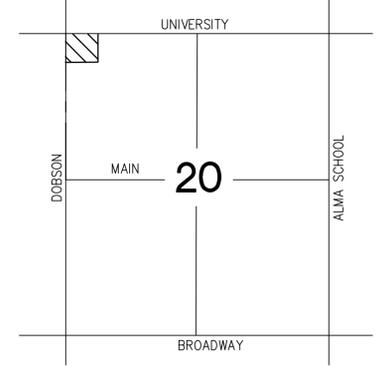
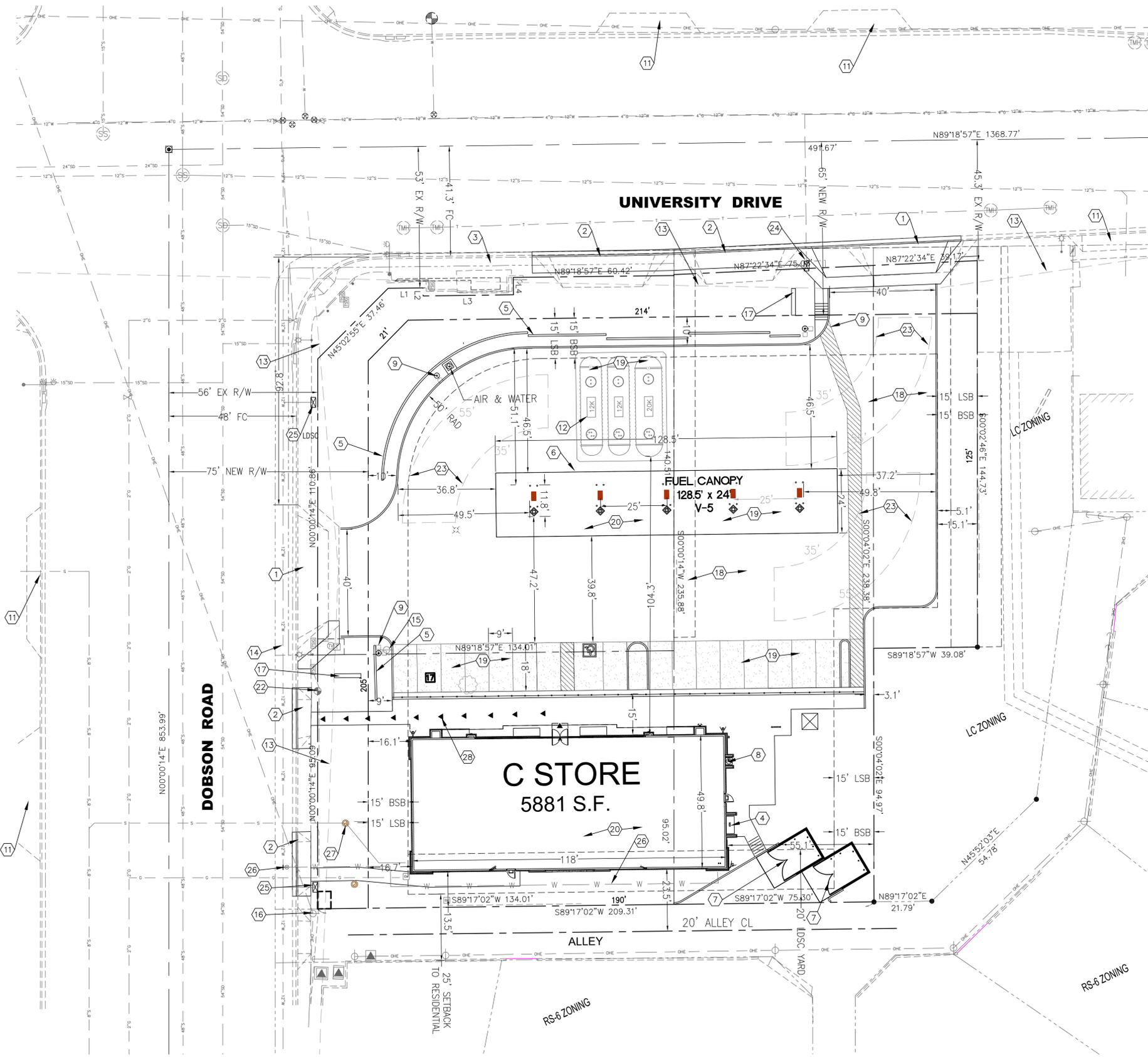


PRELIMINARY SITE PLAN UNIVERSITY / DOBSON

SEC OF UNIVERSITY / DOBSON - MESA, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 20,
TOWNSHIP 1 NORTH, RANGE 5 EAST, GILA AND SALT RIVER BASE AND MERIDIAN.



VICINITY MAP
SECTION 20 T1N R5E

- (X) SITE PLAN NOTES
- EXISTING DRIVEWAY TO BE WIDENED
 - EXISTING DRIVEWAY TO BE CLOSED
 - TRANSIT STOP TO REMAIN
 - SES ENCLOSURE
 - NEW SCREEN WALLS
 - NEW FUEL CANOPY
 - NEW REFUSE ENCLOSURE PER COM STD DET M-62.01 TO M-62.04
 - CO2 ENCLOSURE
 - 15' SITE LIGHT
 - SURFACE RETENTION
 - EXISTING DRIVEWAY TO REMAIN
 - NEW UNDERGROUND FUEL TANKS
 - SVT PER E&DS (45 MPH)
 - RELOCATE STREET LIGHT
 - POWER POLE BE REMOVED
 - STEEL POLE TO REMAIN
 - PROPOSED SIGNAGE BY SEPARATE PERMIT. SIGNS IN ROW TO BE PERMITTED BY SEPARATE LICENSE AGREEMENT.
 - ASPHALT PAVING
 - CONCRETE PAVING
 - NEW CIRCLE K STORE
 - UNDERGROUND RETENTION
 - NEW PUBLIC FIRE HYDRANT
 - 35'-55" FIRE TURN RADIUS
 - WATER METER TO BE REMOVED
 - WATER METER TO BE REUSED
 - NEW PVT FIRELINE (IF SPRINKLERED)
 - REUSE EXISTING SEWER TAP
 - PEDESTRIAN CONNECTION

OWNER:
CIRCLE K STORES INC.
1130 WEST WARNER ROAD
BUILDING B
TEMPE, ARIZONA 85284

OWNER REPRESENTATIVE:
LAND DEVELOPMENT CONSULTANTS, LLC
11811 N. TATUM BLVD. #1051
PHOENIX, ARIZONA 85028
PHONE: 602-850-8101
FAX: 480-393-0946
CONTACT: MIKE SCARBROUGH

ARCHITECT:
GREENBERG FARROW
19000 MACARTHUR BLVD., SUITE 250
IRVINE, CA 92612
TEL: 949-296-0450
FAX: 949-296-0437
CONTACT: CAROLINE SHAW

ENGINEER:
HELIIX ENGINEERING, LLC
3240 E. UNION HILLS DR #112
PHOENIX, ARIZONA 85050
TEL: 602-788-2616
CONTACT: STEVE BOWSER

PROJECT INFORMATION

PROJECT NAME: CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS: 1955 W. UNIVERSITY DR, MESA AZ 85201
PROJECT DESCRIPTION: DEMOLITION OF EXISTING CAR WASH (4300 SF) DAYCARE (3500 SF) FUEL CANOPY (900 SF) AND CONVENIENCE STORE (2900 SF) TO ACCOMMODATE CONSTRUCTION OF A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL SALES CONSISTING OF A 5881 S.F. CONVENIENCE STORE AND A FUEL CANOPY WITH 5 FUEL PUMPS.
EXISTING C STORE AND CANOPY, SELF SERVE CAR WASH AND DAY CARE BE DEMOLISHED.

SITE DATA

EXISTING ZONING: LC
PROPOSED ZONING: LC

PROPOSED BUILDING AREA: 5881 SF
PROPOSED CANOPY AREA: 3084 SF

SITE GROSS: 1.91 AC (TO STREET CL)
SITE NET: 1.25 AC (BEFORE R/W DEDICATIONS)

EXISTING BUILDING HEIGHT: 20' (APPROX)
PROPOSED BUILDING HEIGHT: 24'

PARKING (1 PER 375 SF)
5881 SF / 375 = 16 SPACES REQUIRED, PROVIDED 17 SPACES

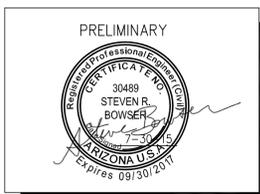
NO RETAINING WALLS PLANNED

STORMWATER RETENTION (ONSITE ONLY) TO BE PLACED UNDERGROUND.

OFFSITE IMPROVEMENTS: CLOSE UNUSED DRIVEWAYS, WIDEN TWO EXISTING DRIVEWAYS

SITE LIGHTING TO BE 15' HEIGHT

CLIENT:
Land Dev. Consultants, LLC
11811 N. Tatum Boulevard, Suite 1051
Phoenix, AZ 85028
ph: 602-854-5210
fax: 602-997-9807
contact: Michael Scarbrough



Helix Engineering, LLC
Engineering / Surveying / Consulting

3240 E Union Hills
Suite 112
Phoenix AZ 85050
PH 602-788-2616
www.hxeng.com

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TWO WORKING DAYS BEFORE YOU DIG.
CALL FOR THE BLUE STAKES
1-800-782-5348
BLUE STAKE CENTER

RELEASE DATE	
10-30-14	SKETCH
11-21-14	SP REVISION
3-6-15	SP REVISION
3-9-15	SP REVISION
3-25-15	SP REVISION

NO.	DATE	REVISIONS
1	10-30-14	SKETCH
2	11-21-14	SP REVISION
3	3-6-15	SP REVISION
4	3-9-15	SP REVISION
5	3-25-15	SP REVISION
6	07-15-15	SP REVISION
7	07-15-15	SP REVISION
8	07-15-15	SP REVISION
9	07-15-15	SP REVISION
10	07-15-15	SP REVISION
11	07-15-15	SP REVISION
12	07-15-15	SP REVISION
13	07-15-15	SP REVISION
14	07-15-15	SP REVISION
15	07-15-15	SP REVISION
16	07-15-15	SP REVISION
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23	07-15-15	SP REVISION
24	07-15-15	SP REVISION
25	07-15-15	SP REVISION
26	07-15-15	SP REVISION
27	07-15-15	SP REVISION
28	07-15-15	SP REVISION

