



Board of Adjustment

Staff Report

CASE NUMBER: BA15-022 (PLN2015-00039)
STAFF PLANNER: Kaelee Wilson
LOCATION/ADDRESS: 1925 East Brown Road
OWNER: AZ Gold
APPLICANT: Liliana Plnedo/Tectonic Engineering

REQUEST: *Requesting a Special Use Permit to allow a wireless communications facility to exceed the maximum height allowed in the LC zoning district. (PLN2015-00187)*

SUMMARY OF APPLICANT'S REQUEST

Requesting a Special Use Permit (SUP) to allow a wireless communication facility (WCF) to exceed the maximum height allowed in the LC zoning district. The applicant is proposing the construction of a 55-foot tall monopalm measured to the top of the palm fronds. The WCF is proposed within an existing retail development located west of Gilbert Road, south of Brown Road.

STAFF RECOMMENDATION

Staff recommends approval with the following conditions of case BA15-022:

- 1. Compliance with the site plans dated April 2, 2015, except as modified by the following conditions.*
- 2. The wireless communication facility shall utilize an architectural tower design with a maximum height of sixty-feet (60').*
- 3. The design of the architectural tower shall be reviewed and approved by the Zoning Administrator through the Administrative Review process.*
- 4. The northern wall of the architectural tower element shall align with the front wall of the building suites and shall not obstruct the sidewalk.*
- 5. The equipment enclosure shall be located to the south of the tower element in the adjacent parking spots.*
- 6. The 22'-7" by 21'-0" lease area containing the equipment shelter and generator shall be screened by a 10' tall masonry wall with solid metal gate painted to be compatible with the architectural tower and buildings.*
- 7. The operator of the WCF shall respond to and complete all identified maintenance and repair of the facility within 30-days of receiving written notice of the problem.*
- 8. Provide a permanent, weather-proof identification sign, approximately 16-inches by 32-inches in size on the gate of the fence identifying the facility operator(s), operator's address, and 24-hour telephone number for reaching the operator or an agent authorized to provide 24/7 response to emergency situations.*
- 9. Maintenance of the facility shall conform to the requirements of Zoning Ordinance Section 11-35-5.i.*
- 10. No later than 90 days from the date the use is discontinued or the cessation of operations, the owner of the abandoned tower or the owner of the property on which the facilities are sited shall remove all equipment and improvements associated with the use and shall restore the site to its original condition as shown on the plans submitted with the original approved application. The owner or his agent shall provide written verification of the removal of the wireless communications facility within 30 days of the date the removal is completed.*

11. *Compliance with all requirements of the Development Services Division with regard to the issuance of building permits.*

SITE CONTEXT

CASE SITE:	Existing group commercial center – zoned LC
NORTH:	(across Brown Road) Existing commercial development, office and residential – zoned LC, OC and RS-9
EAST:	(across Brown Road) Existing residential homes and office– zoned RS-9, RS-6PAD and LC
SOUTH:	Existing residential homes – zoned RS-9
WEST:	Existing residential homes – zoned RS-9

STAFF ANALYSIS

The requested Special Use Permit (SUP) would allow the placement of 55-foot high monopalm at the northwest corner of the existing group commercial development on the sidewalk connecting the parking lot to the existing in-line retail suites. The proposed monopalm is located 84'-9" away from the property line adjacent to the residential homes. The proposed equipment enclosure that will house the equipment cabinets and generator will be approximately 22'-7" by 21'-0" with an 8'-0" screen wall.

The wireless communication facility has been proposed to address "both capacity deficiencies and a gap in coverage". The applicant has provided coverage maps depicting coverage before and after placement. Staff cannot identify if there is a coverage gap at the exact location of the placement due to the cell tower label covering the portion of the map. The map depicting coverage after the installation shows small coverage gaps filled.

Wireless communication facilities that exceed the maximum height permitted are an allowed use in the LC Zoning District subject to granting of a Special Use Permit. In addition, the Zoning Ordinance includes location, design, and operation requirements.

Location Preferences: The Zoning Ordinance provides a ranked listing of preferred locations for new wireless communication facilities. Top preference is given to placement on existing non-residential structures, such as buildings or utility facilities located more than 300 feet from residential zones; followed by co-location on existing wireless communication facilities. When such locations are not available, locations within industrial zones are preferred, followed by stealth applications in commercial zones, then stealth applications in residential zones.

Although the proposed location is within the LC zoning district, staff is not supportive of the location within the shopping center. The equipment enclosure and tower will be visible from the public parking lot. As proposed, the large equipment enclosure is obstructing the sidewalk leading from the parking lot to the inline retail shops (it is important to note that the Building Code requires 44 inches for ADA accessibility. The plans provided by the applicant depict the screen wall being at the edge of the sidewalk). Staff has suggested several other locations within the shopping center that would be preferred. There are several locations behind the building around the loading docks that would be less visually intrusive to the residential homes to the west and the patrons of the shopping center.

Staff has suggested other commercial properties surrounding the intersection of Brown and Gilbert Roads. In the Justification and Compatibility statement, the applicant mentioned researching the Dunkin Donuts site on the NWC of Brown and Gilbert Roads. The site was rejected based on lack of space. Staff would not be supportive of that location based on the site already being congested with multiple restaurant uses. The other location the applicant approached was the Cottage Offices located on the NEC of Brown and Gilbert Roads. The owner rejected the proposal due to future land development opportunities. Staff has advised the applicant to look at other locations surrounding the intersection other than the two provided. There are several properties east of the intersection and two to the west that are zoned commercially.

Design Preferences/ Design Standards: The Zoning Ordinance provides a ranked listing of preferred design approaches for new wireless communication facilities. Top preference is given architecturally integrated building mounted antennas, such as steeples, chimneys, and cupolas, followed by building mounted antennas concealed by faux-structures, then antennas directly mounted to building and visible, but artistically integrated into the structure. When building mounted locations are not available, freestanding structure designs such as sculptures and clock towers are preferred, followed by freestanding stealth trees, then freestanding monopoles. The Zoning Ordinance also provides several standards to help ensure antennas, antenna support structures, and related equipment are located, designed, and screened to blend with the existing natural or built surroundings.

The applicant has requested the use of a freestanding monopalm with a height of 50' feet to the RAD center of the antennas (55-feet to top of the palm fronds). Staff believes there are better design alternatives that won't inhibit the functionality of the WCF but will reduce the visual impact of the tower structure. Staff has recommended an architectural tower element for this location due to its proximity to the foundation base of the building. Staff believes an architectural tower close and/or attached to the most western suite with the equipment enclosure to the south of tower would be less visually invasive and would provide better concealment of the equipment. If for structural reasons the architectural tower would not be feasible, staff would suggest a monopine as an alternative. The vegetation in this area is more compatible with a monopine than a monopalm. Both the architectural tower and the monopine provide opportunity for colocation, a monopalm does not.

The monopalm is proposed to have a stand-off distance of approximately 3-feet with a 9-foot array. The antenna dimensions are 8' in length, 12" in width and 7.1" in depth. With those dimensions, it will be extremely challenging to provide adequate screening of the antennas with palm fronds. The proposed antennas would be completely screened with an architectural tower.

Location of Facilities: The Zoning Ordinance requires that within commercial districts, new freestanding antenna structures may be located within 1,000 feet of another freestanding facility, provided a stealth camouflaged design is used.

The proposed design is of stealth design so it can be located within 1,000 feet of another facility.

Height of Facilities:

The applicant has proposed an 8-foot screen wall with a screen gate with unlabeled material. Section 11-30-9 requires screening material to exceed the ground mounted equipment by 12-inches. The applicant has failed to label the height of the equipment so it is unknown if the wall is meeting the screening requirement.

The material being utilized in the gates is not labeled; however, wood is not acceptable. If the applicant is proposing wood slats, they will need to be replaced with either composite or metal.

Required Separation and Setbacks: Alternative antenna structures, such as a monopalm, must be setback from residential uses a distance equal to the height of the structure plus one foot and setback from streets a distance equal to the height of the structure plus one foot.

The proposed WCF is located 146'-7" from Brown Road, and is proposed approximately 84'-9" from the residential property to the west meeting the required separation and setbacks. Even though the WCF meets the setback requirements, it will be readily visible from the residential homes and Brown Road.

Required Landscaping: The Zoning Ordinance requires wireless communication sites to include a landscape buffer of plant materials that effectively screens views of the base of support structures and equipment facilities from adjacent residential properties, public right-of-way, path, or trail. The standard buffer requirement is a continuous landscape strip with a minimum radius of 4 feet around the perimeter of the installation.

If the Board finds the monopalm design appropriate for this location, the proposal is also deficient in the code requirement for landscaping around the base of the equipment enclosure. It would be impossible to provide the required 4-foot landscape buffer since the proposed enclosure wall is at the curb of the parking area. Staff believes a landscape buffer that is wider than code requires, that includes palm trees, should be provided in this location due to the visibility from the parking lot and adjacent residential properties.

Conclusion:

As proposed, staff feels the WCF as designed would be more compatible if designed in a manner similar to the building design of the adjoining center. The proposed monopalm has a large stand-off distance and arrays that will not be adequately screened by the proposed design and fronds. In addition, the proposed location is on a sidewalk leading from a parking lot to inline retail shops that is easily visible to customers of the shopping center. There are several other locations on the property that are more conducive to the construction of a WCF. Staff also believes more investigative work needs to be done by the applicant into other commercial properties surrounding the intersection that would have less of an impact on the area. The intent of the stealth requirements for communication towers is for the WCF to become less noticeable and become part of the background of the development in which they are placed. As proposed, the WCF would be at the forefront of visibility, not the commercial building.

RECOMMENDED FINDINGS

1. The proposed location completely obstructs the sidewalk leading from the parking lot to the inline retail shops which eliminates accessibility, connectivity and the opportunity for the required landscaping.
2. The proposed WCF is a capacity and coverage site.
3. The proposed WCF and equipment enclosure will be visible from the parking lot, which contradicts the requirement of a stealth design.
4. No additional landscaping is being proposed around the enclosure, which is a code requirement listed in Section 11-35-5H of the Zoning Ordinance.

5. The proposed WCF is 146'-7" from Brown Road, and 84'-9" from the residential property to the west.
6. The proposal would have a detrimental impact on the shopping center and the surrounding neighborhoods by being visibly intrusive due to the limited design efforts to screen the facility and the placement.
7. The WCF tower, in any design configuration, will be visible from the residential homes to the east and south, from Brown Road and from the parking lot within 300 feet of the proposed location of the Wireless Communication Facility.
8. The recommended conditions of approval will not prohibit the provision of wireless communication services from the proposed location.
9. The slight adjustment of the location of the tower away from the pedestrian sidewalk is a feasible alternative from site planning perspective, and will result in better pedestrian connectivity with the street, and provide better pedestrian access for parking spaces west of this location, including ADA access.

ORDINANCE REQUIREMENTS:

ORDINANCE REQUIREMENTS:

Zoning Ordinance, Section 11-35-5 – Location, Design, and Operation Requirements

The following requirements apply to all wireless communications facilities that are not exempt from regulation under this Chapter unless the decision-making authority approves a Special Use Permit pursuant to Chapter 70, Conditional Use Permits.

- A. *Location Preferences.* The preferred locations for wireless communication facilities are in the following order:
1. On existing non-residential structures such as buildings, communication towers, or utility facilities located more than 300 feet from a residential zone, without modification to the structures.
 2. On existing signal, power, light or similar kinds of permanent poles located more than 300 feet from a residential zone.
 3. Co-located with existing wireless telecommunication facilities that conform to the requirements of this Ordinance.
 4. Limited, General and Heavy industrial Districts sites more than 300-feet from a residential zone.
 5. Camouflaged, stealth, or building-mounted facilities in Limited and General Commercial Districts or in Planned Employment Park Districts.
 6. Camouflaged, stealth or building-mounted facilities on non-residential structures, including monopoles, in any Agricultural or Residential District.
- B. *Design Preferences.* The preferred design approaches for new wireless communication facilities are in the following order:
1. Building or structure mounted antennas designed and sited to be completely concealed from view or not readily visible because of integration into design of non-residential buildings or structures erected and approved for use other than as wireless telecommunications support. Examples of antennas completely integrated into the structure include existing parapet replacements, bell towers, steeples, clock towers and cupolas.
 2. Building or structure mounted antennas set back from roof edge, concealed and not visible from the public right-of way or from surrounding residential properties or minor faux-structural alterations. Examples include faux penthouses and parapet additions.

