidewalks on each side to provide / encourage pedestrian access to the Park. The drive node for building 1 has been pushed further into the site to provide additional landscape and offset of entry wall feature. Additionally, the building will be designed utilizing the Architectural themes and colors established in the previous phases with subtle changes to provide enhancements to the buildings that front the public right of way along Dobson Road. The entries will be recessed and offset features provided along the Dobson Frontage and Private drives to provide four sided Architecture. New railing is proposed at the existing retaining wall that incorporates the theme and movement of the new sidewalk / street improvements underway by the City of Mesa.

The site plan for this portion proposes a 31%+/- coverage which is less intensive than the previous phases. The site has been planned for surface retention to meet the City requirements which as a result increases the distance the buildings setback from Dobson Road and is developed with landscaping and retention basin with natural forming and berms proposed.

The buildings have an East / West orientation which places the truck court areas on the North side of building 1 and on the South side of building 2. To screen these areas from the public view we have proposed additional offset the building back from Dobson to more than 60' and

provide 8'-8" +/- masonry screen walls with offsets along the Dobson frontage and tree grouping to provide screening of dock doors. Building corner feature at the Northeast corner enhances to reflect the office features and further minimize the truck court. The South building 2 will be provided with a decorative 8'-0" +/- screen wall with offsets infilled with steel lattice and vine type plantings. Triangular tree wells have been incorporated to provide additional screening and backdrop from Broadway Road approximately 250 feet to the south. Parking has been proposed at building frontages and sides which is consistent with previous phases and can accommodate approximately 20% +/- office build out with the remaining space calculated for warehouse and industrial uses.

The buildings will be constructed of tilt up concrete wall panels with architectural reveals and multi-color paint scheme that will be consistent with Broadway 101 Commerce Park. Building entries will be spaced to accommodate potential division and treated with features similar to previous phases with vertical offset elements, recessed glazing and punched window openings. Building 1, will be approximately 39'-2" at the roof line and building 2 will be approximately 31'-3" at the roof line. Site will be developed with foundation base landscaping, retention, parking, and access to meet zoning and building code requirements.

This submittal consist of three elements as outlined in the pre-submittal conference. DRB approval for building, elevations, landscaping and Site, Planning and Zoning submittal for Site plan approval and PAD for Site Plan / zoning approval. As a part of the PAD approval we request approval for the following:

- Regarding Site Plan Approval - Request approval of proposed development to be consistent with the attached site plan.
- Regarding offset islands in parking lots - Request approval of diamond shaped landscape islands in lieu of offset islands to be consistent with previous phases.
- Regarding SRP Electrical Easement along north property line – we request minimal landscape as proposed on the site plan adjacent to parking and refuse only. Easement is to provide access from existing drive at northeast corner to sub-station and maintenance of overhead lines across the north portion of the site.

Please let me know if you have any questions during your review of our request / submittal.

Sincerely,

Stephen M. Krager
Euthenics Architecture
(602) 252-5606

Cc: Kenn Francis, PRA / LB llc
Tod Thorpe, PRA / LB llc
Tom Steimel, TL Steimel & Assoc.

**EUTHENICS
ARCHITECTURE**



5210 North Central Avenue – Suite 102
PHOENIX, ARIZONA 85012
TEL 602.252.5606
Fax 602.252.5607

Citizen Participation Plan for Broadway 101 Commerce Park – Phase 3

June 3, 2014

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owner, neighbor associations, agencies, schools and business in the vicinity of the site of application for the Broadway 101 Commerce Park – Phase 3. This site is located just north of the Northwest Corner of Dobson and Broadway Roads and is an application for Site Plan approval and PAD (Planned Area Development) by the Planning & Zoning Board. This plan will ensure those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Stephen M. Krager - Euthenics Architecture
5210 North Central Avenue – Suite 102
Phoenix, Arizona 85012
V - (602) 252-5606 F – (602) 252-5607
Email: smk.ea@earthlink.net

Pre-application Meeting: The pre-application meeting with City of Mesa planning staff was held on April 28, 2014. Staff reviewed the application and recommended that adjacent residents, Mesa School District and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for in this area including.
 - All registered neighborhood associations within one mile of the project.
 - Homeowners associations within one half mile of the project.
 - Interested neighbors – focused on 1,000 feet from the site.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan and invitation to a series of two neighborhood meetings to be held at suite adjacent to site at 2140 West Broadway.
 - The first meeting will be an introduction to the project, and opportunity to ask question and state concerns. A sign-in list will be used and comment forms

provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to the project.

- The second meeting will be held two weeks later and will include responses to questions and concerns of the first meeting. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to the project.
- 3. Neighborhood Associations and Homeowners Associations within 1,000 feet of the site will be called by to inform them personally of the project and receive comments.
- 4. Presentation will be made to groups of citizens or neighborhood association upon request.

(All materials such as sign-in lists, comments, and petitions received are copied to the City of Mesa).

Schedule:

Pre – Application Meeting – April 28, 2014

Application Submittal – June 3, 2014

Initial phone calls to neighborhood associations – June 10, 2014

Invite neighbors within 1000' to meeting (mailing list) – June 12, 2014

First neighborhood meeting – June 19, 2014 – 4:00 pm

Second neighborhood meeting – June 27, 2014 – 4:00 pm

Submittal of Citizen Participation Report and notification materials – July 8, 2014

Planning and Zoning Board hearing – August 20, 2014