PROJECT NAME
CIRCLE K

PROJECT ADDRESS

1955 W. University
PROJECT AREA

HELIX JOB NUMBER
159

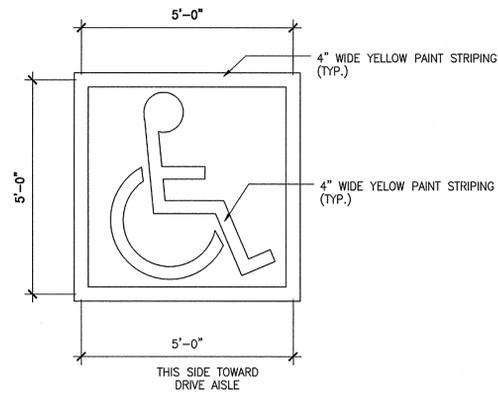
IN HOUSE
DRAWN BY: HXE
CHECKED BY: SB

SHEET TITLE

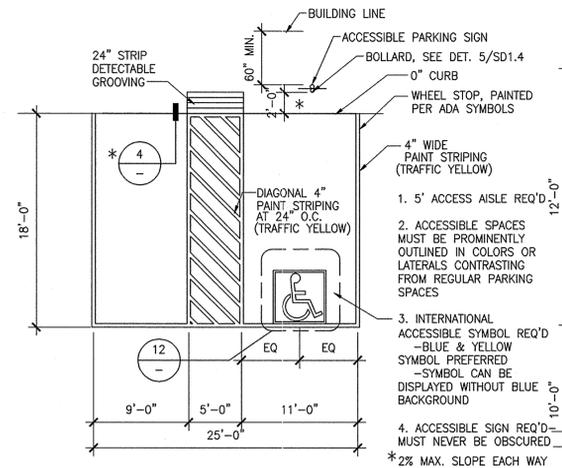
SITE PLAN

SHEET PAGE
SP-1 1 OF 1

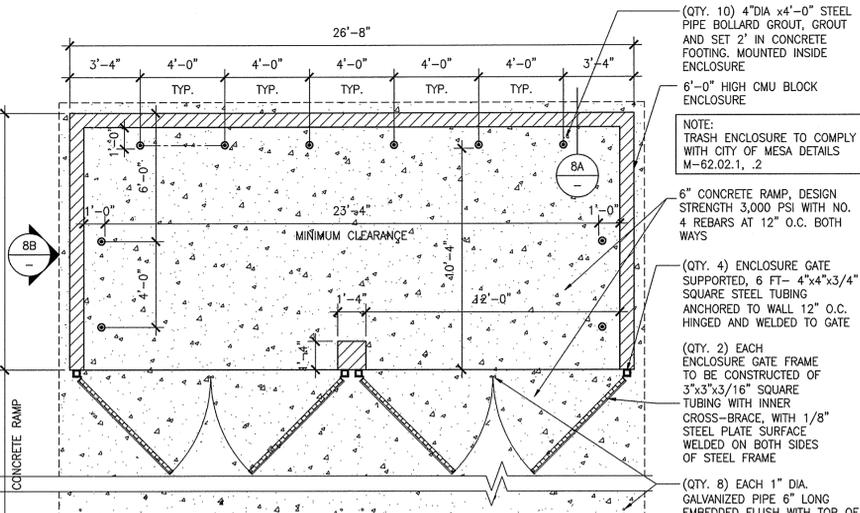
PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"



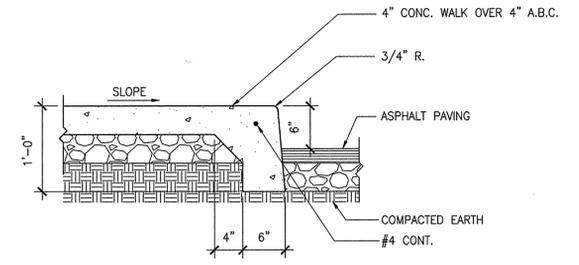
12 ACCESSIBLE PARKING SYMBOL
1/2"=1'-0"



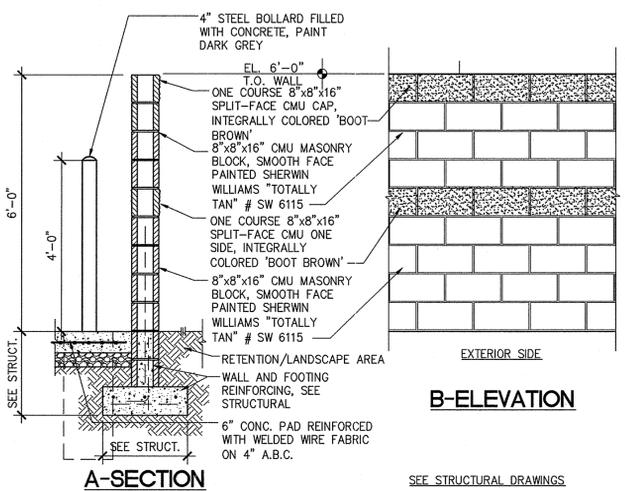
9 ACCESSIBLE PARKING STALL
1/8"=1'-0"



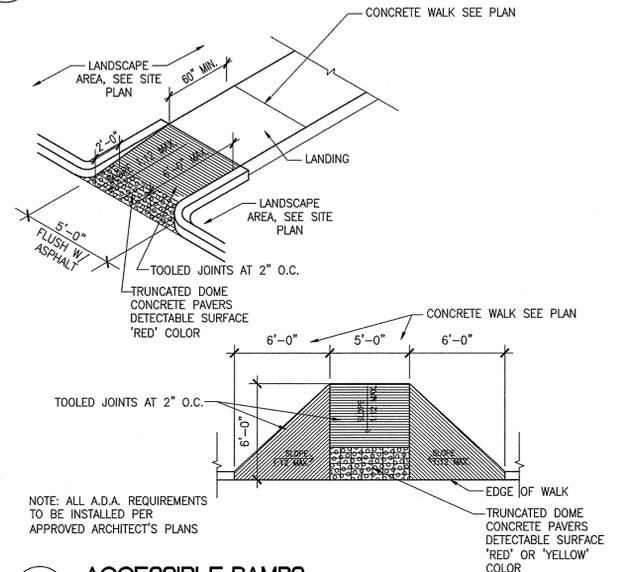
6 TRASH ENCLOSURE (PLAN)
1/4"=1'-0"



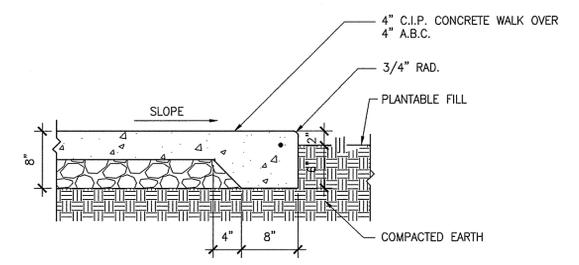
3 SIDEWALK TURNDOWN
1"=1'-0"



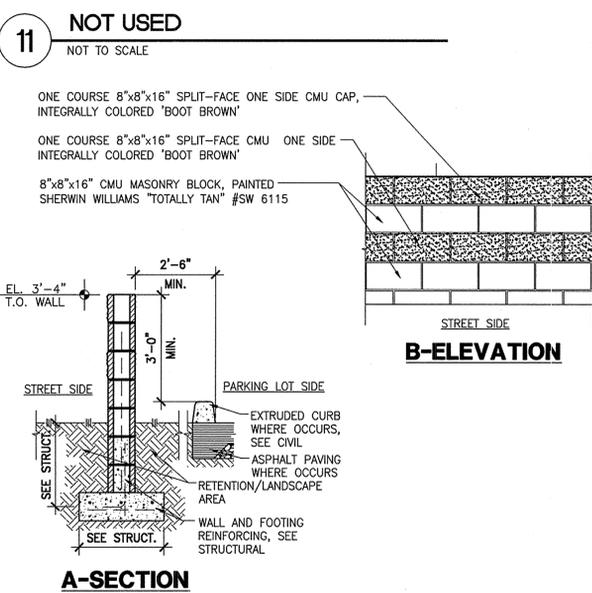
8 6'-0" TRASH ENCLOSURE
1/2"=1'-0"



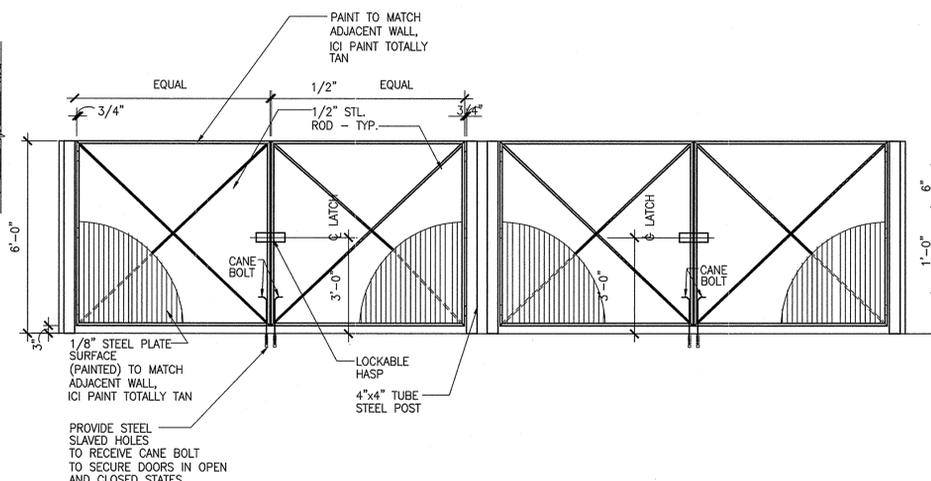
5 ACCESSIBLE RAMPS
3/16"=1'-0"



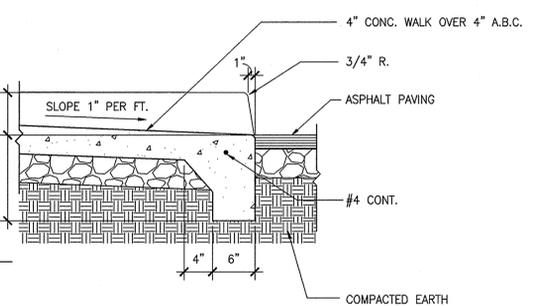
2 EDGE OF WALK AT PLANTER
1"=1'-0"



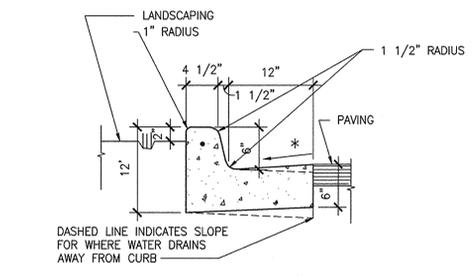
11 NOT USED
NOT TO SCALE



7 ENCLOSURE GATE ELEVATION
3/8"=1'-0"

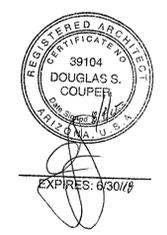


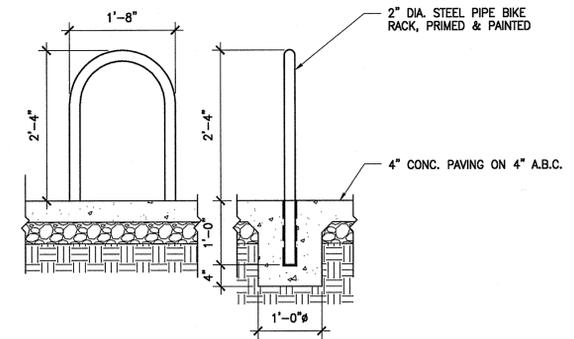
4 WALK AT RAMP
1"=1'-0"



1 CURB AND GUTTER AT PLANTER
1"=1'-0"

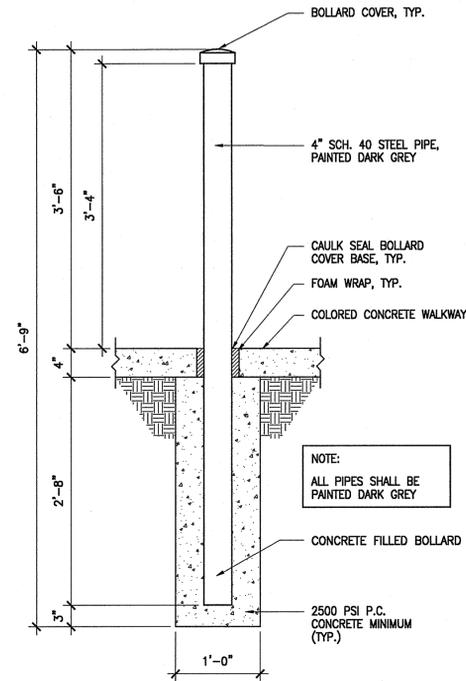
NOTE:
1. PROVIDE EXPANSION JOINTS AT 25' O.C. MAX. AND AT CURVES, TANGENTS, AND CORNERS.
2. CASE OF CURB TO REST ON COMPACTED FILL.
3. SACK FINISH EXPOSED SURFACES.
*4. GUTTER CROSS SLOPES TO BE 1/2"/FT. WHEN DRAINING AWAY FROM CURB AND 1"/FT. WHEN DRAINING TOWARD CURB. SEE GRADING PLAN FOR SLOPE DIRECTION.