3. Building or structure mounted antennas below roof-line (façade mount, pole mount) visible from public right-of-way but artistically integrated into the existing structure and painted to match existing structure.
 4. Freestanding camouflaged structures visible from public right-of-way and from surrounding residential properties. Examples include steeples, sculptures and clock towers.
 5. Building or structure mounted antennas above the roof-line visible from public right-of-way or from surrounding residential properties behind frequency-transparent panels.
 6. Freestanding stealth tree, such as monopalm.
 7. Freestanding monopoles or other antenna towers.
- C. *Location of Facilities.* Wireless telecommunication facilities shall be located where the existing topography, vegetation, buildings or other structures provide the greatest amount of screening and in compliance with the following requirements.
1. No new facility shall be sited on or above a ridgeline.
 2. Within Residential and Mixed Use Districts, no new freestanding antenna structure, including towers, lattice towers, and monopoles, shall be located within 1,000 feet of another freestanding facility unless mounting on a building or co-location on an existing pole or tower is not feasible and techniques have been used to camouflage, screen, or otherwise minimize the visual impact of the facility to the extent feasible.
 3. Within Commercial and Employment Districts, new freestanding antenna structures, including towers, lattice towers, and monopoles, may be located within 1,000 feet of another freestanding facility, provided a stealth or camouflaged design is used.
 4. Ground-mounted wireless telecommunication facilities shall be located in close proximity to existing above-ground utilities, such as permanent electrical towers, light poles, trees of comparable heights, and in areas where they will not detract from the appearance of the City.
 5. Facilities may only be located on a property zoned for a residential or agriculture use if the antennas, antenna structures, and all related equipment can be sited to comply with the setback and separation requirements of this Chapter. Exceptions of up to 30% of the setback and up to 75% of the separation requirements may be considered as part of a Special Use Permit request when the application includes stealth or camouflaged facilities.
- D. *Height of Facilities.* The height limitations for each zoning district applicable to buildings and structures shall apply to all towers and antennas that are not exempt from regulation except as provided in this Chapter. The height of building-mounted antennas shall include the height of that portion of the building on which the antenna is mounted. In determining the height of portable "crank-up" or similar towers whose height is adjustable, the height of the tower shall be the maximum height to which it is capable of being raised.
1. Roof-mounted or facade-mounted antennas proposed on an existing building, or on a tower, pole or other structure shall not extend or project more than 15 feet above the existing height of the building or structure.
 2. Antenna support equipment for stand-alone facilities (not attached to a building) shall be screened by a minimum 6-foot high masonry wall unless placed within a fully enclosed building. When placed in a building, the building design shall be no taller than one (1) story or 15 feet in height with elevations designed and constructed in a manner compatible with building designs typically found in the area.
 3. Antenna support equipment that is roof mounted shall meet the screening requirements specified in Section 11-30-9 of this Ordinance.
- E. *Required Separation and Setbacks.* Antenna structures and antennas that are not exempt from regulation under this Chapter shall be setback from property lines and separated from other antenna structures in compliance with the following requirements.

1. Antenna structures other than alternative antenna structures must be set back from any property in residential use a distance equal to the twice the height of the structure. Alternative antenna structures shall be setback from residential uses a distance equal to the height of the structure plus one (1)-foot.
 2. Antenna structures, including alternative antenna structures, must be set back from public right-of-way a distance equal to the height of the structure plus one foot.
 3. In Non-Residential Districts, all free-standing antenna structures, except for alternative tower structures, must be at least 1,000 foot feet from another free-standing antenna structure, unless appropriate camouflage or stealth techniques have been used to minimize the visual impact of the facility to the extent feasible and mounting on a building or co-location on an existing facility is not feasible.
 4. All wireless communications facilities and related equipment shall comply with the required building setbacks for the zoning district in which the facility is located. However, in no instance shall the facility (including antennae and equipment) be located closer than 5 feet to any property line. Exception: Antenna support equipment that is not placed within enclosed buildings provided the surrounding security wall complies with the maximum fence height requirements as found in Section 11-30-4, Fences and Freestanding Walls.
- F. *Design Standards.* Antennas, antenna support structures, and related equipment shall be located, designed and screened to blend with the existing natural or built surroundings and existing supporting structures.
1. Facilities that are not camouflage or stealth shall close mount all panel antennas.
 2. Stealth or camouflaged facilities shall not have antenna mounts that extend beyond the outside edge of the materials used to provide the stealth or camouflage design.
 3. When freestanding, non-stealth tower elements are used, antennas and support structures, where utilized, shall be monopole type.
 4. Monopole support structures shall not exceed 4 feet in diameter unless technical evidence is provided showing that a larger diameter is necessary to attain the proposed tower height and that the proposed tower height is necessary.
 5. Wireless telecommunications facility support structures and antennas shall be a non-glossy color and/or exterior finish so as to minimize visual impacts from surrounding properties. Example: galvanized steel for freestanding, non-stealth facilities; fiberglass artificial bark cladding for stealth tree-like facilities.
 6. All facilities shall be designed and located to minimize their visibility to the greatest extent feasible. All wireless telecommunications facilities proposed for locations where they would be readily visible from the public right-of-way or from the habitable living areas of residential units within 100 feet shall incorporate appropriate techniques to disguise the facility and/or blend into the surrounding environment, to the extent feasible. Facilities shall be compatible in scale and integrated architecturally with the design of surrounding buildings or the natural setting.
 7. No telecommunications antenna or ancillary support equipment shall be located within a front or corner side setback except for facilities that are completely placed within sub-grade vaults no higher than the maximum height of a fence within a street or front setback, pursuant to Section 11-30-4, Fences and Freestanding Walls.
 8. Support structures and site areas for wireless telecommunications antenna shall be designed and of adequate size to allow at least one additional wireless service provider to co-locate on the structure. Stealth facilities are exempted from this requirement.
 9. Towers shall not be artificially lighted unless required by the FAA or other applicable government authority. All objects affecting navigable airspace must comply with Federal Aviation Regulation Section 77 and must be in conformance with the current restrictions for land within one mile of a runway.

10. All proposed fencing shall be constructed of masonry, and provide decorative texture, color and design in a manner compatible with the adjacent buildings and properties within the surrounding area and shall be designed to limit graffiti.
 11. Within the Desert Uplands area, as defined on page 33 in Section 9-6-5(A) of the Mesa City Code, Desert Uplands design standards shall apply, including compatibility of stealth and camouflage facilities with the list of approved landscape plant materials.
- G. *Required Signs.* A permanent, weather-proof identification sign, approximately 16 inches by 32 inches in size, must be placed on the gate of the fence surrounding the facility or, if there is no fence, on the facility itself. The sign must identify the facility operator(s), provide the operator's address, and specify a 24-hour telephone number for reaching the operator or an agent authorized to provide 24/7 response to emergency situations.
- H. *Required Landscaping.* Sites with antennas, antenna support structures, and related equipment shall be landscaped with a buffer of plant materials that effectively screens views of the base of support structures and equipment facilities from adjacent residential property or from any public right-of-way, path or trail.
1. The standard buffer shall consist of a continuous landscaped strip with a minimum radius of 4 feet around the perimeter of the installation.
 2. Existing mature tree growth and natural land forms on the site shall be preserved to the maximum extent possible. In some cases, towers sited on large lots, natural vegetation around the property perimeter may serve as a sufficient buffer.
 3. Street trees and other landscaping may be required for telecommunications facilities proposed on lots lacking street frontage landscaping.
 4. As determined by the context of the site and design preference proposed, additional landscaping, such as secondary plantings of trees similar in appearance to the stealth design of the telecommunications facility, may be conditioned as part of the approval to mitigate the visual impact of the facility.
- i. *Operation and Maintenance Standards.* All wireless communications facilities shall at all times comply with the following operation and maintenance standards.
1. Wireless telecommunications facilities and related equipment, including lighting, fences, shields, cabinets, and poles, shall be maintained in good repair, free from trash, debris, litter, graffiti and other forms of vandalism, and any damage from any cause shall be repaired as soon as reasonably possible so as to minimize occurrences of dangerous conditions or visual blight. Graffiti shall be removed from any facility or equipment as soon as practicable, and in no instance more than 48 hours from the time of notification by the City.
 2. The owner or operator of a facility shall be responsible for maintaining landscaping in accordance with the approved landscape plan and for replacing any damaged or dead trees, foliage, or other landscaping elements shown on the approved plan. Amendments or modifications to the landscape plan shall be submitted to the Zoning Administrator for approval.
 3. Each facility shall be operated in a manner that will minimize noise impacts to surrounding residents and persons using nearby parks, trails, and similar recreation areas.
 - a. Except for emergency repairs, testing and maintenance activities that will be audible beyond the property line shall only occur between the hours of 7:00 a.m. and 7:00 p.m. on Monday through Friday, excluding holidays.
 - b. All air conditioning units and any other equipment that may emit noise that would be audible from beyond the property line shall be enclosed or equipped with noise attenuation devices to the extent necessary to ensure compliance with applicable noise limitations in Title 6, Chapter 12 of the Mesa City Code.

- c. Backup generators shall only be operated during periods of power outages or for testing. Any testing of the backup generators should occur during daylight hours.
- d. For the protection of emergency response personnel, each telecommunications facility shall have an on-site emergency "kill switch" to de-energize all RF-related circuitry and components at the site. For collocation facilities, a single "kill switch" shall be installed that will de-energize all carriers at the facility in the event of an emergency.

Zoning Ordinance, Section 11-70-5 – Special Use Permit:

- A. *Special Use Permit (SUP)*. A SUP is a discretionary permit issued by the Zoning Administrator or Board of Adjustment.
- B. *Uses Subject to Special Use Permits*. Uses requiring a SUP are established in the use tables in Chapters 4 through 11.
- C. *Permit Requirements*. Permit requirements for some uses requiring a SUP are provided in Chapter 31, Standards for Specific Uses and Activities.
- D. *Permit Application and Procedures*. The procedures for review and consideration of a SUP are as provided in the Chapter 67, Common Procedures, except a citizen participation plan and report is not required.
- E. *Required Findings*. A SUP shall only be granted if the approving body determines that the project as submitted or modified conforms to all of the following criteria. If it is determined that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established in the record.
 - 1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
 - 2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;
 - 3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City; and
 - 4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.
- F. *Revocation of Special Use Permits*. A Special Use Permit granted pursuant to this Chapter may be suspended, revoked, or modified by the Zoning Administrator, after holding a public hearing to determine whether any condition, stipulation, or term of the approval of the Use Permit has been violated. At least 30-days notice shall be provided prior to the public hearing, and all of the noticing and hearing requirements of Chapter 67 shall apply.

