

A wide, paved street lined with young trees and a building with arched windows in the background. The street is clean and well-maintained, with a clear blue sky and a few clouds. A silver car is parked on the side of the road. The overall scene is bright and sunny.

DEVELOPMENT ADVISORY FORUM

Wednesday, June 3, 2020

UPCOMING PROJECTS

- Mesa 2040 General Plan Amendments
- Residential Small Lot Guidelines
- Infill Resource Guide
- Historic Preservation Design Guidelines

- Zoning Code Text Amendments
 - Site Plan Review Procedures
 - Subdivision Regulations
 - Community Residence Standards
 - Assisted Living Standards




GENERAL PLAN AMENDMENTS

- Character Area Designation clarifications
- General Plan amendment criteria modifications

MESA 2040 GENERAL PLAN

Development of the Mesa 2040 General Plan began in 2012. A citizen Plan Advisory Committee (PAC) was appointed to work with staff in the development of the plan. The City Council approved the Mesa 2040 General Plan in June 2014 and the voters adopted it in November 2014.



GENERAL PLAN CHARACTER AREAS

NEIGHBORHOOD VILLAGE

- Min. primary use = 80%

EMPLOYMENT

- Business Park - Min. primary use = 70%
- Industrial - Min. primary use = 75%
- Employment Core - Min. primary use = 80%

MIX USE ACTIVITY

- Min. primary use = 70%

MIX USE COMMUNITY

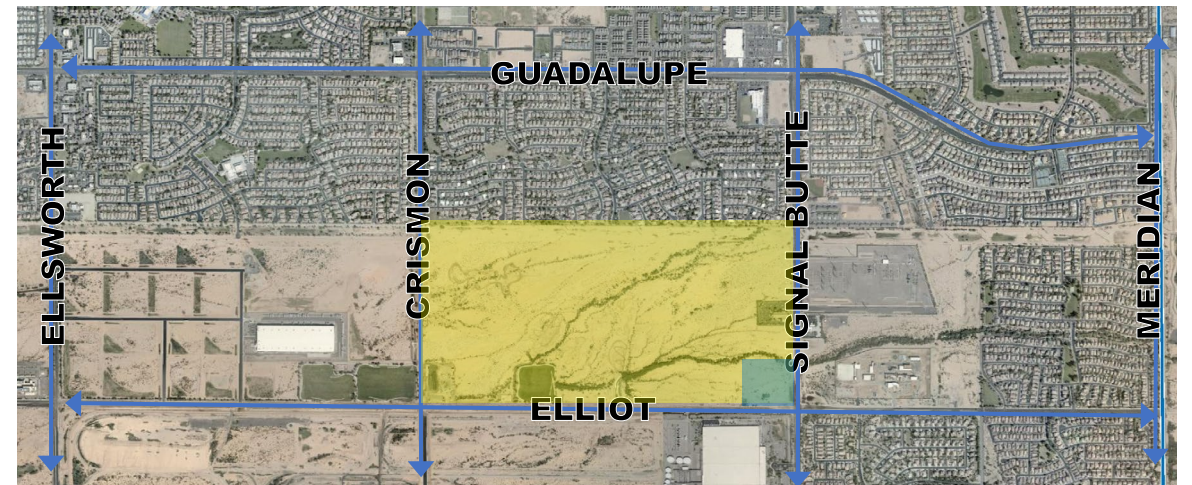
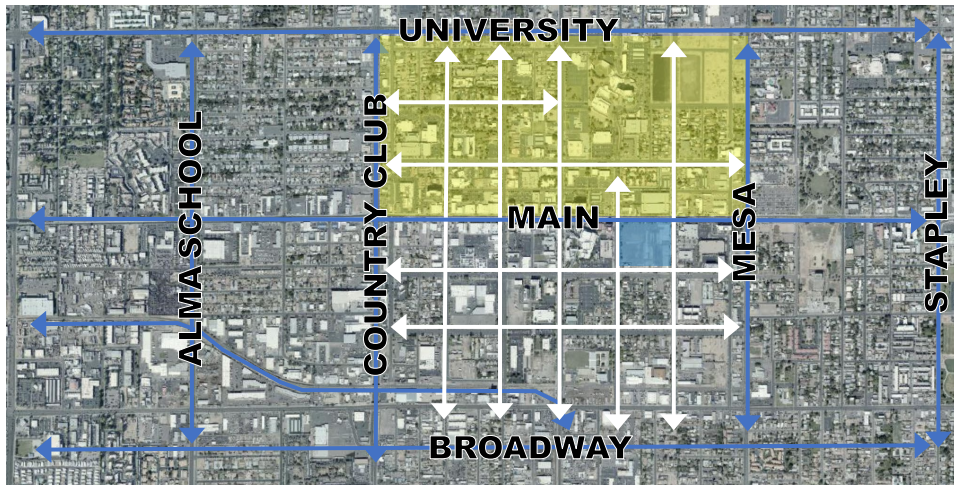
- Residential development must have substantial commercial component or support existing commercial development