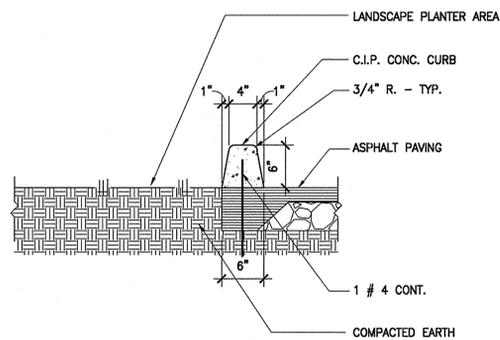
NOTE:
 1. MAINTAIN 6" LONG USABLE SPACE FOR BICYCLE.
 2. MAINTAIN 30" BETWEEN EACH RACK (FOR ADDITIONAL RACK)
 3. MAINTAIN 15" CLEAR DISTANCE BEYOND RACK

3 BIKE RACK DETAIL
 3/4"=1'-0"

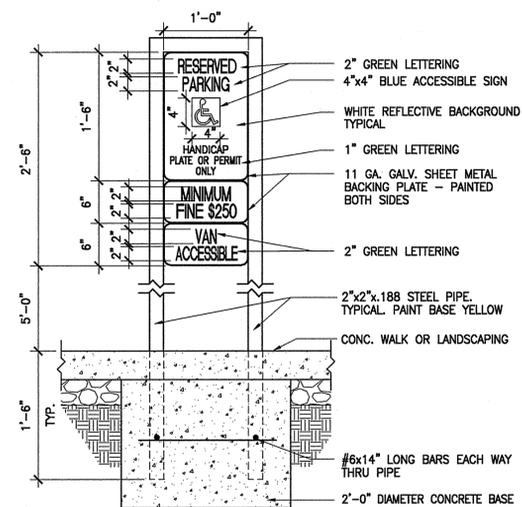


5 BOLLARD SECTION
 1"=1'-0"

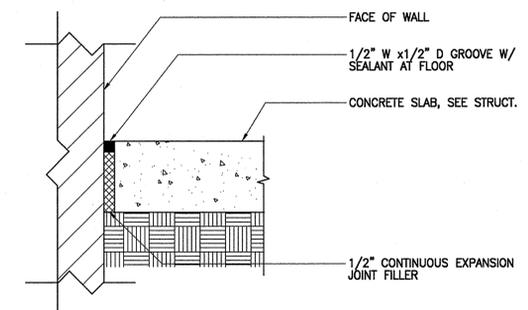
2 NOT USED
 NOT TO SCALE



6 TEMPORARY EXTRUDED CURB
 1"=1'-0" SEE CIVIL PLANS

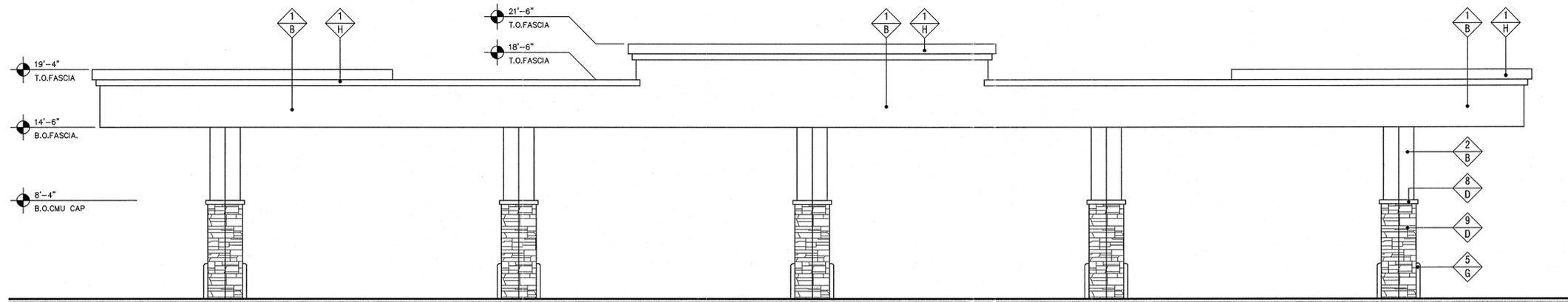


4 HANDICAP ACCESSIBLE SIGN
 1"=1'-0"

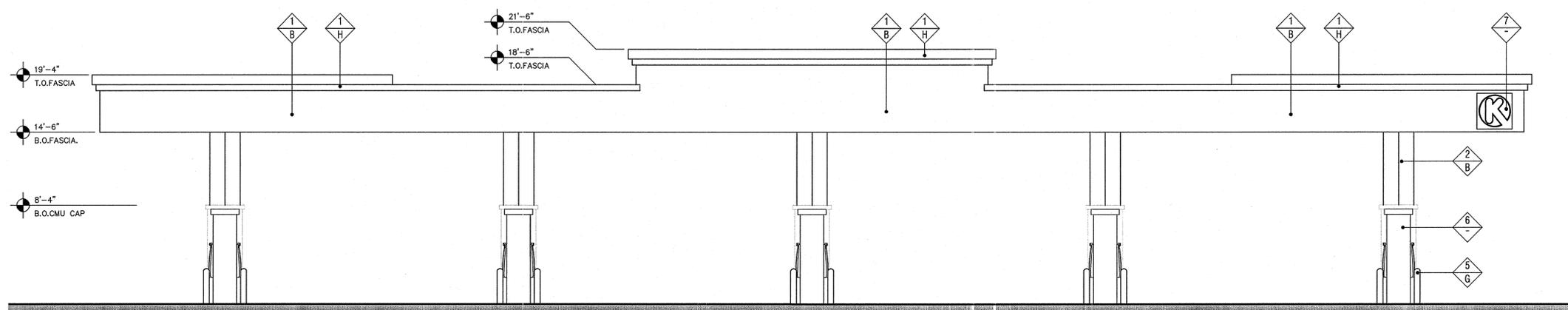


1 TYPICAL SLAB AT GRADE
 3"=1'-0"

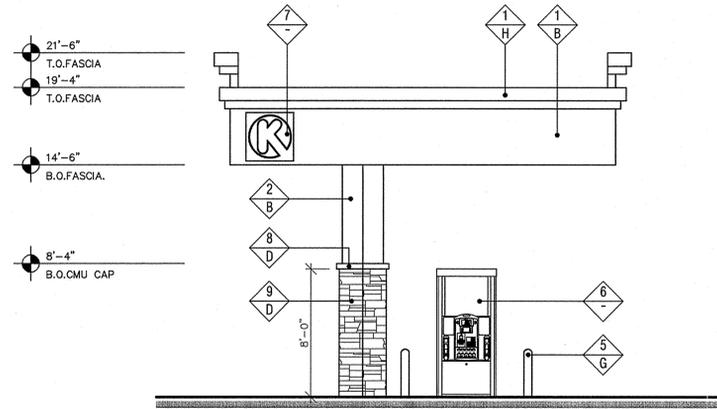




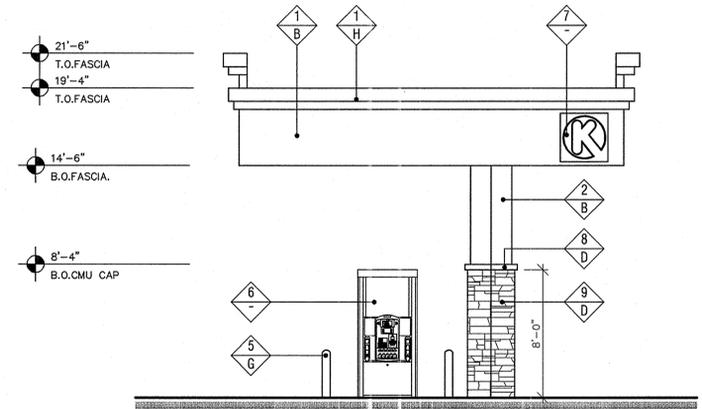
1 "REAR" SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 "FRONT" NORTH ELEVATION - STREET VIEW
SCALE: 3/16" = 1'-0"



4 "SIDE" EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 "SIDE" WEST ELEVATION - STREET VIEW
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE	
FINISH MATERIAL	
1	ACM PANEL "TEX-COTE" WITH STUCCO FINISH
2	STEEL CANOPY COLUMN WITH STUCCO FINISH
3	CIRCLE K COMET DECAL TO BE UNDER SEPARATE PERMIT
4	NOT USED
5	6" Ø BOLLARD, 36" HIGH
6	FUEL PUMP
7	INTERNALLY ILLUMINATED SIGN UNDER SEPARATE PERMIT - 36" DIA. BOX
8	STONE VENEER CAP
9	STONE VENEER, INSTALL PER MFR. SPECS.
FINISH COLOR	
A	NOT USED
B	SHERWIN WILLIAMS - SW6115 - TOTALLY TAN
C	SHERWIN WILLIAMS - SW6095 - TOASTY
D	CULTURED STONE CSV 20006 - CHARDONNAY COUNTRY LEDGESTONE
E	ACM PANELS CIRCLE K RED
F	NOT USED
G	SHERWIN WILLIAMS - DARK GRAY
H	SHERWIN WILLIAMS - SW6090 - JAVA

Note:
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.