April 27, 2015

City of Mesa
55 N. Center Street
Mesa, AZ 85202

Attn: Zoning Administrator / Board of Adjustment

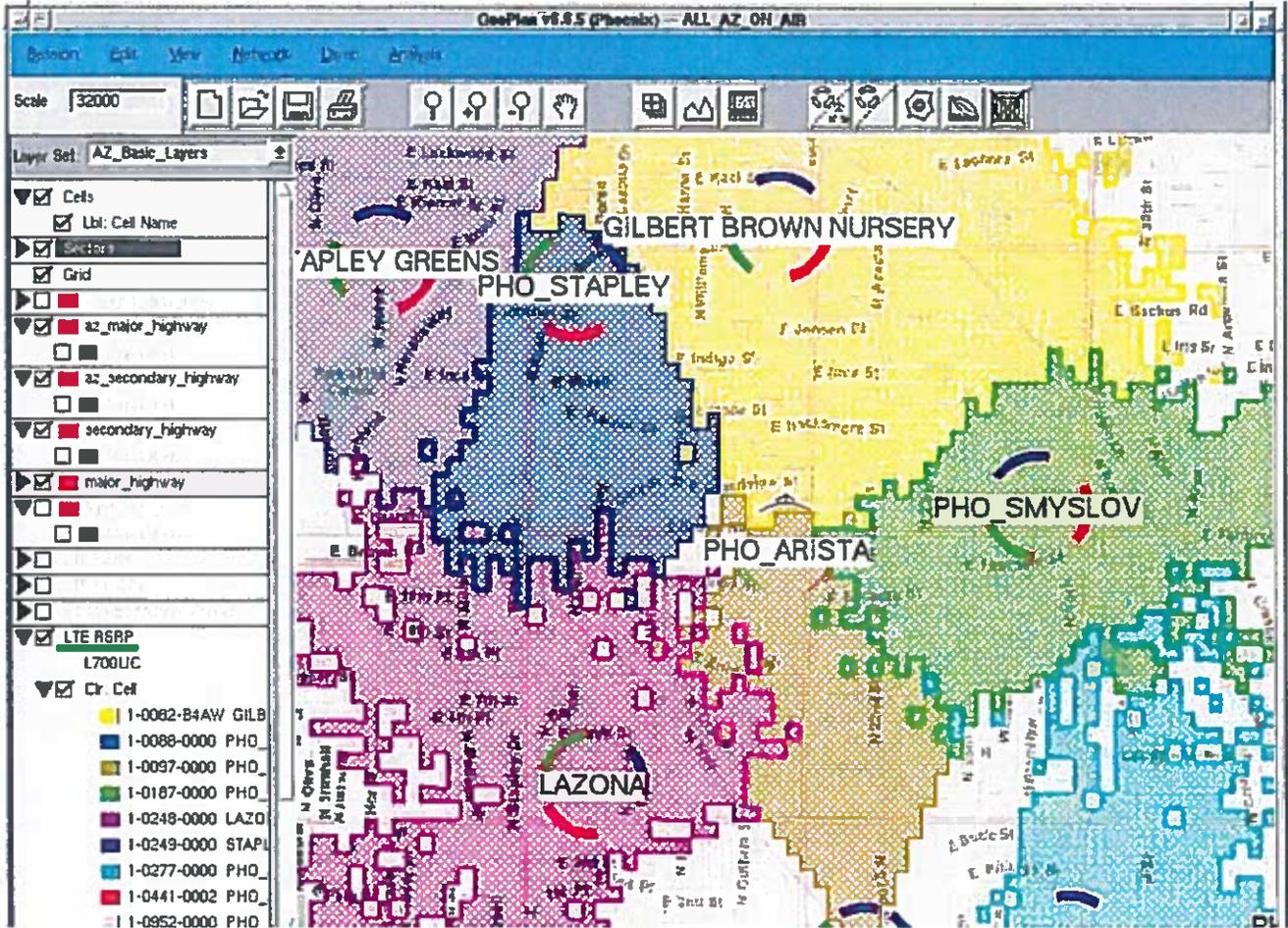
Subject: Special Use Permit Justification & Compatibility Statement
PLN2015-00039 / **PLN2015-00187**
PHO ARISTA: New Build Cell Facility for Verizon Wireless
1925 E. Brown Road
Mesa, AZ 85203

Verizon Wireless is proposing to construct a new Wireless Communications Facility at 1925 E. Brown Rd in order to provide customers necessary 4G LTE coverage and capacity in the area of Brown Road and Gilbert Road. The proposal of this new cellular facility includes the construction of a 55' mono-palm design, installation of an 8'x10' equipment cabinet with a ~~40~~48kW generator within a ~~22'7"~~22'7"x20'7" compound. This narrative will provide information about the proposed facility and what steps will be taken to assure the request conforms to the Mesa City Code and General Plan. It will also explain how the proposed use will be compatible and cause little impact to the surrounding areas.

Map and Inventory of Existing Sites

The attached inventory and maps show the coverage and sites in the area within a 1-2 mile radius; from University Drive to the South, N Home to the West, McKellips Road to the North and Lindsay Road to the East. The first map is an aerial shot of Verizon's existing sites including the proposed Arista facility. The second attachment is the coverage area currently provided by those existing sites and it can be seen in this map that there is a gap of coverage within the area of Brown Road and Gilbert Road. This area experiences many dropped calls and lack of support for Verizon customers. Therefore, the second map represents the coverage that the proposed facility, PHO ARISTA, is to provide. It is observed that the facility will indeed fill the gap of coverage between the existing facilities. This request is necessary in order to maintain customer confidence in coverage, reliability and continue Verizon Wireless's record of exceptional service.

EXISTING VERIZON WIRELESS 4G LTE 700MHz COVERAGE



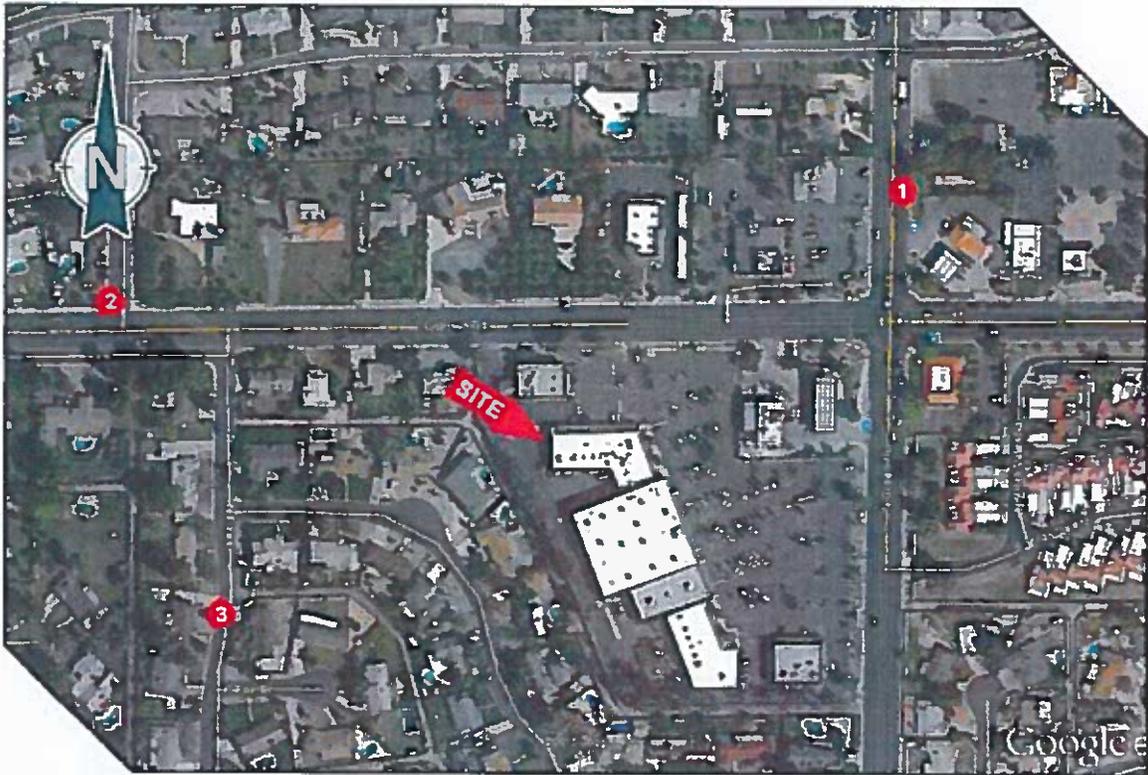
Description of Proposed Facility

- 1) Verizon Wireless would like to propose a new 55' monopole, to be designed as a faux palm along with an 8' x 10' equipment cabinet that includes a 48kW generator all within a 22'7" x 20'7" area in the back northwest end of the property on 1925 E Brown Rd. The mono-palm will consist of (3) sectors, with (4) 8' antennas each sector for a total of (12) antennas, (4) Remote Radio Heads (RRHs) each sector for a total of (12) RRHs, (2) junction boxes and (2) hybrid fiber cables. The following are details of the proposed mono-palm configuration:
 - Structure is proposed at a height of 55'
 - The antennas will be mounted at a centerline of 50'
 - The antenna types will be panel antennas approximately 8' in length, 12" in width, and 7.1" in depth
 - The RRHs will be mounted behind the antennas at the same centerline of 50'
 - The junction boxes will be mounted at the same centerline of 50'
 - The hybrid fiber cables will connect the junction boxes on the tower to the equipment cabinet and be concealed within the proposed mono-palm structure

- 2) Verizon Wireless will take several measures to ensure screening and camouflaging the proposed facility from the surrounding areas. In conformance to Chapter 35 Section 11-35-5. The proposed equipment cabinet, generator and mono-palm will be screened by a 9' high masonry wall that will match in color/material and extend from the existing adjacent building. The proposed antennas will be painted to match the color and will not extend beyond the outside edge of the faux palm branches. The mono-palm will be within a 22'7" x 20'7" land space behind the existing building and will be setback approximately 500' to the south, 560' to the east, 147' from to the north, and 85' from to the west.

There are existing palm trees and landscaping within the property of this proposal that will serve as camouflage for the structure and screen from view along Brown Road and Gilbert Road. Along the west side of the lot facing residential there are several existing trees that provide screening from the residential community. The north side of the lot faces Brown Road and is adjacent to other commercial lots. The east side of the property has existing palm trees within the shopping center parking lot and is also adjacent to commercial lots. The south side of the property is lined with native trees that help screen the proposed palm tree from residents to the south. Therefore the proposed mono-palm is compatible with and not detrimental to adjacent properties or the neighborhood.

- 3) Although the proposed facility will be camouflaged by several palm trees, native trees and other landscaping around the property, photo overlays were requested in the pre-application for this submittal. On the following pages you will find a map depicting where the photos were taken, and before and after scaled views of the proposed mono-palm.





TECTONIC

Practical Solutions, Exceptional Service

Looking southwest from 1224 North Gilbert Road.
Proposed monopalm will be visible from this location.

Distance from the photographic location to the proposed site is 770'±

P-1

6022.ARISTA



TECTONIC

Practical Solutions, Exceptional Service

Looking southwest from 1224 North Gilbert Road.
Proposed monopalm is visible from this location.

Distance from the photographic location to the proposed site is 770'±

S-1

6022.ARISTA



TECTONIC

Practical Solutions, Exceptional Service

Looking southeast from the intersection of East Brown Road & North Forest.
Proposed monopalm will be visible from this location.