GENERAL PLAN AMENDMENT CRITERIA

MAJOR AMENDMENT

- ≤ 10 acres in the Downtown and Transit Districts
- ≤ 320 acres in all other Character Areas

MINOR AMENDMENT - all other



SMALL LOT GUIDELINES

- Provide clear design expectation
- Site planning & technical requirements in one document
- Identify design criteria that needs updating



SMALL LOT CHALLENGES



- Unsafe and insufficient solid waste barrel location for storage, pick up, and truck access
- Cluttered streetscapes – no parking signs, barrels, parking
- Insufficient or inconveniently located guest parking
- Conflicts between trash service, underground utilities and street trees
- A lack of substantial landscaping
- Decreased usability of private yards and open space
- Buildings that appear too big and blocky
- Little or no architectural variety between buildings
- Private infrastructure maintenance and reliability
- Homeowners Association (HOA) financial stability



SMALL LOT GUIDELINES

- Reduce the size and number of curb cuts
- Encourage shared driveways, permeable pavement and Hollywood drives
- Allow for bin refuse collection vs individual barrels
- Establish maximum floor area ratio (0.7 F.A.R. per lot)
- Context specific landscaping requirements



SMALL LOT GUIDELINES

- Draft document reviewed by steering committee
- Posted on website soon
- Anticipated for Council in Fall



SMALL LOT DEVELOPMENT GUIDELINES

INFILL RESOURCE GUIDE

- Encourage reuse of underutilized buildings and parcels
- Resource detailing tools and strategies





BENEFITS OF INFILL

REDUCTION OF BLIGHT

- Improved quality of life in older neighborhoods by contributing amenities, appearance enhancements, and reinvestment
- Encourages the renovation and/or redevelopment of surrounding properties

SUSTAINABILITY

- Reduced sprawl and preservation of open space
- Development with higher densities, taller buildings, and mixed-use developments

EXISTING INFRASTRUCTURE

- Cost savings from ability to utilize existing infrastructure like roads, transit, and parks
- 



BARRIERS TO INFILL

REGULATORY

- One size fits all zoning requirements
- Excessive parking standards
- Lengthy permitting processes

PHYSICAL

- Site constraints related to size
- Land availability and ability to assemble land
- Environmental issues or contamination from prior use

SOCIAL

- Neighborhood opposition
- Poor schools and a lack of amenities in older areas
- Fear of reduced marketability

ECONOMIC

- Uncertainty in entitlement outcomes and time frames
- Costly upgrades and repair to aging infrastructure

01 REDUCED SETBACKS

To match existing established development patterns, reductions in the required setbacks for front yard, side yard, and rear yard setbacks will be allowed on a case-by-case basis. Reducing setbacks not only allows new development to fit seamlessly in existing neighborhoods, it also increases the buildable area of the site.

02 REDUCED PARKING

Certain reductions to the required parking standards may be allowed. The reductions strive to provide adequate parking while limiting excessive, unnecessary parking spaces, which serves to reduce the cost of development and to increase the walkability of the neighborhoods.

INFILL INCENTIVE TOOLKIT

The incentives summarized on the next two pages comprises a toolkit providing flexibility from certain development standards and streamlined processes for infill development.

Not all incentives are available to every project. However, City staff can assist in determining in what incentives may be applicable.



03 REDUCED LANDSCAPING

On a case-by-case basis, for existing buildings, the landscape regulations will be reduced. The focus for required landscape will continue to be on trees, particularly street trees, which provide shade, visual enclosure to the street, increased property values, and a host of environmental benefits.

04 INCREASED LOT COVERAGE

In general, older developments were not designed with the open space or impervious requirements as required by current Code. Furthermore, many by-passed parcels do not meet minimum lot size requirements, which limits the buildable area. Reductions to opens space requirements may be considered on a case-by-case basis.