KEY NOTES

1. NOT USED
2. WALL MOUNTED LIGHT FIXTURE
3. DARK BRONZE W/ CLEAR GLASS WINDOW SYSTEM
4. INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
5. DARK BRONZE W/ CLEAR GLASS STOREFRONT SYSTEM
6. SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
7. CORNICE MOULDING WITH METAL CAP FLASHING
8. STUCCO SYSTEM PER ESR-1607 WITH ACRYLIC FINISH, OVER RIGID INSULATION.
9. WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL PLAN
10. SES PANEL LOCATION. SEE ELECTRICAL PLAN
11. ROOF LINE AND HVAC UNITS
12. STUCCO EXPANSION JOINT WITH FRY REGLET PCS-375-50. SEE DETAIL 4/A8.1
13. ROOF DRAIN TAIL
14. ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
15. 4x8x16 CMU VENEER, SPLIT FACE BY WESTERN BLOCK, GROUTED TO MATCH CMU COLOR
16. 4x4x8 SOLID CMU CAP
17. STUCCO SCORE LINE WITH FRY REGLET. SEE DETAILS 7/A8.1
18. PARAPET WALL BEYOND
19. (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
20. SMOCKED GLASS OR BLACK OUT GLASS
21. STONE VENEER, INSTALL PER MFR. SPECS. INSTALL GROUTED. GROUT TO MATCH STONE COLOR
22. NOT USED
23. FOAM BAND
24. STONE VENEER CAP, INSTALL PER MFR. SPECS
25. CO2 TANK WITH METAL LOUVERED CONTAINER
26. EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE, SEE DET. 11/A8.3
27. NOT USED
28. 8'-0" HIGH SCREEN WALL

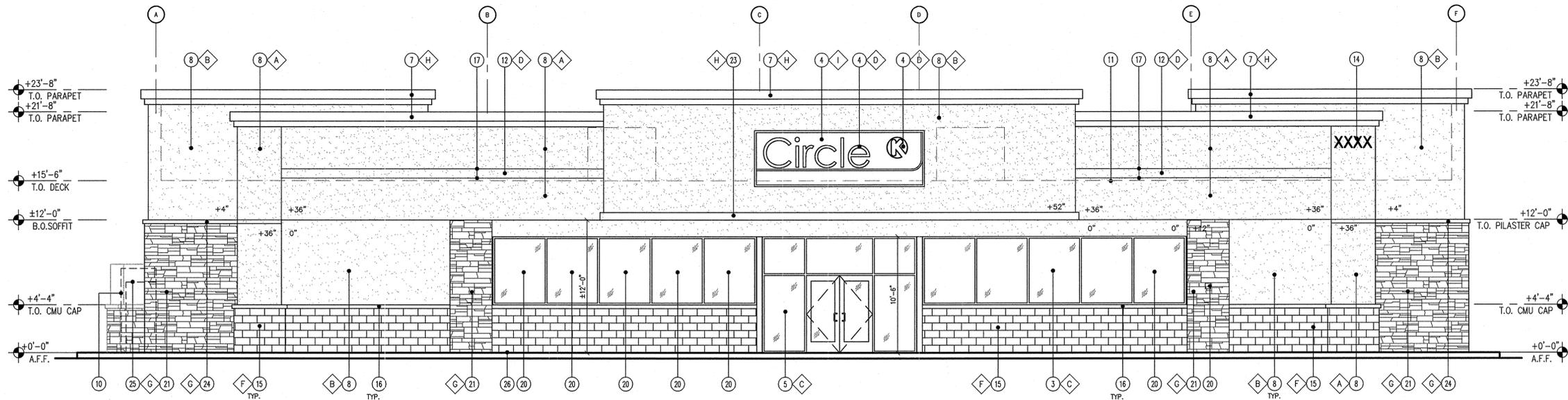
FINISH SCHEDULE

- A - *SHERWIN WILLIAMS #SW 6095
- TONASTY
- B - *SHERWIN WILLIAMS #SW 6115
- TOTALLY TAN
- C - CLEAR GLASS 0.8 PER 2006 IECC TABLE 102.1.3(3)
- D - *SHERWIN WILLIAMS HI-SOLIDS POLYURETHANE
- SAFETY RED - CIRCLE K RED
- E - *SHERWIN WILLIAMS #SW 7005
- CIRCLE K WHITE
- F - WESTERN BLOCK SPLITFACE CMU
- "BOOT BROWN"
- G - CULTURED STONE CSV 20006
- CHARDONNAY COUNTRY LEDGESTONE
- H - *SHERWIN WILLIAMS #SW 6090
- JAWA
- I - CIRCLE K ORANGE #PMS 144

*USE SHERWIN WILLIAMS MANUFACTURER ONLY.

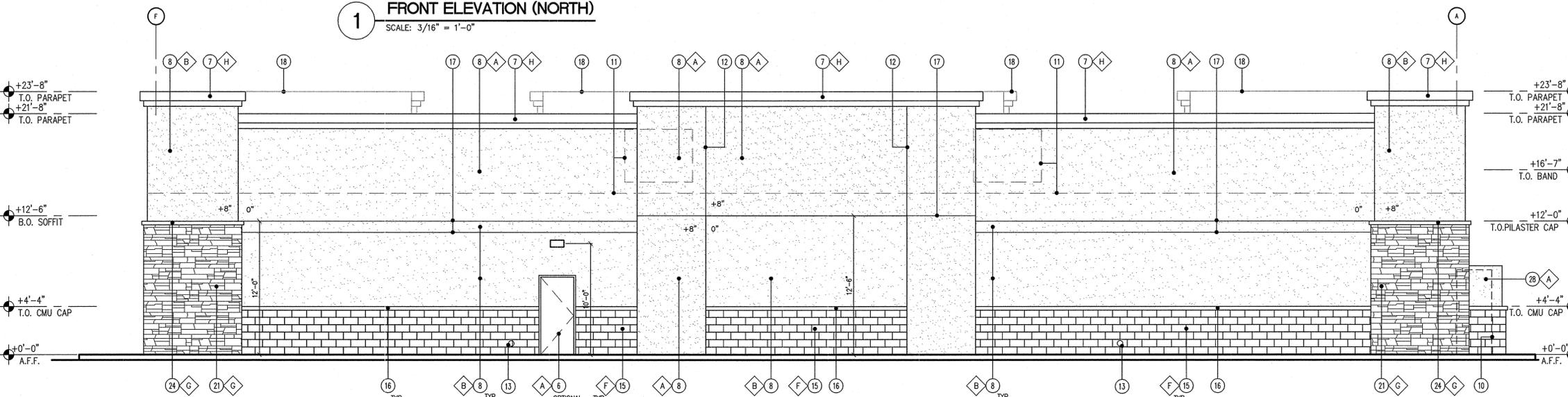


EXPIRES: 6/30/19



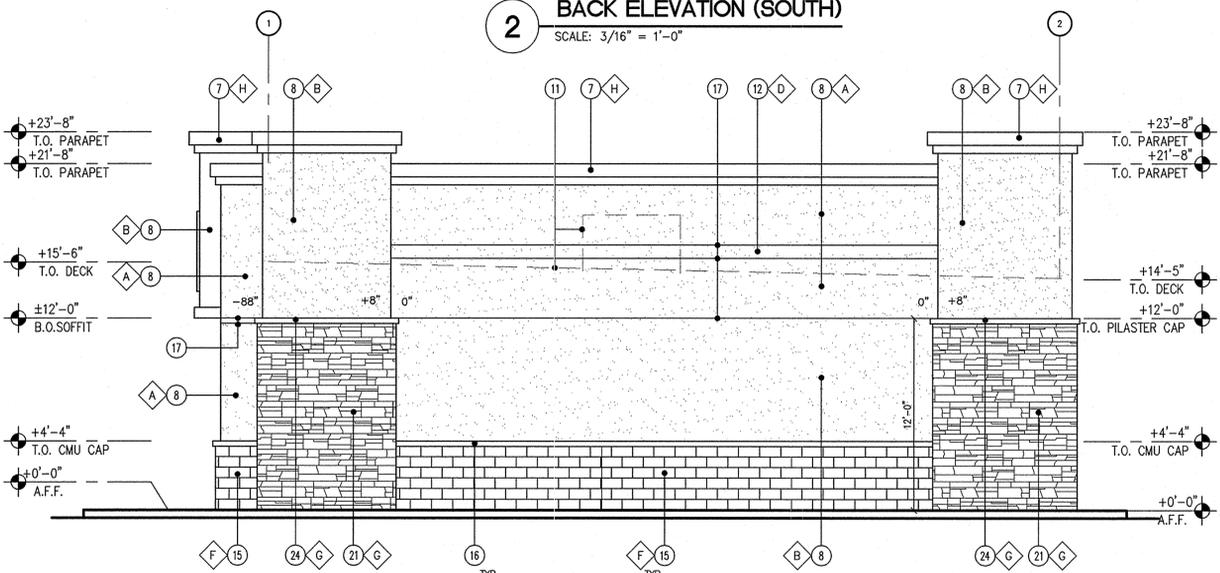
1 FRONT ELEVATION (NORTH)

SCALE: 3/16" = 1'-0"



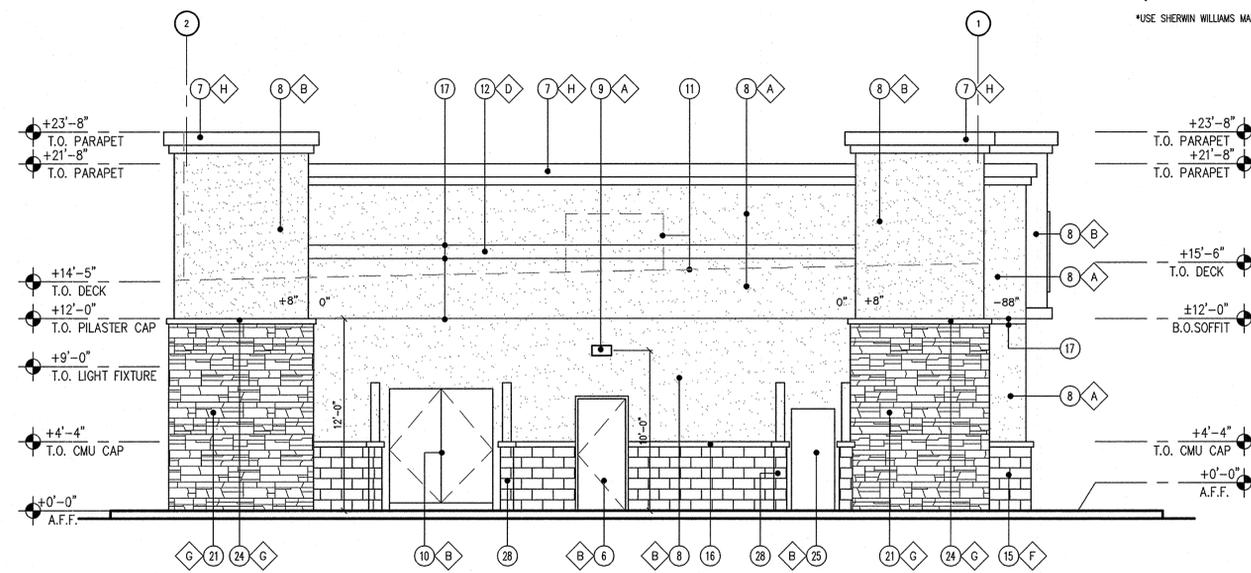
2 BACK ELEVATION (SOUTH)

SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION (WEST)