Distance from the photographic location to the proposed site is 750'±

P-2

6022.ARISTA



TECTONIC

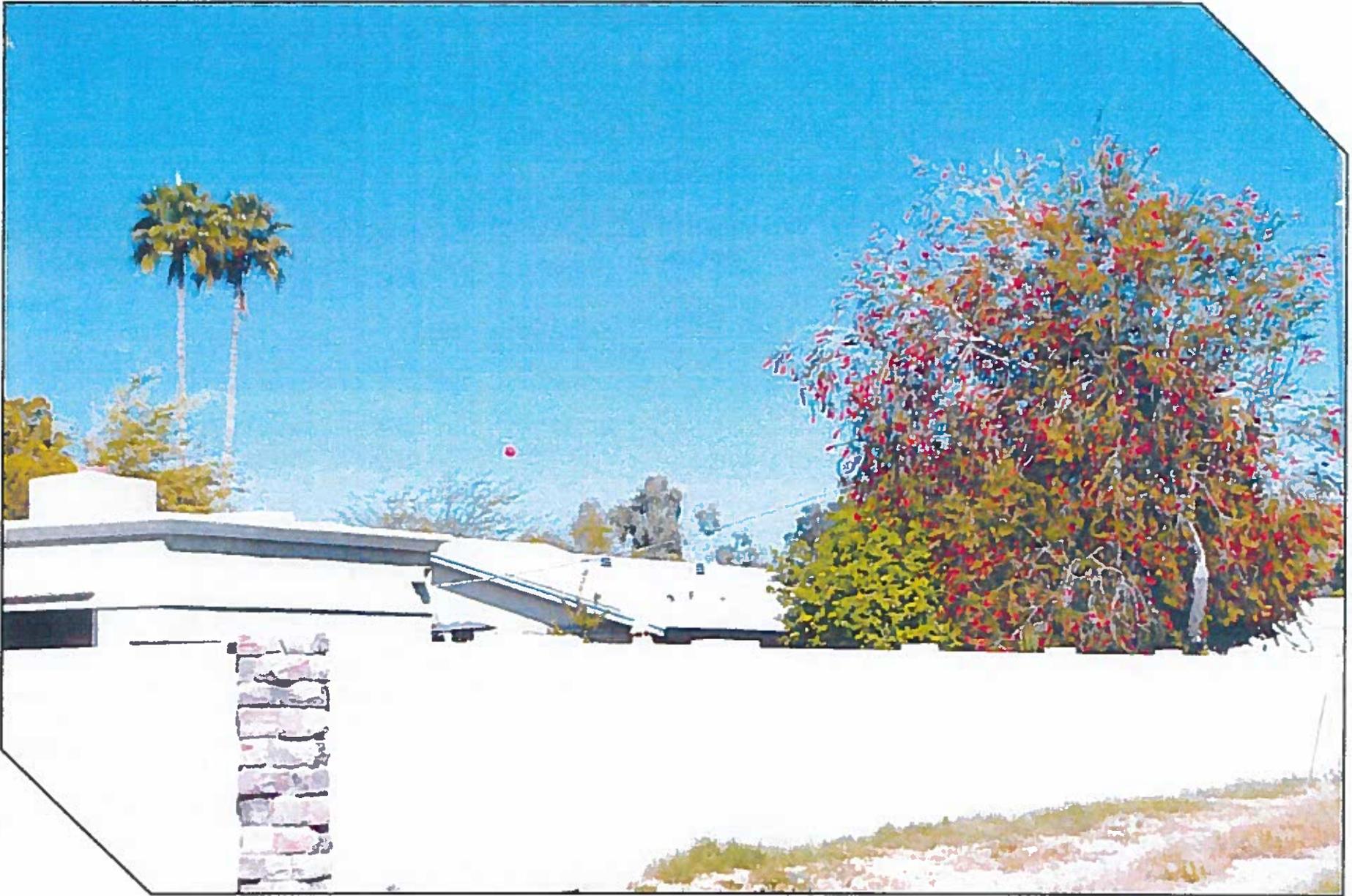
Practical Solutions, Exceptional Service

Looking southeast from the intersection of East Brown Road & North Forest.
Proposed monopalm is visible from this location.

Distance from the photographic location to the proposed site is 750'±

S-2

6022.ARISTA



TECTONIC

Practical Solutions. Exceptional Service

Looking northeast from 1113 North Forest.
Proposed monopalm will be visible from this location.

Distance from the photographic location to the proposed site is 650'±

P-3

6022.ARISTA



TECTONIC

Practical Solutions, Exceptional Service

Looking northeast from 1113 North Forest.
Proposed monopalm is visible from this location.

Distance from the photographic location to the proposed site is 650'±

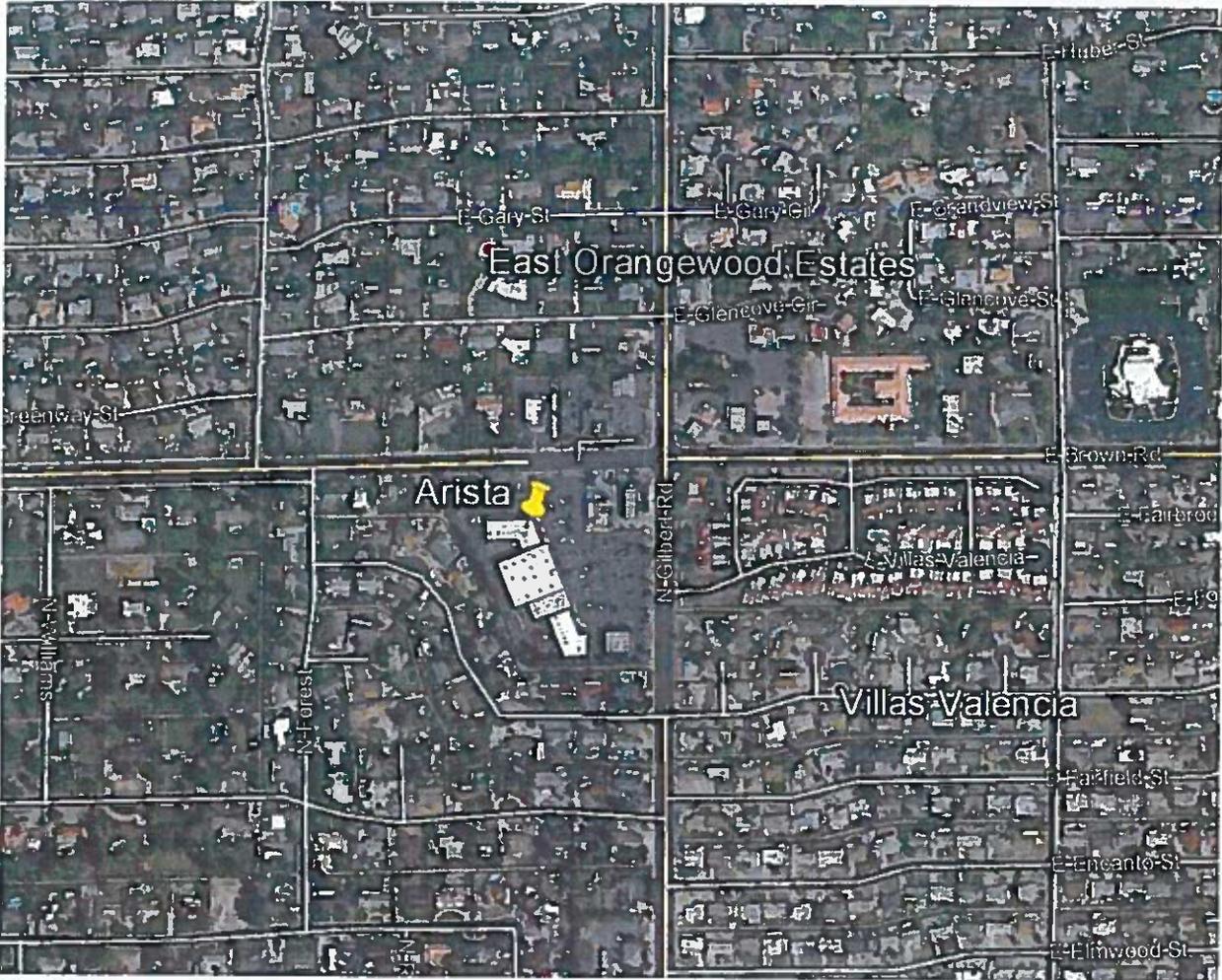
S-3

6022.ARISTA

- 4) The proposed location and design of this facility are preferred by the City of Mesa according to the ordinance Chapter 35, Section 11-35-5, Part A & B. The location choice is in a Limited Commercial district and will be of stealth design. This proposal sits as number 5 in Part. A. for which a camouflaged, stealth or building mounted facility in a Limited and General Commercial District is preferred. The higher ranked Location Preferences were not feasible due to the following listed in order of ranking
1. There were no existing non-residential structures in the necessary coverage area more than 300' from residential that were capable and/or available in order to achieve the engineering aspects of the project without having to majorly modify the structure.
 2. There were no existing signal, power, light or similar kinds of poles located in the necessary coverage area more than 300' from residential that were capable and/or available.
 3. There were no co-locatable existing wireless telecommunication facilities in the necessary coverage area.
 4. The coverage area is not located in or near a limited, general and heavy industrial district.
- 5) The proposed facility is being proposed as a new free standing tower due to the lack of available land and co-locatable facilities within Verizon's service objectives.

Other Information

- 1) The proposed facility will have an equipment cabinet with air conditioning units included, but there is no information at this time in regards to the noise that might be generated by this equipment.
- 2) Below is an aerial and several photographs taken of the surrounding area of the proposed site.





N.W view toward site from Gilbert Rd.



N.W view toward site from Gilbert Rd.

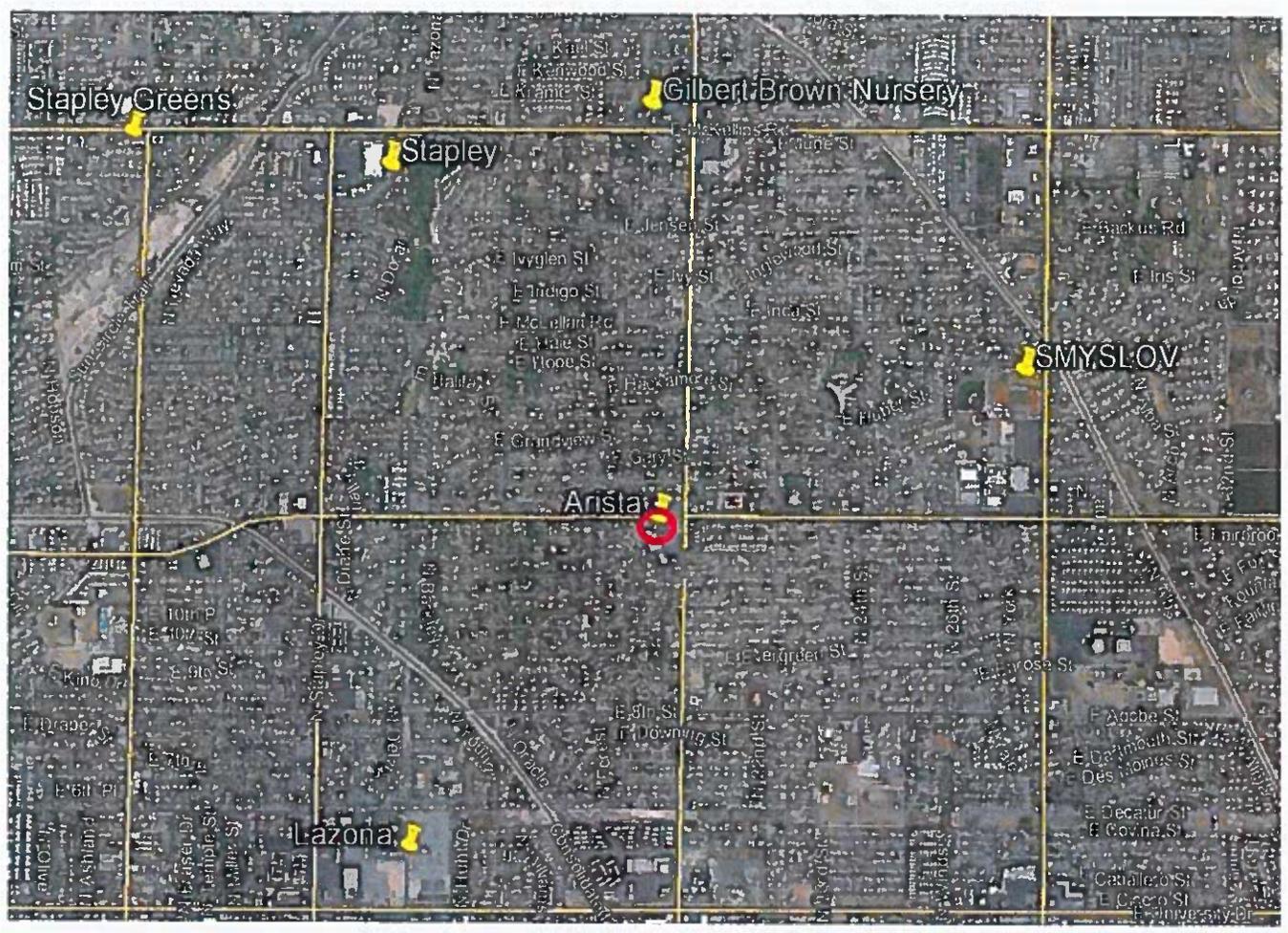


S.W view toward site from Brown Rd.