05 BUILDING CODE FLEXIBILITY

The International Existing Building Code (IEBC) allows flexibility of building code requirements for some existing and historic properties. When repairing or altering an existing building, use of this code allows compliance with minimum safety requirements to be achieved without compromising the

06 FIRE CODE FLEXIBILITY

In some circumstances, alternatives and/or modifications to the City of Mesa Fire code may be considered. Requests submitted to the Fire Department in accordance with National Fire Protection Association guidelines (NFPA 12012 § 1.4) will be based on the project

07

No-build alternatives

INFILL RESOURCE GUIDE

- Staff drafting document
- Look for feedback opportunities
- Will include Code Amendments
- Anticipated for Council in Fall/Winter

HISTORIC PRESERVATION DESIGN GUIDELINES

- Identify historic contexts and character-defining features for each Historic District
- Guide the treatment and alterations of historic properties, and the construction of new structures





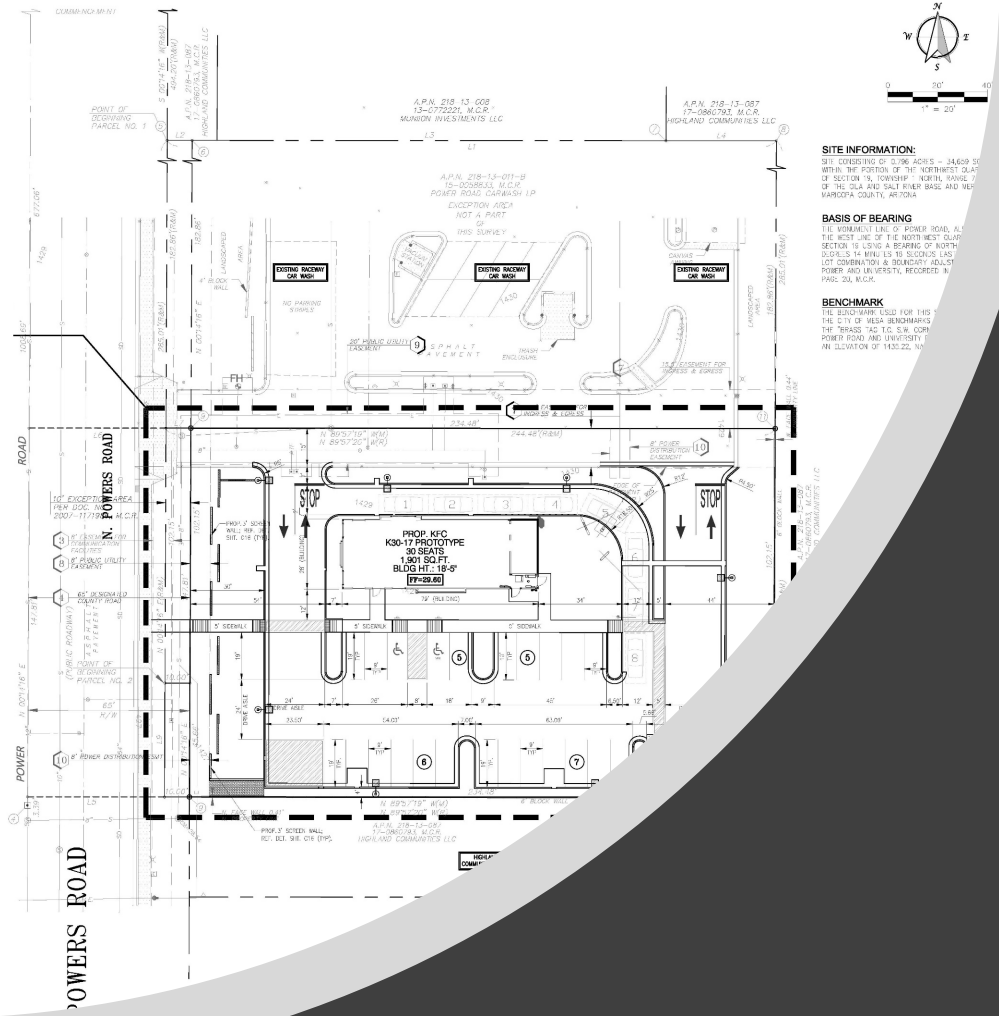
HISTORIC PRESERVATION DESIGN GUIDELINES



- Consultant selected
- Look for feedback opportunities
- Include Code amendments
- Anticipated for Council Spring 2021