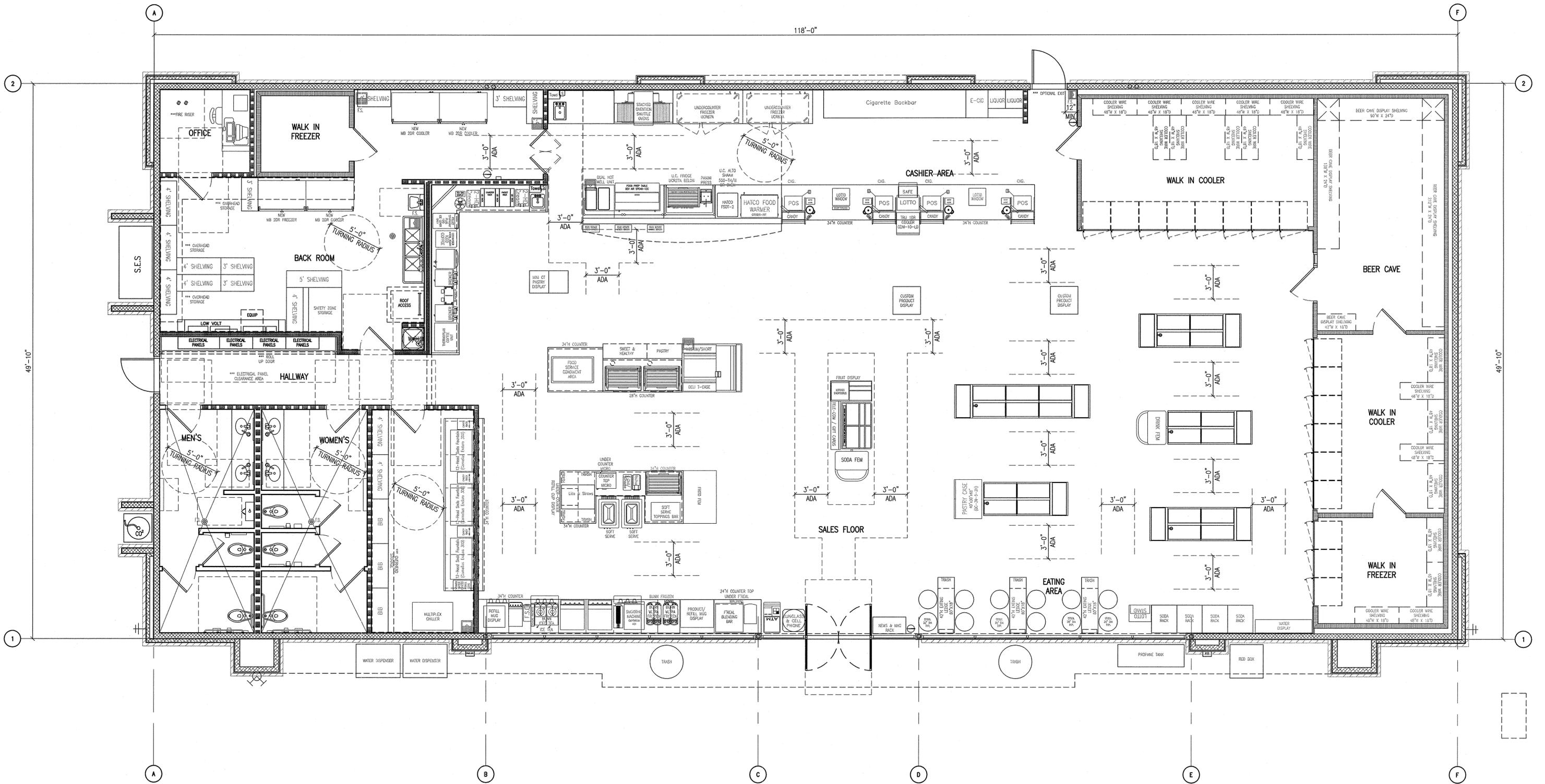
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION (EAST)

SCALE: 3/16" = 1'-0"



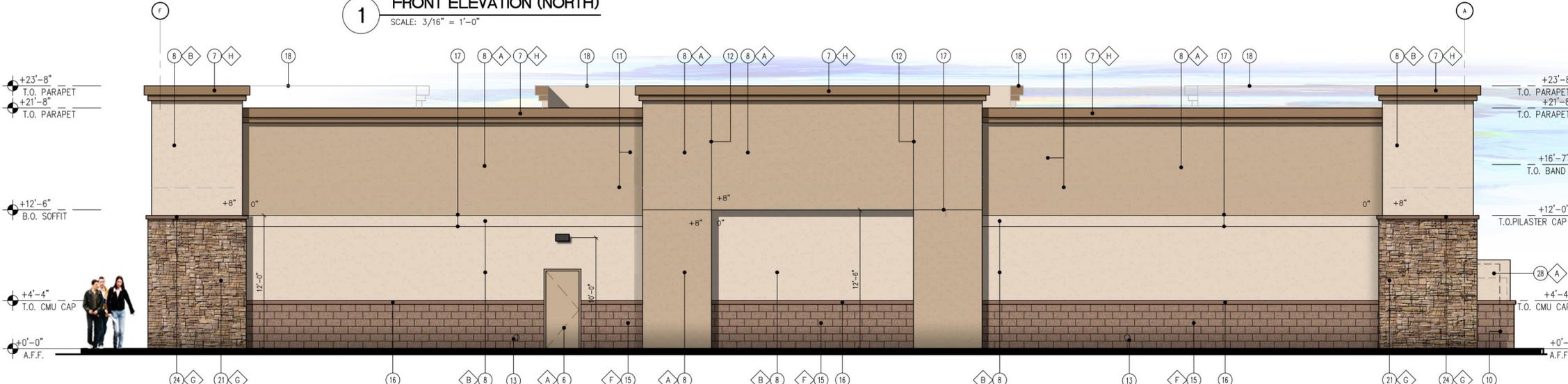


1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

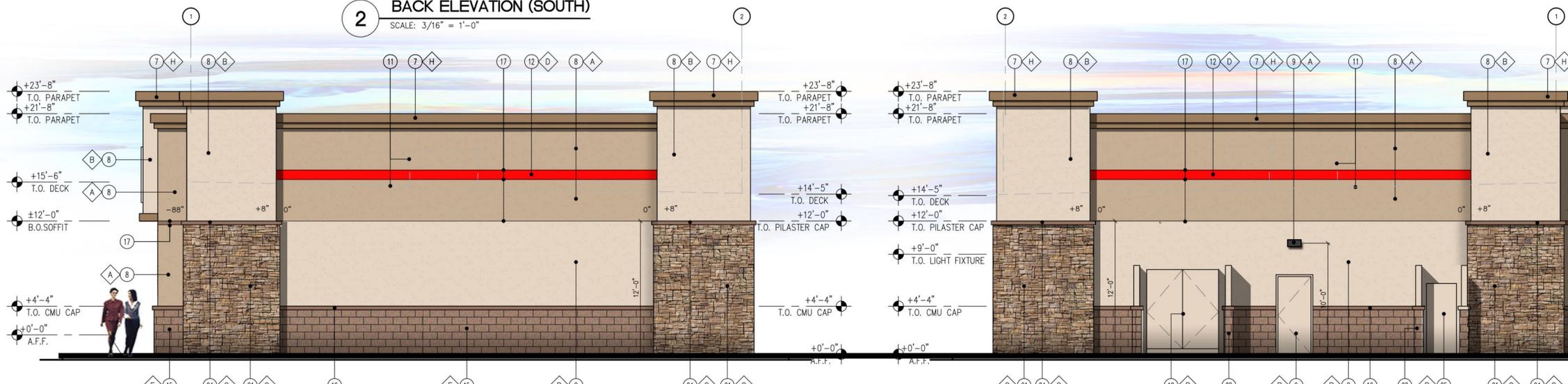




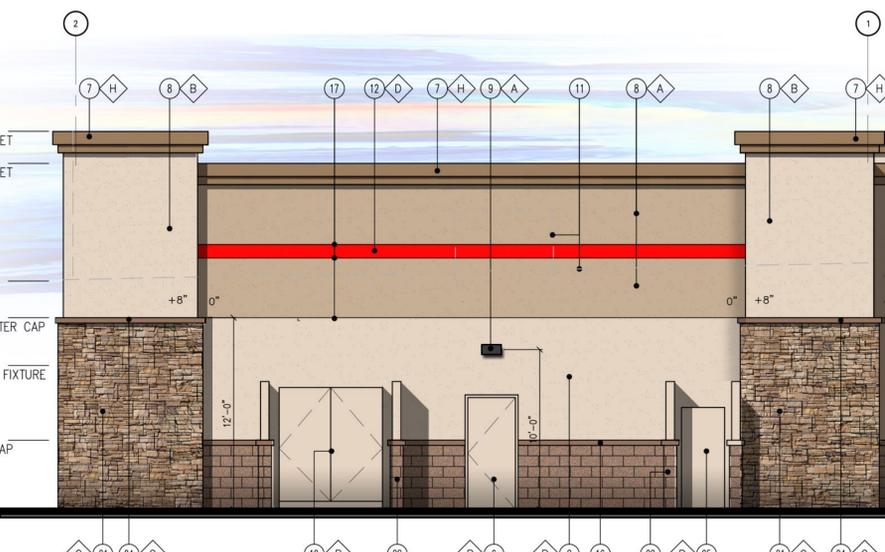
1 FRONT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



2 BACK ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



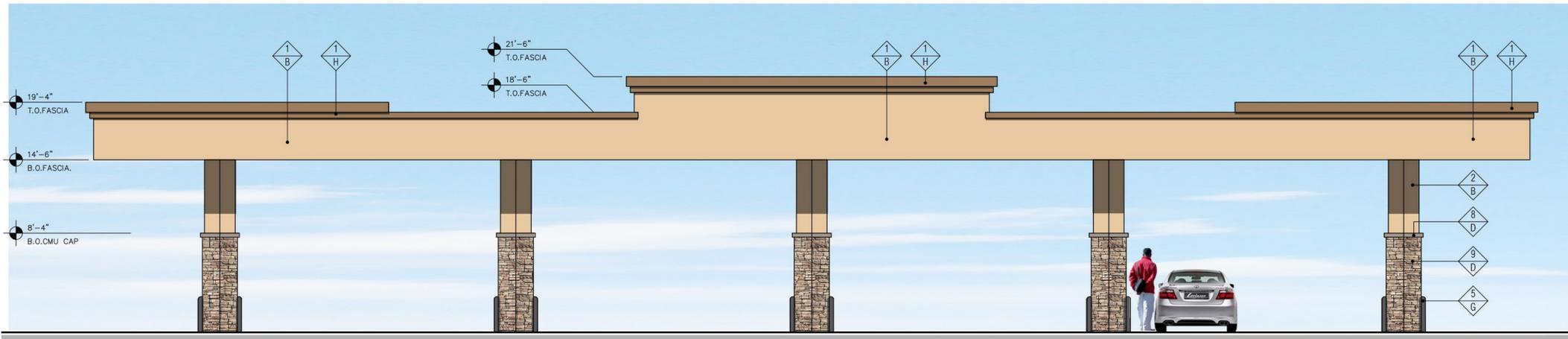
4 SIDE ELEVATION (EAST)
SCALE: 3/16" = 1'-0"