- 3) Alternative sites that were considered within Verizon's service coverage objective.
- Dunkin Donuts 1958 E Brown Rd
 - o This lot is located across the street from the proposed facility location and zoned Limited Commercial. This candidate was rejected due to the lack of land space within the lot.

 - The Cottage Office 1225 N Gilbert Rd
 - o This candidate was located toward the N.E end of Verizon's objective ring. The lot is zoned Office Commercial. This candidate was rejected due to future land developments.

AERIAL VIEW OF VERIZON WIRELESS EXISTING 4G LTE 700MHz COMMUNICATION FACILITIES PROPOSED FACILITY ARISTA CIRCLED IN RED



FCC COMPLIANCE

RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.

ADA COMPLIANCE

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE INSTALLATION OF (1) 55' MONOPALM, (3) CHARLES PM63912YN1 EQUIPMENT CABINETS (1) 48kW DIESEL GENERATOR, (1) 12'-3" x 12'-0" x 13'-4" x 20'-7" x 22'-7" x 8'-0" HIGH CMU WALLED COMPOUND, (12) PANEL ANTENNAS, (9) REMOTE RADIO HEADS, (2) JUNCTION BOXES.



PHO ARISTA (ALT-1)

1925 E BROWN RD
TAX PROPERTY ID NO. 137-38-064F
MESA, ARIZONA 85203

CITY OF MESA PROPOSED 55' MONOPALM RAWLAND COMMUNICATION SITE (55'± OVERALL HEIGHT AGL, TOP OF FRONDS)

GENERAL PROJECT NOTES

- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A VERIZON WIRELESS REPRESENTATIVE.
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS INDICATED OTHERWISE.
- NOTIFY VERIZON WIRELESS, IN WRITING, OF ANY MAJOR DISCREPANCIES, REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A VERIZON WIRELESS REPRESENTATIVE, AND ADJUSTING THE BID ACCORDINGLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A VERIZON WIRELESS REPRESENTATIVE.
- CONTRACTOR PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY VERIZON WIRELESS, THE CONTRACTOR SHALL PROVIDE VERIZON WIRELESS WITH ONE COPY OF ALL RED-LINED DRAWINGS.
- VERIFY ALL FINAL EQUIPMENT WITH A VERIZON WIRELESS REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY VERIZON WIRELESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

PLANS CONFORM TO 2006 IBC

PLANS CONFORM TO NEC 2011

ALL PLANS SCALE TO 24' x 36'



126 W GEMINI DR
TEMPE, AZ 85283



TECTONIC Engineering & Surveying Consultants P.C.
4041 South McClintock Drive, Suite 302
Tempe, AZ 85282

Phone: (480) 629-5533
Fax: (480) 629-8871
www.tectonicengineering.com

WORK ORDER NUMBER DRAWN BY
6022.ARISTA TBS

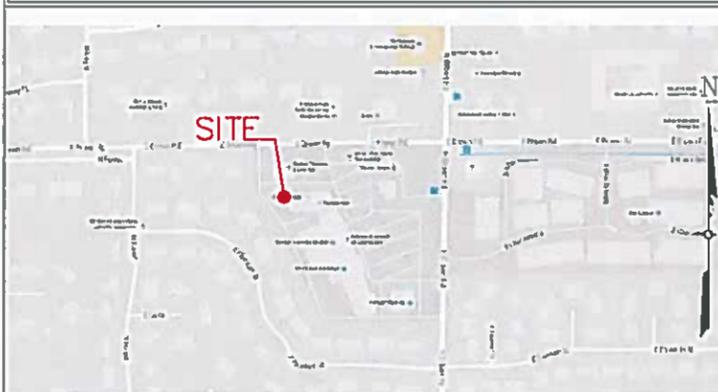
NO.	DATE	ISSUE
0	9/3/14	PRELIMINARY
1	9/24/14	90% ZDs
2	3/11/15	95% ZDs
3	3/25/15	100% ZDs
4	4/2/15	UPDATED CABINET

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF THE STATES LICENSING REGULATIONS

COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.

VICINITY MAP

SCALE: N.T.S.

**DRIVING DIRECTIONS:**

FROM VERIZON TEMPE, ARIZONA OFFICE:

- HEAD EAST ON W GEMINI DR TOWARD S MAPLE AVE, THEN TURN RIGHT ONTO S MAPLE AVE
- TURN LEFT ONTO E GUADALUPE RD FOR 0.6 MI, THEN TURN LEFT ONTO S RURAL RD. CONTINUE FOR 1.5 MI.
- TURN RIGHT TO MERGE ONTO US-60 E TOWARD GLOBE FOR 7.3 MI, THEN TAKE EXIT 182 FOR GILBERT ROAD.
- TURN LEFT ONTO S GILBERT RD AND CONTINUE FOR 1.3 MI.
- TURN RIGHT TO STAY ON S GILBERT RD FOR 2.2 MI.
- TURN LEFT ONTO E BROWN RD FOR 0.1 MI THE SITE IS ON THE LEFT.

PROJECT SUMMARY

SITE NAME: PHO ARISTA (RAWLAND SITE)
ADDRESS: 1925 E BROWN RD
MESA, AZ 85203

E911 SITE INFORMATION:
FIRE: (480) 644-2101
RESCUE: (480) 644-2101
POLICE: (480) 644-2211

TAX MAP PROPERTY ID: 137-38-064F
ZONING CLASSIFICATION: LC
MUNICIPALITY: CITY OF MESA
STRUCTURE TYPE: MONOPALM
TOWER COORDINATES (NAD 83):
N 33° 26' 11.9"
W 111° 47' 23.5"

GROUND ELEVATION (NAVD 88): 1,267.4± AMSL
PROPERTY OWNER: AZG BROWN & GILBERT LLC
1129 SOUTH OAKLAND, SUITE 101
MESA, AZ 85206

CONTACT PERSON: DAVID BENSON
CONTACT PHONE: (480) 353-2910

APPLICANT: VERIZON WIRELESS
126 W GEMINI DR
TEMPE, AZ 85283

CONTACT PERSON: DIEGO TORRES
CONTACT PHONE: (602) 819-2949

ENGINEERS/DESIGNERS: TECTONIC ENGINEERING & SURVEYING CONSULTANTS, P.C.
4041 SOUTH McCLINTOCK DRIVE, SUITE 302
TEMPE, AZ 85282
PHILIP S. MELITA, P.E.
(804) 217-8504
TERINA LINES
(480) 629-5533

ENGINEERING CONTACT PERSON: PHILIP S. MELITA, P.E.
ENGINEERING CONTACT PHONE: (804) 217-8504
LEASING/ZONING CONTACT PERSON: TERINA LINES
LEASING/ZONING CONTACT PHONE: (480) 629-5533

SURVEYOR: AMBIT CONSULTING
SURVEYOR CONTACT PERSON: MATTHEW FORD
SURVEYOR CONTACT PHONE: (602) 463-0472

SHEET INDEX

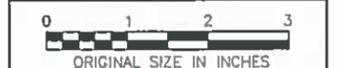
SHEET	TITLE	REV.NO.	DATE
T-1	TITLE SHEET	4	4/2/15
LS-1	SITE SURVEY	2	3/31/15
Z-1	PROPOSED SITE PLAN AND PHOTOS	4	4/2/15
Z-2	VERIZON WIRELESS SITE PLAN	4	4/2/15
Z-3	ELEVATIONS	4	4/2/15
Z-4	SPECIFICATION SHEET	4	4/2/15
Z-5	COMPOUND DETAILS	4	4/2/15
RF-1	ANTENNA INFORMATION	4	4/2/15
RF-2	ANTENNA SPECIFICATION	4	4/2/15

THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL ITEMS OF CONCERN HAVE BEEN ADDRESSED AND EACH OF THE DRAWINGS HAS BEEN REVISED AND ISSUED "FOR CONSTRUCTION"

SITE INFORMATION

PHO_ARISTA
1925 E BROWN RD
CITY OF MESA
MESA, ARIZONA 85203

VZW PROJ# 20141075606

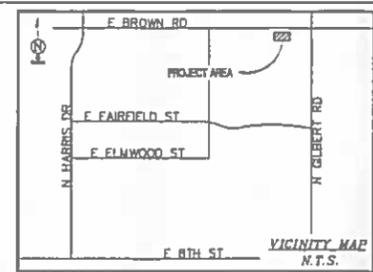
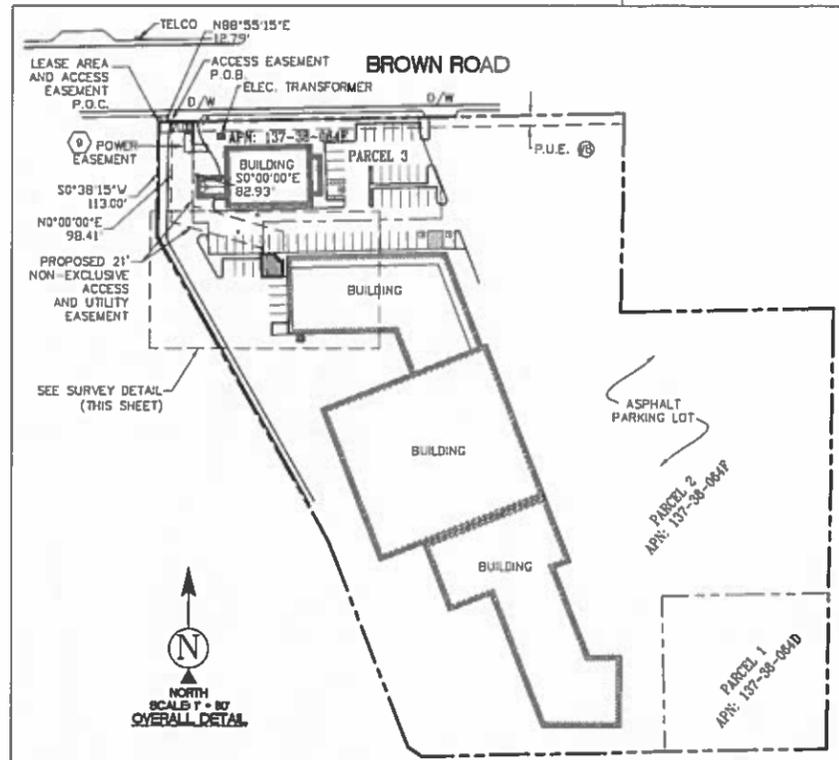


SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1



DIRECTIONS TO SITE
(FROM VERIZON WIRELESS OFFICES IN TEMPE, AZ.)

GET ON US-60 E FROM E GUADALUPE RD AND S RURAL RD; HEAD EAST ON W GEMINI DR TOWARD S MAPLE AVE; TURN RIGHT ONTO S MAPLE AVE; TURN LEFT ONTO E GUADALUPE RD; TURN LEFT ONTO S RURAL RD; TURN RIGHT TO MERGE ONTO US-60 E TOWARD GLOBE; FOLLOW US-60 E TO S GILBERT RD IN MESA; TAKE EXIT 182 FROM US-60 E; MERGE ONTO US-60 E; TAKE EXIT 182 FOR GILBERT ROAD; FOLLOW S GILBERT RD TO E BROWN RD; TURN LEFT ONTO S GILBERT RD; TURN RIGHT TO STAY ON S GILBERT RD; TURN LEFT ONTO E BROWN RD; DESTINATION WILL BE ON THE LEFT

LEGEND

BLOG	TOP OF BUILDING	⊕	POWER POLE
FC	FACE OF CURB	⊞	ELECTRICAL TRANSFORMER
AP	ASPHALT	⊙	SEWER MANHOLE
D/W	ACCESS DRIVEWAY	CMU	CONCRETE MASONRY UNIT
⊙	POSITION OF GEODETIC COORDINATES	---	LIMITS OF LESSOR'S PROPERTY
⊙	SPOT ELEVATION	---	GAS UTILITY MARKING
		---	ELECTRIC UTILITY MARKING
		---	WATER UTILITY MARKING

LEASE AREA LEGAL DESCRIPTION

A PORTION OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 2 IN SPECIAL WARRANTY DEED AS INSTRUMENT 2004-1508591 IN THE OFFICE OF THE COUNTY RECORDER MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID PARCEL 2, THENCE SOUTH 00°38'15" WEST, ALONG THE WESTERLY BOUNDARY OF SAID PARCEL, A DISTANCE OF 113.00 FEET; THENCE SOUTH 29°35'45" EAST ALONG SAID WESTERLY BOUNDARY, A DISTANCE OF 91.87 FEET; THENCE DEPARTING SAID WESTERLY BOUNDARY NORTH 54°41'01" EAST, A DISTANCE OF 70.63 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01°21'08" WEST, A DISTANCE OF 22.59 FEET; THENCE NORTH 88°38'52" EAST, A DISTANCE OF 12.22 FEET; THENCE SOUTH 43°28'40" EAST, A DISTANCE OF 12.47 FEET; THENCE SOUTH 01°21'06" EAST, A DISTANCE OF 13.34 FEET; THENCE SOUTH 88°38'52" WEST, A DISTANCE OF 20.59 FEET TO THE POINT OF BEGINNING.