BOISE
STREET

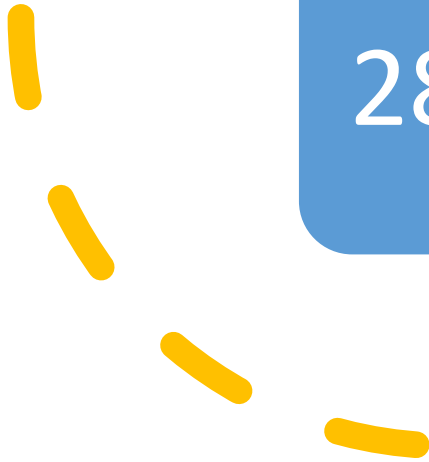
N. POWERS ROAD



SITE PLAN REVIEW

- Create a predictable process
- Provide clear expectations and consistent reviews
- Improve Efficiency – Reduce time preparing for and holding public hearings

SITE PLAN REVIEW PROCESS



SITE PLAN REVIEW

- Draft Amendments on website soon
- Anticipated for Council August

MAJOR SITE PLAN

- Uses requiring a public hearing
- Approved by Planning & Zoning Board or City Council

MINOR SITE PLAN

- Uses permitted by right
- Approved administratively by staff

A photograph of a suburban street scene. In the foreground, a paved road curves to the right. A sidewalk runs along the left side of the road, lined with young trees. A street sign on a pole indicates 'E Agriopia' and '1019'. In the background, there are several houses with tiled roofs and lush greenery under a clear blue sky.

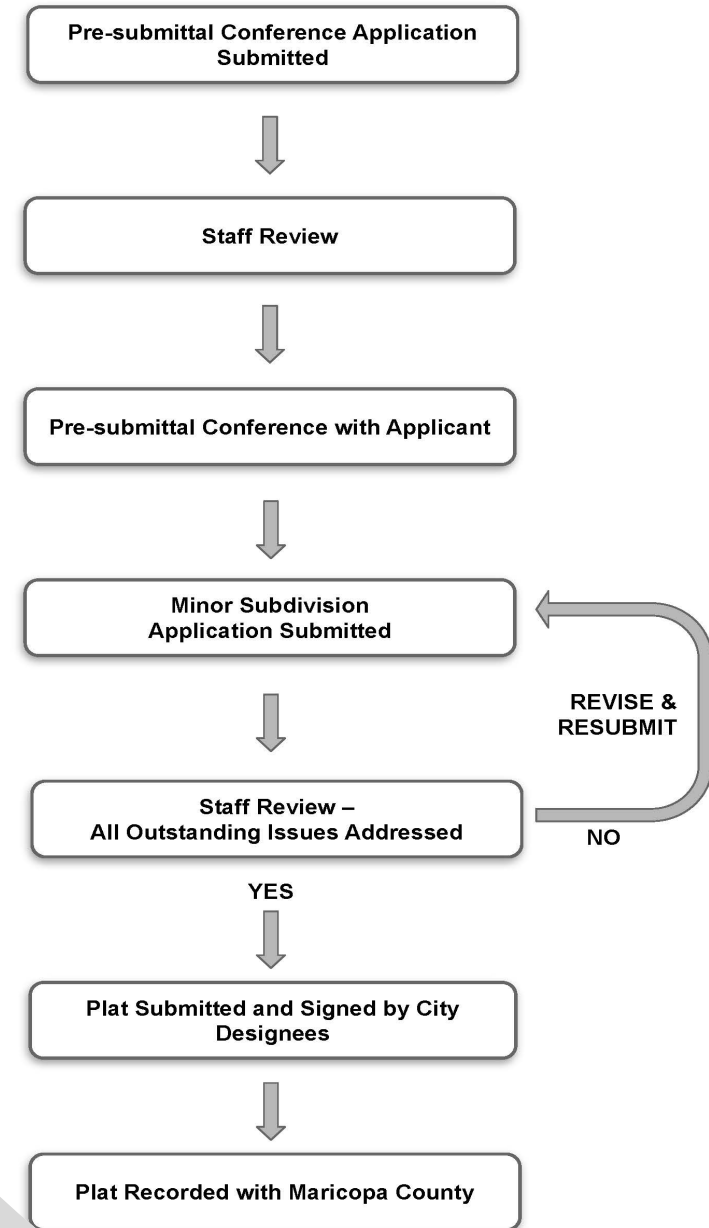
SUBDIVISION REGULATIONS

- Last updated in 1989
- Create streamlined processes
- Update standards to reflect a more modern design character
- Remove obsolete references, figures, and exhibits