KEY NOTES

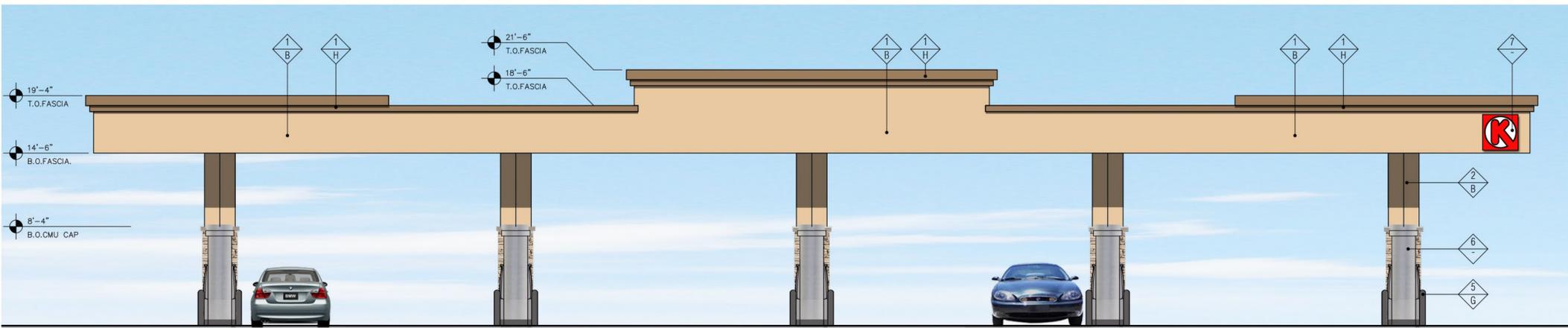
1. NOT USED
2. WALL MOUNTED LIGHT FIXTURE
3. DARK BRONZE W/ CLEAR GLASS WINDOW SYSTEM
4. INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
5. DARK BRONZE W/ CLEAR GLASS STOREFRONT SYSTEM
6. SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
7. CORNICE MOULDING WITH METAL CAP FLASHING
8. STUCCO SYSTEM PER ESR-1607 WITH ACRYLIC FINISH, OVER RIGID INSULATION.
9. WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL PLAN
10. SES PANEL LOCATION. SEE ELECTRICAL PLAN
11. ROOF LINE AND HVAC UNITS
12. STUCCO EXPANSION JOINT WITH FRY REGLET PCS-375-50. SEE DETAIL 4/AB.1
13. ROOF DRAIN TAIL
14. ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
15. 4x8x16 CMU VENEER, SPLIT FACE BY WESTERN BLOCK, GROUDED TO MATCH CMU COLOR
16. 4x4x8 SOLID CMU CAP
17. STUCCO SCORE LINE WITH FRY REGLET. SEE DETAILS 7/AB.1
18. PARAPET WALL BEYOND
19. (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
20. SMOKED GLASS OR BLACK OUT GLASS
21. STONE VENEER, INSTALL PER MFR. SPECS. INSTALL GROUDED. GROUT TO MATCH STONE COLOR
22. NOT USED
23. FOAM BAND
24. STONE VENEER CAP, INSTALL PER MFR. SPECS
25. CO2 TANK WITH METAL LOUVERED CONTAINER
26. EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE, SEE DET. 11/AB.3
27. NOT USED
28. 8'-0" HIGH SCREEN WALL

FINISH SCHEDULE

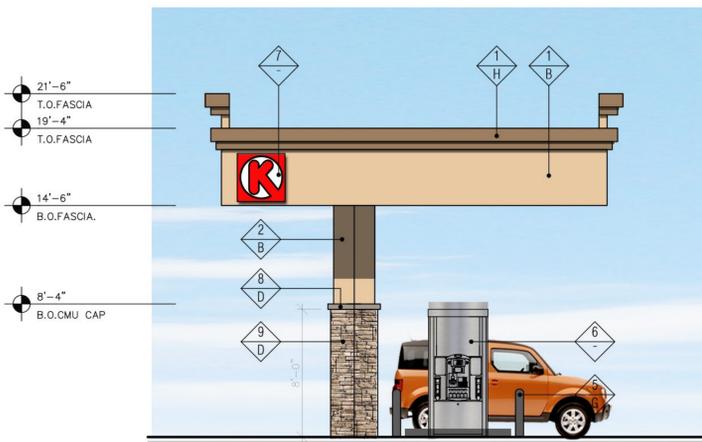
- A - *SHERWIN WILLIAMS #SW 6095
- TOASTY
 - B - *SHERWIN WILLIAMS #SW 6115
- TOTALLY TAN
 - C - CLEAR GLASS 0.8 PER 2006 IECC TABLE 102.1.3(3)
 - D - *SHERWIN WILLIAMS HI-SOLIDS POLYURETHANE
- SAFETY RED - CIRCLE K RED
 - E - *SHERWIN WILLIAMS #SW 7005
- CIRCLE K WHITE
 - F - WESTERN BLOCK SPLITFACE CMU
- "BOOT BROWN"
 - G - CULTURED STONE CSV 20006
- CHARDONNAY COUNTRY LEDGESTONE
 - H - *SHERWIN WILLIAMS #SW 6090
- JAVA
 - I - CIRCLE K ORANGE #PMS 144
- *USE SHERWIN WILLIAMS MANUFACTURER ONLY.



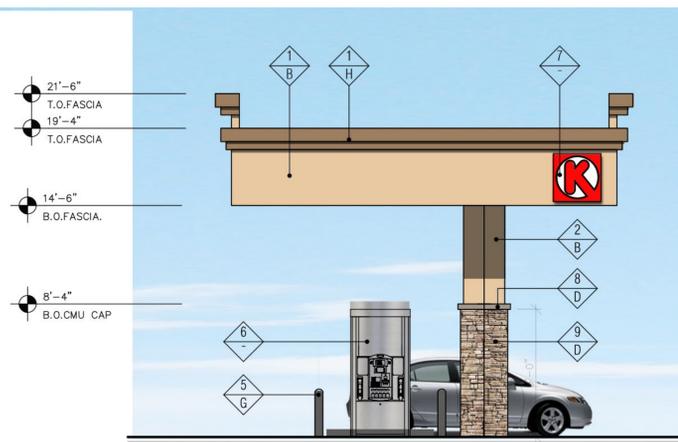
1 "REAR" SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 "FRONT" NORTH ELEVATION - STREET VIEW
SCALE: 3/16" = 1'-0"



4 "SIDE" EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 "SIDE" WEST ELEVATION - STREET VIEW
SCALE: 3/16" = 1'-0"

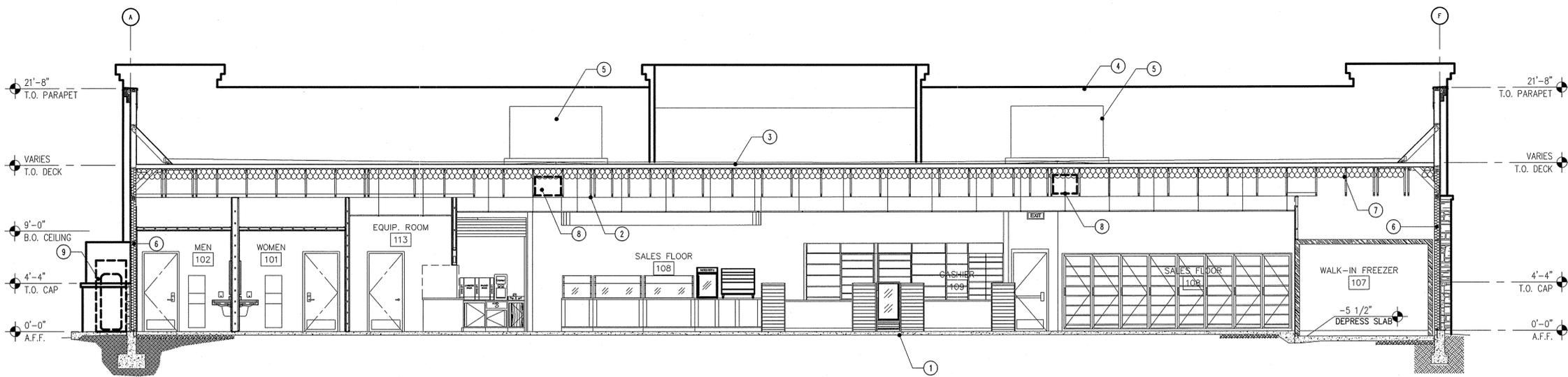
FINISH SCHEDULE

FINISH MATERIAL	
1	ACM PANEL "TEX-COTE" WITH STUCCO FINISH
2	STEEL CANOPY COLUMN WITH STUCCO FINISH
3	CIRCLE K COMET DECAL TO BE UNDER SEPARATE PERMIT
4	NOT USED
5	6" Ø BOLLARD, 36" HIGH
6	FUEL PUMP
7	INTERNALLY ILLUMINATED SIGN UNDER SEPARATE PERMIT - 36" DIA. BOX
8	STONE VENEER CAP
9	STONE VENEER, INSTALL PER MFR. SPECS.
FINISH COLOR	
A	NOT USED
B	SHERWIN WILLIAMS - SW6115 - TOTALLY TAN
C	SHERWIN WILLIAMS - SW6095 - TOASTY
D	CULTURED STONE CSV 20006 - CHARDONNAY COUNTRY LEDGESTONE
E	ACM PANELS CIRCLE K RED
F	NOT USED
G	SHERWIN WILLIAMS - DARK GRAY
H	SHERWIN WILLIAMS - SW6090 - JAVA

Note:
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturers samples.