RESERVING NONEXCLUSIVE RIGHT OF USE ACROSS LESSOR'S PROPERTY FOR NECESSARY APPURTENANCES TO CONSTRUCT, OPERATE, AND MAINTAIN A COMMUNICATION FACILITY FOR ITEMS SUCH AS, BUT NOT LIMITED TO INGRESS, EGRESS, PARKING, VEHICULAR MANEUVERING, EQUIPMENT, AND UTILITIES.

ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION

A PORTION OF THOSE CERTAIN PARCELS OF LAND DESCRIBED AS PARCELS 2 AND 3 IN SPECIAL WARRANTY DEED AS INSTRUMENT 2004-1508591 IN THE OFFICE OF THE COUNTY RECORDER MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID PARCEL 2, THENCE NORTH 88°55'15" EAST ALONG THE NORTHERLY OF SAID PARCEL, A DISTANCE OF 12.79 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 88°55'15" EAST, A DISTANCE OF 21.00 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 00°00'00" EAST, A DISTANCE OF 82.93 FEET; THENCE SOUTH 74°09'13" EAST, A DISTANCE OF 92.99 FEET; THENCE SOUTH 00°00'00" WEST, A DISTANCE OF 43.85 FEET; THENCE SOUTH 88°38'52" WEST, A DISTANCE OF 0.91 FEET; THENCE NORTH 01°21'08" WEST, A DISTANCE OF 13.34 FEET; THENCE NORTH 43°28'40" WEST, A DISTANCE OF 12.47 FEET; THENCE SOUTH 88°38'52" WEST, A DISTANCE OF 11.19 FEET; THENCE NORTH 00°00'00" EAST, A DISTANCE OF 5.89 FEET; THENCE NORTH 74°09'13" WEST, A DISTANCE OF 92.99 FEET; THENCE NORTH 00°00'00" EAST, A DISTANCE OF 98.41 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

SCHEDULE "B" NOTE

REFERENCE IS MADE TO THE TITLE REPORT ORDER #48577-AZ1406-3010, ISSUED BY U.S. TITLE SOLUTIONS, DATED JULY 3, 2014, ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

⑧ EASEMENT BY BROWN AND GILBERT ASSOCIATES, A JOINT VENTURE TO CITY OF MESA, ARIZONA, DATED 7/13/1984 RECORDED 7/20/1984 IN INSTRUMENT NO : 84-318399.
NOTES: EASEMENT FOR PUBLIC UTILITIES (PLOTTED)

⑨ EASEMENT BY RAY C. WICKEN, AS HIS SOLE AND SEPARATE PROPERTY TO SALE RIVER PROJECT AGRICULTURE IMPROVEMENT AND POWER DISTRICT, A POLITICAL SUBDIVISION, DATED 12/17/1986 RECORDED 12/31/1986 IN INSTRUMENT NO : 86-727546.
NOTES: EASEMENT FOR UNDERGROUND POWER (PLOTTED)

10. EASEMENT BY RGW INVESTMENT COMPANY, INC., AN ARIZONA CORPORATION TO SALE RIVER PROJECT AGRICULTURE IMPROVEMENT AND POWER DISTRICT, A POLITICAL SUBDIVISION, DATED 12/17/1986 RECORDED 12/31/1986 IN INSTRUMENT NO : 86-727547. NOTES: EASEMENT FOR UNDERGROUND POWER (DOES NOT AFFECT)

NOTE:
THE SURVEYORS OPINION IS THAT NO SCHEDULE "B" ITEMS PROVIDED BY SAID REPORT AFFECT THE PROPOSED VERIZON WIRELESS PREMISES SHOWN HEREON.

SURVEYOR'S NOTES

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X" AREAS OF 500 YEAR FLOOD; 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITHIN DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #04013C2270L, DATED OCT. 16, 2013.

LESSOR'S LEGAL DESCRIPTION

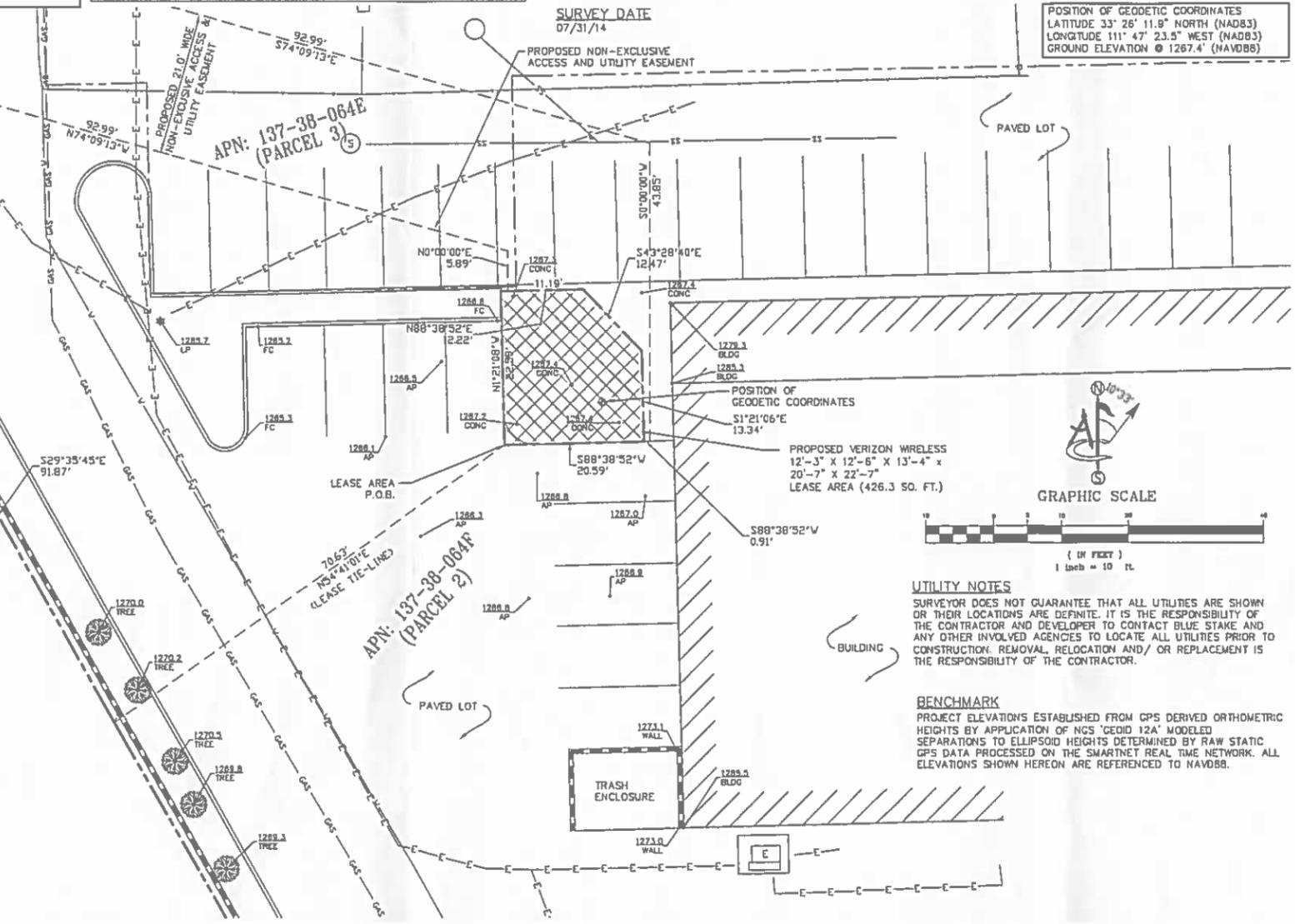
PARCEL NO. 1
A TRACT OF LAND LYING WITHIN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING A PORTION OF TRACT 'A' AS PLATTED ON THAT MAP OF LUNA TIERRA, RECORDED IN BOOK 99 OF MAPS, PAGE 1, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BEING FURTHER DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SECTION 13; THENCE ALONG THE CENTERLINE OF NORTH GILBERT ROAD, SOUTH 00 DEGREES 28 MINUTES 00 SECONDS WEST, 873.30 FEET; THENCE LEAVING SAID CENTERLINE, NORTH 88 DEGREES 32 MINUTES 00 SECONDS WEST, 95.00 FEET TO A POINT ON THE WEST RIGHT OF WAY OF NORTH GILBERT ROAD, BEING THE TRUE POINT OF BEGINNING;
THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, 159.26 FEET; THENCE NORTH 01 DEGREES 29 MINUTES 00 SECONDS WEST, 152.50 FEET; THENCE NORTH 88 DEGREES 31 MINUTES 00 SECONDS EAST, 164.45 FEET TO A POINT ON SAID WEST RIGHT OF WAY; THENCE ALONG SAID RIGHT OF WAY, SOUTH 00 DEGREES 28 MINUTES 00 SECONDS WEST, 152.59 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 2
A TRACT OF LAND LYING WITHIN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING A PORTION OF TRACT 'A', AS PLATTED ON THAT MAP OF LUNA TIERRA, RECORDED IN BOOK 99 OF MAPS, PAGE 1, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BEING FURTHER DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 13, BEING A BRASS CAP IN A HANDHOLE AT THE INTERSECTION OF EAST BROWN ROAD AND NORTH GILBERT ROAD; THENCE ALONG THE CENTERLINE OF NORTH GILBERT ROAD, SOUTH 00 DEGREES 28 MINUTES 00 SECONDS WEST, 241.90 FEET; THENCE LEAVING SAID CENTERLINE, NORTH 88 DEGREES 32 MINUTES 00 SECONDS WEST, 55.00 FEET TO A POINT ON THE WEST RIGHT OF WAY OF SAID NORTH GILBERT ROAD, AND BEING THE TRUE POINT OF BEGINNING; THENCE ALONG SAID WEST RIGHT OF WAY, SOUTH 00 DEGREES 28 MINUTES 00 SECONDS WEST, 431.80 FEET; THENCE LEAVING SAID RIGHT OF WAY, SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, 398.93 FEET; THENCE NORTH 58 DEGREES 38 MINUTES 40 SECONDS WEST, 18.41 FEET; THENCE NORTH 21 DEGREES 44 MINUTES 23 SECONDS WEST, 215.84 FEET; THENCE NORTH 30 DEGREES 00 MINUTES 00 SECONDS WEST, 343.03 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 00 SECONDS EAST, 113.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF EAST BROWN ROAD; THENCE ALONG SAID RIGHT OF WAY NORTH 88 DEGREES 31 MINUTES 00 SECONDS EAST, 438.83 FEET;
THENCE LEAVING SAID RIGHT OF WAY OF SOUTH 00 DEGREES 28 MINUTES 00 SECONDS WEST, 195.00 FEET; THENCE NORTH 88 DEGREES 31 MINUTES 00 SECONDS EAST, 210.00 FEET TO THE TRUE POINT OF BEGINNING; EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND: COMMENCING AT SAID NORTHEAST CORNER OF SECTION 13; THENCE ALONG THE CENTERLINE OF NORTH GILBERT ROAD, SOUTH 00 DEGREES 28 MINUTES 00 SECONDS WEST, 873.30 FEET; THENCE LEAVING SAID CENTERLINE NORTH 89 DEGREES 32 MINUTES 00 SECONDS WEST, 55.00 FEET TO A POINT ON THE WEST RIGHT OF WAY OF NORTH GILBERT ROAD, BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, 152.50 FEET; THENCE NORTH 01 DEGREES 29 MINUTES 00 SECONDS WEST, 159.26 FEET; THENCE NORTH 88 DEGREES 31 MINUTES 00 SECONDS EAST, 164.45 FEET TO A POINT ON SAID WEST RIGHT OF WAY; THENCE ALONG SAID RIGHT OF WAY SOUTH 00 DEGREES 28 MINUTES 00 SECONDS WEST, 152.59 FEET TO THE TRUE POINT OF BEGINNING; AND ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 13, A BRASS CAP IN HANDHOLE AT THE CENTERLINE INTERSECTION OF GILBERT ROAD AND BROWN ROAD; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST ALONG THE CENTERLINE OF BROWN ROAD, A DISTANCE OF 488.88 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 13.20 FEET; THENCE SOUTH 21 DEGREES 44 MINUTES 23 SECONDS EAST, A DISTANCE OF 59.20 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 175.98 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 99.78 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF BROWN ROAD; THENCE NORTH 01 DEGREES 29 MINUTES 00 SECONDS WEST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 15.00 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 00 SECONDS EAST, A DISTANCE OF 99.78 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF BROWN ROAD; THENCE NORTH 88 DEGREES 31 MINUTES 00 SECONDS EAST ALONG SAID RIGHT OF WAY A DISTANCE OF 221.49 FEET TO THE TRUE POINT OF BEGINNING.