SUBDIVISION REGULATIONS

- Eliminate Technical Subdivision Review – Effective July 1
- Create a Minor Subdivision Process
- Staff drafting Code amendments
- Anticipated for Council Fall/Winter

MINOR SUBDIVISION PROCESS



COMMUNITY RESIDENCE REGULATIONS

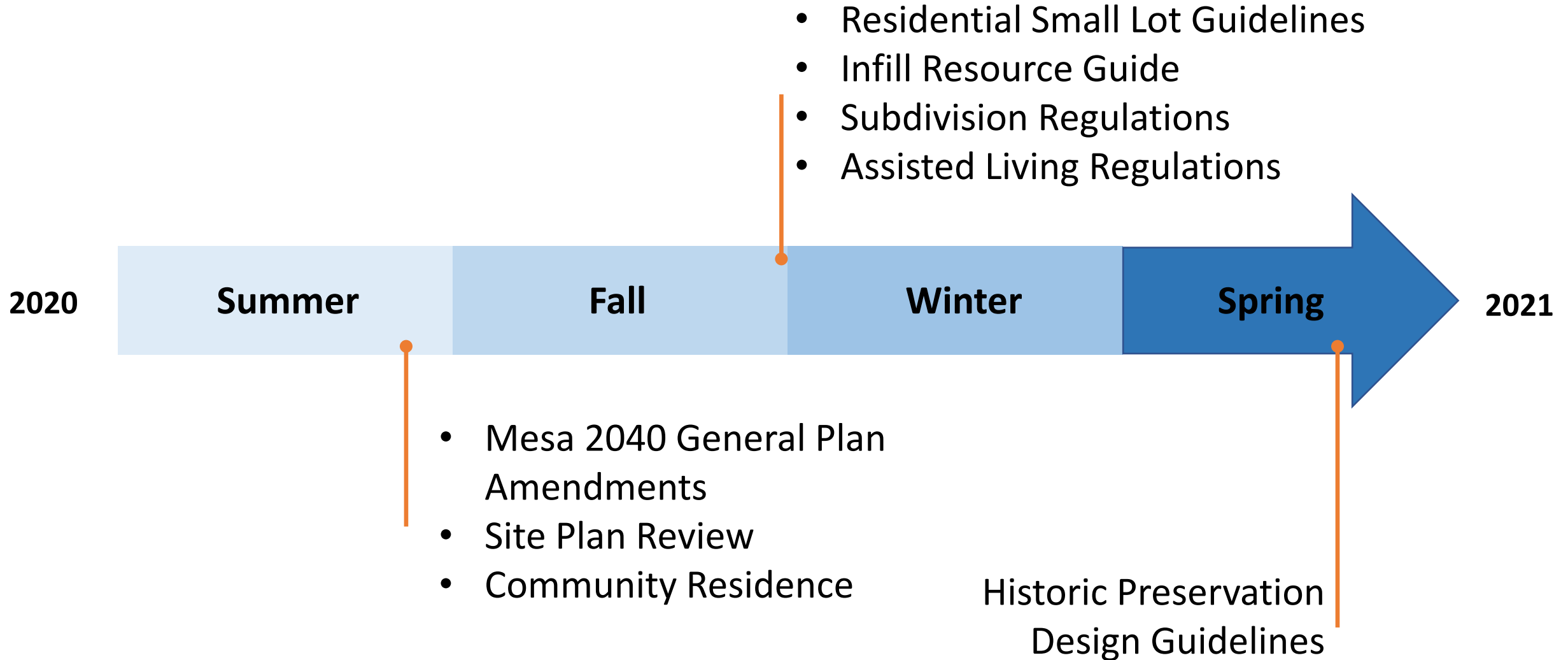
- Follow State Regulations

ASSITED LIVING STANDARDS

- Location
- Process



ANTICIPATED TIMELINE



A wide, paved road lined with trees and a building on the left, with a car parked on the side. The scene is bright and sunny, with shadows cast on the road. The building on the left has arched windows and a light-colored facade. The trees are lush and green, and the sky is blue with some clouds.

Questions/Discussion

Hold for website address !!!