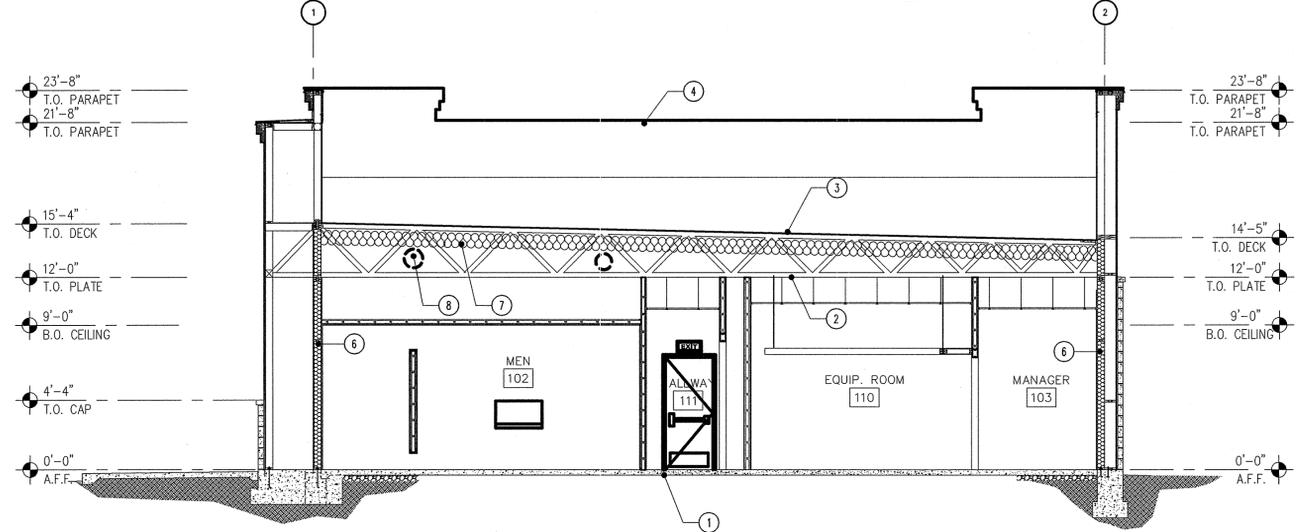




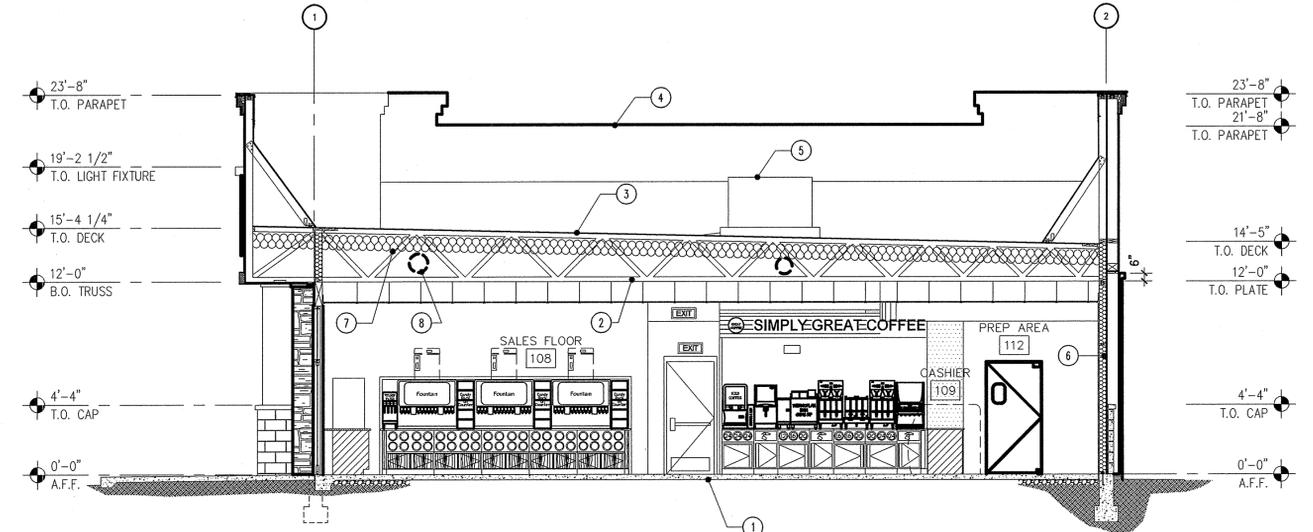
KEY NOTES (X)

1. CONCRETE SLAB, SEE STRUCTURAL FOR REINFORCING.
2. ROOF JOIST, SEE STRUCTURAL DRAWINGS FOR SPECIFIC INFORMATION.
3. BUILT-UP ROOFING SYSTEM OVER PLYWOOD SHEATHING. WALKWAYS AS REQUIRED BY ROOFING MANUFACTURER. ROOF SYSTEM TO BE FLOOD TESTED AFTER INSTALLATION TO ENSURE NO LEAKS.
4. PARAPET BEYOND
5. ROOF TOP HVAC UNIT, SEE MECHANICAL DRAWINGS.
6. R-19 BATT INSULATION
7. R-38 BATT INSULATION
8. ALL DUCT WORK TO GO THROUGH TRUSSES - SEE MECH.
9. BULK CO2 TANK WITH CO2 STORAGE CABINET

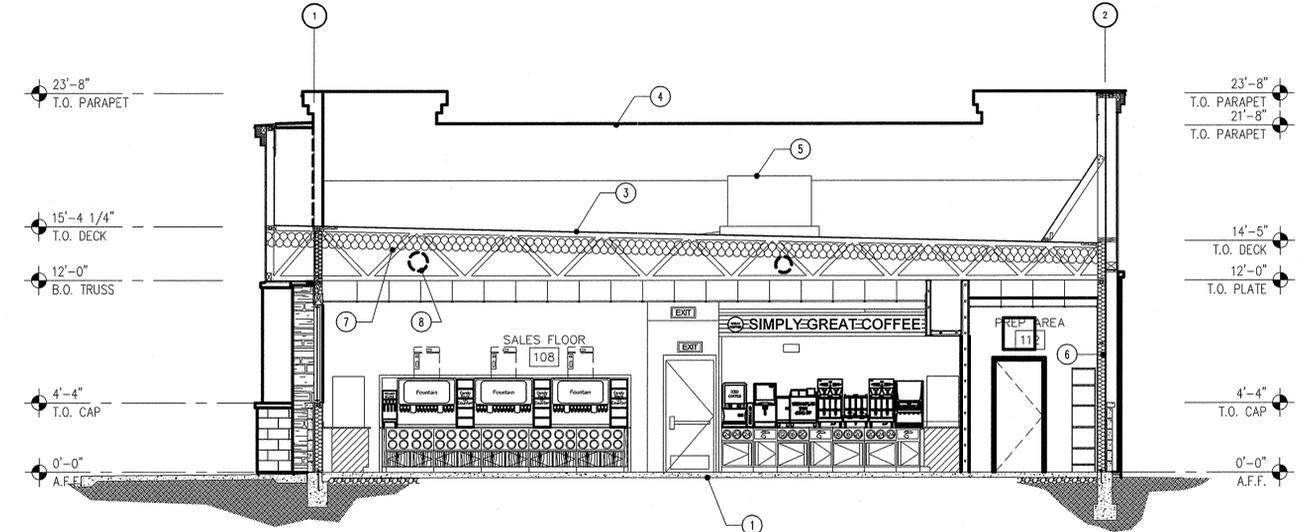
1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



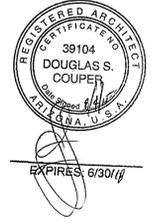
2 BUILDING SECTION
SCALE: 3/16" = 1'-0"

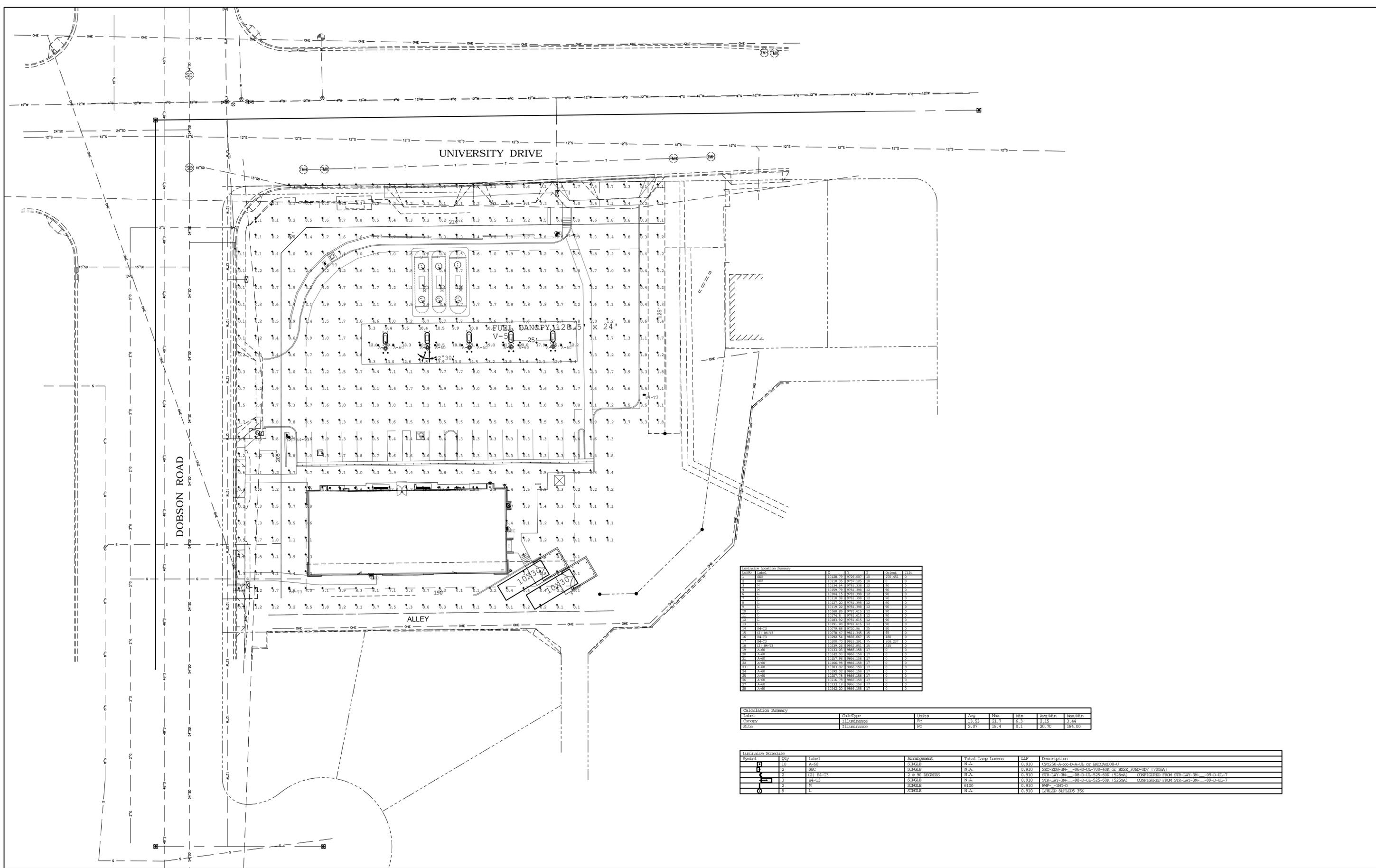


3 BUILDING SECTION
SCALE: 3/16" = 1'-0"



4 BUILDING SECTION
SCALE: 3/16" = 1'-0"





STR-LWY-3M-HT LEDway® Streetlight – Type III Medium

Related Catalog # STR-LWY-3M-HT-D

Product Description
This profile, easy-mounting luminaire from below the deck. Luminaire housing is constructed of die-cast aluminum with integral heat sink specifically designed for LED. Luminaire mounts directly to the canopy deck in a 2.0" (50.8mm) hole. 4.0" (101.6mm) round hole used to connect to deck with recessed self-healing covers that provide water-tight seal. Suitable for use in single or double row applications with a maximum of 40' (12.2m) wide streets and a maximum of 20 lamps. 100' (30.5m) canopy clearance. Street lighting of LED is illuminated with high efficiency patented LED at 0.87 (21.9%) crop light.

Performance Summary
Made in the U.S.A. of U.S. and imported parts.
CR: 100% (0.90)
CCR: 90.00% (0.81)
Listed Warranty: 5 years on luminaire / 5 years on ColorBlast LEDway® Flash

Accessories

AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW

LED PERFORMANCE SPECS

LED Type	Wavelength (nm)	Beam Angle (°)	Power (W)	Current (A)	Temp. (°C)	Life (hrs)	Efficiency (lm/W)	Beam Spread (ft)	Beam Spread (m)
1	4500	120	100	1.0	100	100,000	100	10	3.0
2	4500	120	100	1.0	100	100,000	100	10	3.0

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CPY250-A-DM-D-F-A

CPY250 LED Canopy / 250W Luminaire
Street Mount - 250W LED Luminaire - Street Mount

Product Description
This luminaire is designed for use in street lighting applications. It features a die-cast aluminum housing with a recessed LED array. The luminaire is designed for use in street lighting applications with a maximum of 40' (12.2m) wide streets and a maximum of 20 lamps. 100' (30.5m) canopy clearance. Street lighting of LED is illuminated with high efficiency patented LED at 0.87 (21.9%) crop light.