LESSOR'S LEGAL DESCRIPTION (CONT.)

MINUTES 00 SECONDS EAST, A DISTANCE OF 13.20 FEET; THENCE SOUTH 21 DEGREES 44 MINUTES 23 SECONDS EAST, A DISTANCE OF 59.20 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 175.98 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 99.78 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF BROWN ROAD; THENCE NORTH 01 DEGREES 29 MINUTES 00 SECONDS WEST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 15.00 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 00 SECONDS EAST, A DISTANCE OF 99.78 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF BROWN ROAD; THENCE NORTH 88 DEGREES 31 MINUTES 00 SECONDS EAST ALONG SAID RIGHT OF WAY A DISTANCE OF 221.49 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 3
A TRACT OF LAND LYING WITHIN THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE FULLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 13, A BRASS CAP IN A HANDHOLE AT THE CENTERLINE INTERSECTION OF GILBERT ROAD AND BROWN ROAD; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST ALONG THE CENTERLINE OF BROWN ROAD, A DISTANCE OF 488.88 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 13.20 FEET; THENCE SOUTH 21 DEGREES 44 MINUTES 23 SECONDS EAST, A DISTANCE OF 59.20 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 175.98 FEET; THENCE SOUTH 01 DEGREES 29 MINUTES 00 SECONDS EAST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 99.78 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF BROWN ROAD; THENCE NORTH 01 DEGREES 29 MINUTES 00 SECONDS WEST, A DISTANCE OF 31.00 FEET; THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, A DISTANCE OF 15.00 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 00 SECONDS EAST, A DISTANCE OF 99.78 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF BROWN ROAD; THENCE NORTH 88 DEGREES 31 MINUTES 00 SECONDS EAST ALONG SAID RIGHT OF WAY A DISTANCE OF 221.49 FEET TO THE TRUE POINT OF BEGINNING.



SURVEY DATE
07/31/14

POSITION OF GEODETIC COORDINATES
LATITUDE 33° 26' 11.9" NORTH (NAD83)
LONGITUDE 111° 47' 23.5" WEST (NAD83)
GROUND ELEVATION @ 1267.4' (NAVD88)

SEE SURVEY DETAIL (THIS SHEET)



TECTONIC
TECTONIC Engineering & Surveying Consultants P.C.
8639 Mayland Drive Ste. 102
Richmond, VA 23294
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Fax: (804) 270-0363
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WORK ORDER NUMBER	DRAWN BY
6022 ARISTA	CK

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0	08/05/14	PRELIM
1	08/11/14	UPDATE
2	03/31/15	UPDATE

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF THE STATES LICENSING REGULATIONS



SITE INFORMATION

PHO ARISTA

1925 EAST BROWN ROAD
MESA, ARIZONA 85203

GRAPHIC SCALE

1 inch = 10 ft.

0 1 2 3
ORIGINAL SIZE IN INCHES

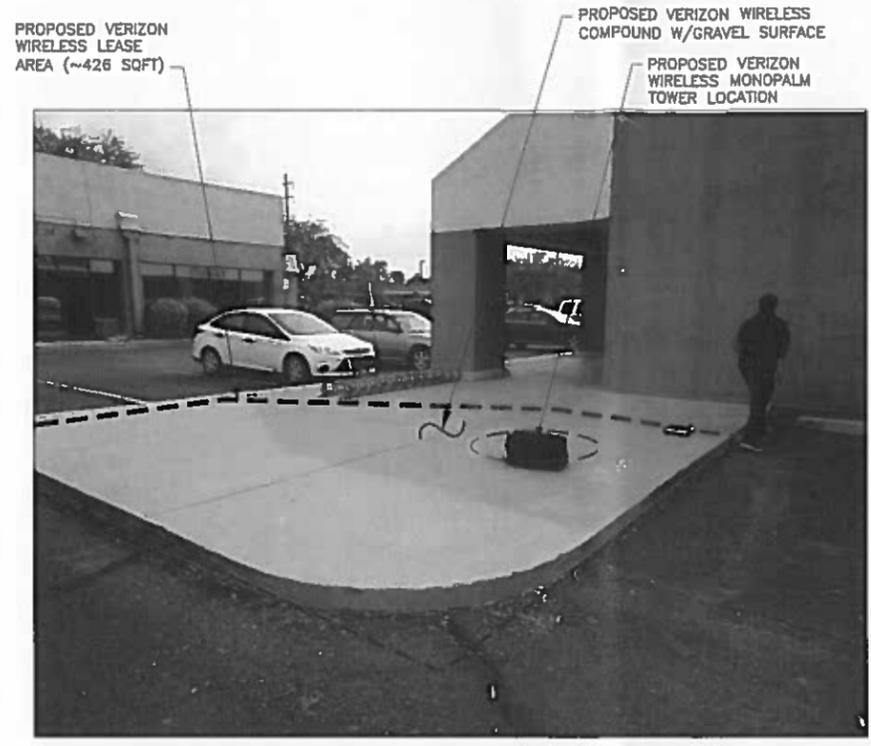
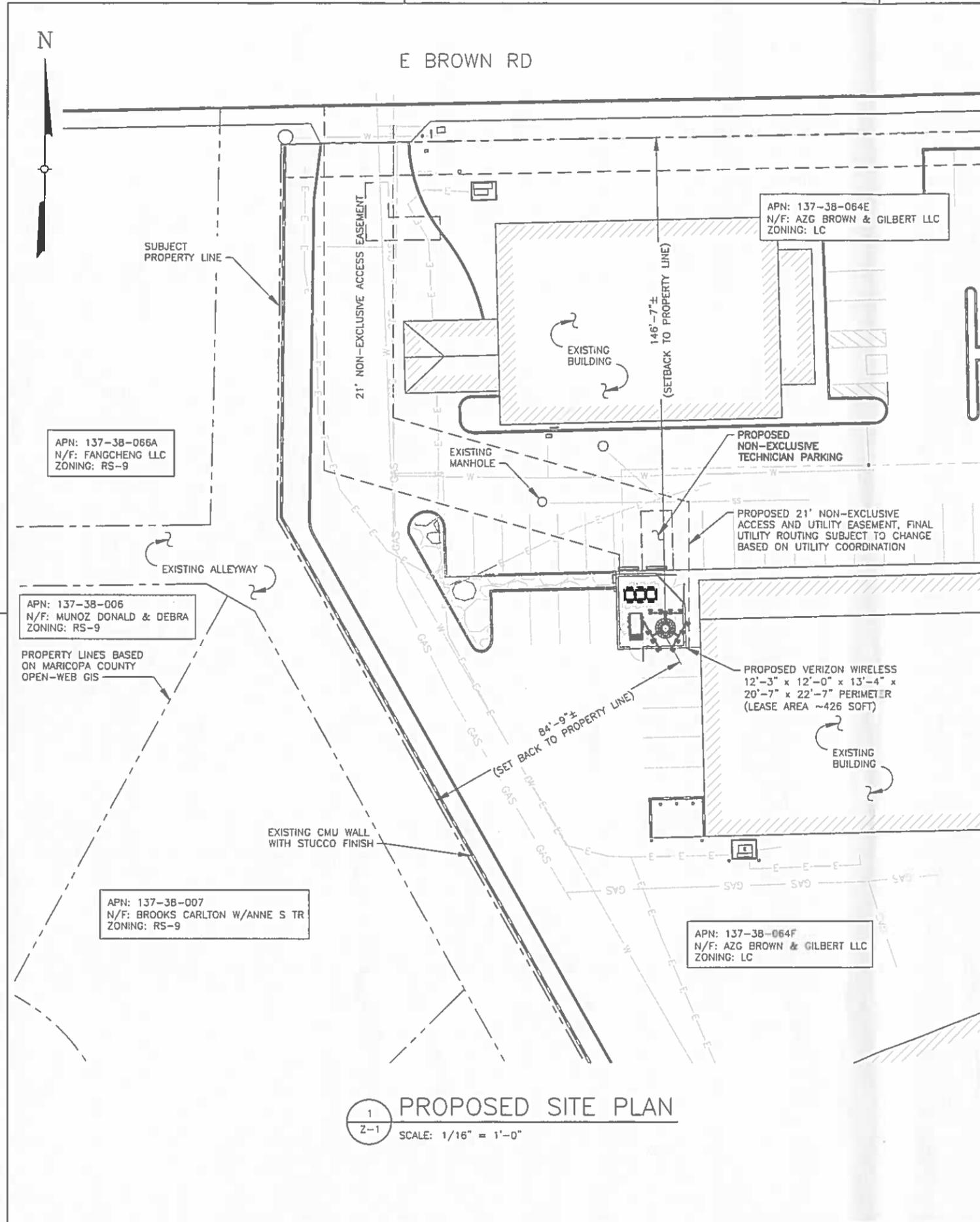
SHEET TITLE

SITE SURVEY

SHEET NUMBER

LS-1

File: \\tempa\tsbo\6022. Raw Lands\6022_Arsta\ZDs\Rev 4\RD-TCCD-6022_ARSTA.ZD, Plotted: 4/2/15 at 9:51am, By: Markus Linker, Last Saved By: Markus Linker



VIEW OF PROPOSED LEASE AREA
(EAST VIEW)



VIEW OF PROPOSED LEASE AREA
(SOUTH VIEW)



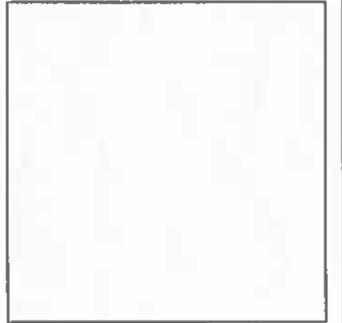
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4041 South McClintock Drive, Suite 302
Tempe, AZ 85282
Phone: (480) 629-5333
Fax: (480) 629-8871
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WORK ORDER NUMBER: 6022.ARISTA
DRAWN BY: TBS

NO.	DATE	ISSUE
0	9/3/14	PRELIMINARY
1	9/24/14	90% ZDs
2	3/11/15	95% ZDs
3	3/25/15	100% ZDs
4	4/2/15	UPDATED CABINET

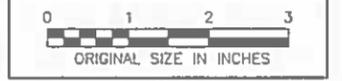
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SITE INFORMATION
PHO_ARISTA
1925 E BROWN RD
CITY OF MESA
MESA, ARIZONA 85203