Performance Summary
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Listed Warranty: 5 years on luminaire / 5 years on ColorBlast LEDway® Flash

Accessories

AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW

LED PERFORMANCE SPECS

LED Type	Wavelength (nm)	Beam Angle (°)	Power (W)	Current (A)	Temp. (°C)	Life (hrs)	Efficiency (lm/W)	Beam Spread (ft)	Beam Spread (m)
1	4500	120	100	1.0	100	100,000	100	10	3.0
2	4500	120	100	1.0	100	100,000	100	10	3.0

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CPY250-A-DM-D-F-A

CPY250 LED Canopy / 250W Luminaire
Street Mount - 250W LED Luminaire - Street Mount

Product Specifications
CONSTRUCTION & MATERIALS
• Die-cast aluminum housing with recessed LED array
• Luminaire housing is designed for use in street lighting applications
• Luminaire housing is designed for use in street lighting applications
• Luminaire housing is designed for use in street lighting applications

Photometry
The photometric data is based on the following assumptions:
• The luminaire is mounted at a height of 10 feet
• The luminaire is mounted at a height of 10 feet
• The luminaire is mounted at a height of 10 feet

LED PERFORMANCE SPECS

LED Type	Wavelength (nm)	Beam Angle (°)	Power (W)	Current (A)	Temp. (°C)	Life (hrs)	Efficiency (lm/W)	Beam Spread (ft)	Beam Spread (m)
1	4500	120	100	1.0	100	100,000	100	10	3.0
2	4500	120	100	1.0	100	100,000	100	10	3.0

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SEC-EDG-3M-WM THE EDGE® LED Wall Pack

Related Catalog # SEC-EDG-3M-WM-D

Product Description
This luminaire is designed for use in street lighting applications. It features a die-cast aluminum housing with a recessed LED array. The luminaire is designed for use in street lighting applications with a maximum of 40' (12.2m) wide streets and a maximum of 20 lamps. 100' (30.5m) canopy clearance. Street lighting of LED is illuminated with high efficiency patented LED at 0.87 (21.9%) crop light.

Performance Summary
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CR: 100% (0.90)
CCR: 90.00% (0.81)
Listed Warranty: 5 years on luminaire / 5 years on ColorBlast LEDway® Flash

Accessories

AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW

LED PERFORMANCE SPECS

LED Type	Wavelength (nm)	Beam Angle (°)	Power (W)	Current (A)	Temp. (°C)	Life (hrs)	Efficiency (lm/W)	Beam Spread (ft)	Beam Spread (m)
1	4500	120	100	1.0	100	100,000	100	10	3.0
2	4500	120	100	1.0	100	100,000	100	10	3.0

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SEC-EDG-3M-WM THE EDGE® LED Wall Pack

Related Catalog # SEC-EDG-3M-WM-D

Product Description
This luminaire is designed for use in street lighting applications. It features a die-cast aluminum housing with a recessed LED array. The luminaire is designed for use in street lighting applications with a maximum of 40' (12.2m) wide streets and a maximum of 20 lamps. 100' (30.5m) canopy clearance. Street lighting of LED is illuminated with high efficiency patented LED at 0.87 (21.9%) crop light.

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CCR: 90.00% (0.81)
Listed Warranty: 5 years on luminaire / 5 years on ColorBlast LEDway® Flash

Accessories

AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW

LED PERFORMANCE SPECS

LED Type	Wavelength (nm)	Beam Angle (°)	Power (W)	Current (A)	Temp. (°C)	Life (hrs)	Efficiency (lm/W)	Beam Spread (ft)	Beam Spread (m)
1	4500	120	100	1.0	100	100,000	100	10	3.0
2	4500	120	100	1.0	100	100,000	100	10	3.0

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WIDE FASCIA

LUMINAIRE ORDERING INFORMATION

Typical Order Example: BWF x THO 0 120 WHT

Dimensions: 1.5" H x 1.5" W x 1.5" D

Typical Application: Street lighting, parking lots, etc.

Shipping Weights - Wide Fascia

Order #	Length (ft)	Weight (lbs)
10001	10	10
10002	20	20
10003	30	30
10004	40	40
10005	50	50

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WIDE FASCIA

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10001	10	10
10002	20	20
10003	30	30
10004	40	40
10005	50	50

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8" LED Downlight LF8LED

120V-277V High Efficiency 0-10V Dimming

Applications: This luminaire is designed for use in street lighting applications. It features a die-cast aluminum housing with a recessed LED array. The luminaire is designed for use in street lighting applications with a maximum of 40' (12.2m) wide streets and a maximum of 20 lamps. 100' (30.5m) canopy clearance. Street lighting of LED is illuminated with high efficiency patented LED at 0.87 (21.9%) crop light.

Performance Summary
Made in the U.S.A. of U.S. and imported parts.
CR: 100% (0.90)
CCR: 90.00% (0.81)
Listed Warranty: 5 years on luminaire / 5 years on ColorBlast LEDway® Flash

Accessories

AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW
AA-ARCCW	AA-ARCCW	AA-ARCCW	AA-ARCCW

LED PERFORMANCE SPECS

LED Type	Wavelength (nm)	Beam Angle (°)	Power (W)	Current (A)	Temp. (°C)	Life (hrs)	Efficiency (lm/W)	Beam Spread (ft)	Beam Spread (m)
1	4500	120	100	1.0	100	100,000	100	10	3.0
2	4500	120	100	1.0	100	100,000	100	10	3.0

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PHOTOMETRIC DATA

Control Inverter

For fixture full light output in background mode, Prescolite and Doolittle have jointly tested the LifeFrame LED with the 100 001 and 100 002 VA LifeFrame inverters. For more information on LifeFrame go to www.doolittle.com/resources/Inverter_Luminaire_Installation_guide/

Dimming Compatibility Table (Verify with Vendor)

Dimmer	LifeFrame LED	LifeFrame LED
1	100 001	100 002
2	100 001	100 002
3	100 001	100 002
4	100 001	100 002
5	100 001	100 002

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August 5th, 2015

Mr. Wahid Alam, AICP
Planner II, Planning Division
City of Mesa
Development and Sustainability Department
55 N. Center Street, Mesa, AZ 85201

RE: PLN2015-00294 & 295
1955 W. University Drive

Mr. Alam,

Below, please find our responses to the review comments generated during your 1st review of the Site Plan and Design Review submittal.

Staff Comments/Concerns:

1. Site Plan
 - a) Show all future R.O.W. and street improvements per City of Mesa standards along Dobson & University Drive.

The existing and proposed ROW and proposed street improvements are shown on the revised Site Plan.

- b) Minimum Building/Parking Setbacks in the LC zoning district:
 - i) Along University from future 65' ROW: 15' shall be landscaped
 - ii) Along Dobson from future 75' ROW: 15' shall be landscaped
 - iii) South property line: Min. 20' shall be landscaped.
 - iv) East property line: 15' which shall be landscaped.

This project has applied for a Development Incentive Permit (“DIP”) which is requesting an overall reduction of the required landscape setback along all 4 property boundaries in order to accommodate the proposed redevelopment project. The site, as it is currently configured, provides very little landscaping as it is largely occupied by pavement and buildings. In addition, the proposed project requires right-of-way dedications on both University Drive (varies, 12 feet to 20 feet) and Dobson Road (17 feet) which further reduces the usable area for the redevelopment project. Therefore, the front (north) and side (west) landscape setbacks have been reduced from 15 feet (required) to 10 feet, the rear (south) setback reduced from 20 feet (required) to 13.5 feet and the interior side (east) setback reduced from 15 feet (required) to 5.1 feet. It should be noted that the property and use immediately east of this project is also zoned Limited Commercial and an access easement along the east 10 feet of parcel 135-63-123H prevents the installation of landscaping or improvements in this area. Circle K has modified their site plan in order to provide the 5.1 feet of landscaping.

- c) The proposed site plan does not meet any current setback along any property lines.

Acknowledged. As stated above, this project has applied for a DIP.

- d) The site seems very small for the proposed facility with convenience and gas canopy at a major arterial intersection.

Were it not for the required ROW dedications, the site would meet or exceed all City of Mesa development standards. Due to the ROW dedications, Circle K has applied for a DIP which would allow them to redevelop the site with some relief on the required building/landscape setbacks.

- e) The proposed redevelopment does not include the parcel to the east. The undeveloped parcel to the east has less than 36 feet wide frontage along University Drive, potentially making the parcel undevelopable for future use. The minimum lot width for LC zoning District is 100 feet.

The parcel to the east is existing and is owned by a different entity than the owner of the parcels Circle K is redeveloping.

- f) Staff recommends including the left over parcel to the east in the redevelopment proposal so the facility can be built per current City code and standards.

Circle K has contacted the owner of the parcel to the east and is unable to reach an agreement to purchase the parcel.

- g) Provide pedestrian connections to the transit stop and public sidewalks on University Drive per Section 11-30-8.

A pedestrian connection has been provided to both University Drive and Dobson Road.

- h) Retention basin needs to be located outside future ROW and designed per current code Section 11-33-6.

All retention basins are located outside of the future ROW and are designed per current code Section 11-33-6.

- i) Staff recommends widening the foundation base in front of the store front door to include the parking lot depth by elimination at least two parking spaces to allow the customer properly transition from the interior of the store to the outside automobile/pump area.

The Site plan provides for 15' from the front of the store to the beginning of the parking lot. In addition, the front doors of the store are aligned with the accessible space striped area which provides for an additional 18 + feet of space (for a total of 33') for the customer to transition from the interior of the store to the outside automobile/pump area.

- j) Total parking shall not be more than 125% of required spaces (15) per Section 11-32-3C.

Per the revised Site Plan, 16 spaces are required and 17 spaces are provided. Therefore, we meet the requirements of Section 11-32-3C.

- k) The proposed Service Station needs to be designed per Section 11-31-25 for landscaping, fencing, and lighting and update the project narrative with “good neighbor policy.”

The project has been designed to meet the requirements of Section 11-31-25 for landscaping (modified per the DIP request), fencing (masonry block walls) and lighting. In addition, the project narrative has been updated with the “good neighbor policy.”

- l) Monument signs need to be outside the ROW.

Circle K will be requesting a License to place the monument signs within the ROW. On previous projects, Circle K was granted a license to place the monument sign in the ROW with the understanding Circle K will be responsible to remove/relocate the sign if improvements are required in the ROW.

2. Landscape Design:

Provide landscape material per Section 11-33-3, 5 &
6. <http://mesaaz.gov/planning/PDF/ZoningOrd/Chapter33.pdf>

The landscape plan was designed to meet Section 11-33-3, 5 & 6.

3. Building Design:

- a) The gas canopy needs more articulation with design, material and texture.

The gas canopy has been modified and now includes architectural features found on the Circle K Store building.

- b) Store front architecture looks flat and needs more variation, enhancements and prominence.

The front façade of the store has a significant amount of variation and enhancements. The planes of the building move from 0”, 4”, 12”, 36” and 52” and has 3 different materials (cultured stone, masonry block and stucco).

- c) Shade at Entries: at customer entrances, pedestrian walkways shall be provided with weather protection such as canopies, awnings, arcades and trellises (Section 11-30-8F).

The front entry provides shade and weather protection for customers as it projects out from the building 52”.

d) Show roof top mechanical equipment with dotted lines on elevations.

Rooftop mechanical equipment has been shown on the elevations with dotted lines.

e) The end elevations facing east and west needs more articulations.

The east and west elevations have been modified with varying planes, colors and materials.

Please let me know if you have any additional questions or concerns. We look forward to working with the City of Mesa on this project.

Sincerely,

Michael E. Scarbrough