VZW PROJ# 20141075606



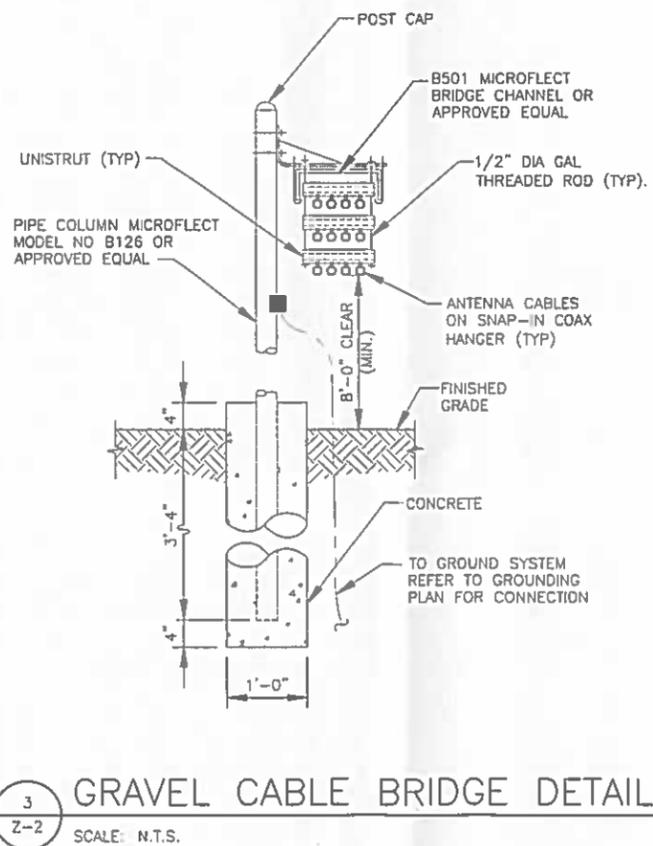
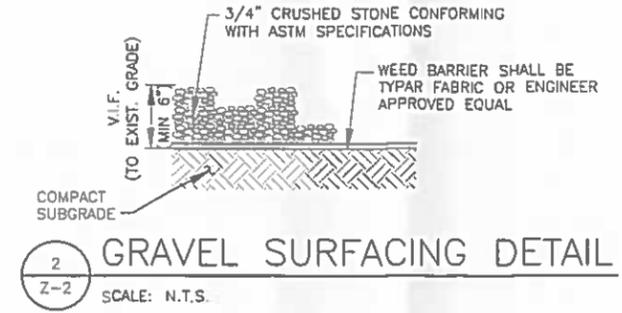
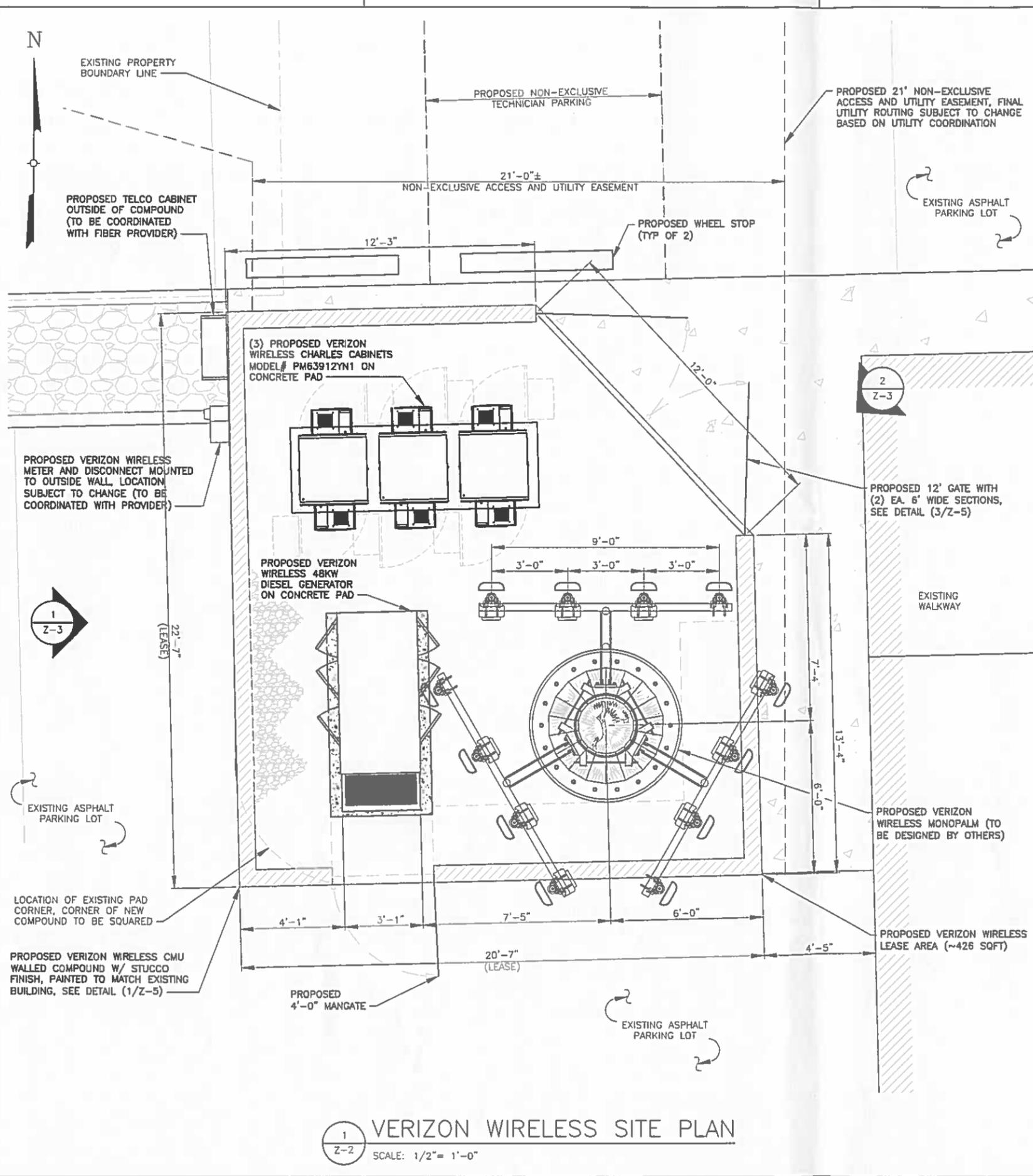
ORIGINAL SIZE IN INCHES

SHEET TITLE
PROPOSED SITE PLAN AND PHOTOS

SHEET NUMBER
Z-1

VERIZON WIRELESS PROJECT# 20141075606
VERIZON WIRELESS SITE: PHO_ARISTA RAW-LAND SITE

File: F:\tempa\Telco\6022. Raw Lands\6022.Arista\Zda\Rev 4\RD-TCCD-6022.ARISTA.ZD, Plotted: 4/2/15 at 9:51am, By: Markus Linke, Last Saved By: Markus Linke



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MESA, ARIZONA 85203

VZW PROJ# 20141075606



SHEET TITLE
VERIZON WIRELESS SITE PLAN

SHEET NUMBER
Z-2

VERIZON WIRELESS PROJECT# 20141075606

VERIZON WIRELESS SITE: PHO_ARISTA RAW-LAND SITE

File:F:\temp\Telco 6022 - Raw Lands\6022_Arizona\ZDs\Rev 4\RD-TECD-6022_ARISTA.ZD, Plotted: 4/2/15 at 9:51am, By:Markus Link, Last Saved By:Markus Link

STRUCTURAL NOTE
 THIS VIEW DEPICTS THE PROPOSED VERIZON WIRELESS TOWER. IT DOES NOT INFER THAT TECTONIC HAS EVALUATED ITS STRUCTURAL ADEQUACY FOR THE LOADS IMPOSED. THIS TOWER WILL NEED TO BE EVALUATED BY A PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.

NOTE
 PROPOSED ANTENNAS AND MOUNTED EQUIPMENT PAINTED TO MATCH PALM FRONDS.



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SITE INFORMATION

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 1925 E BROWN RD
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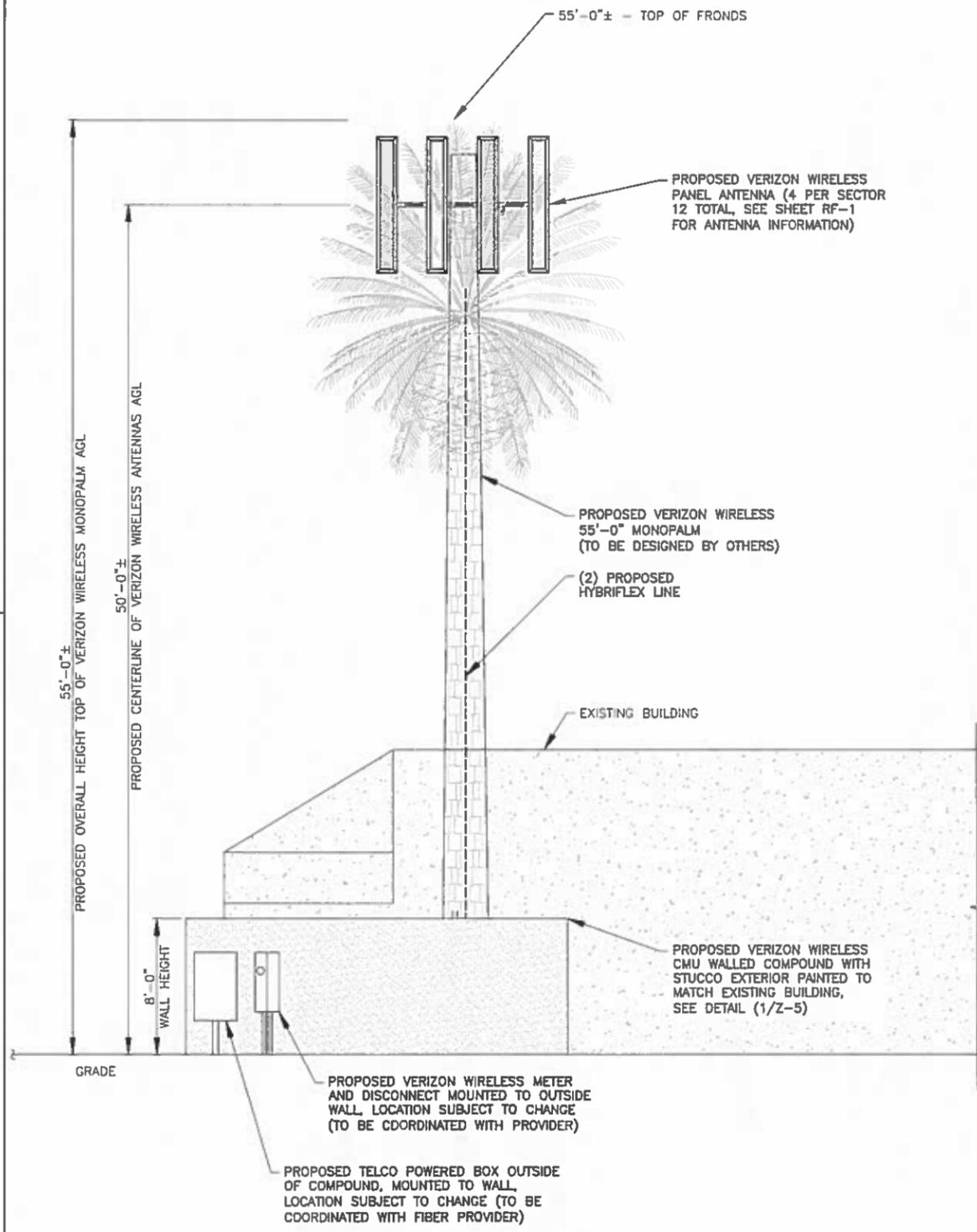
VZW PROJ# 20141075606



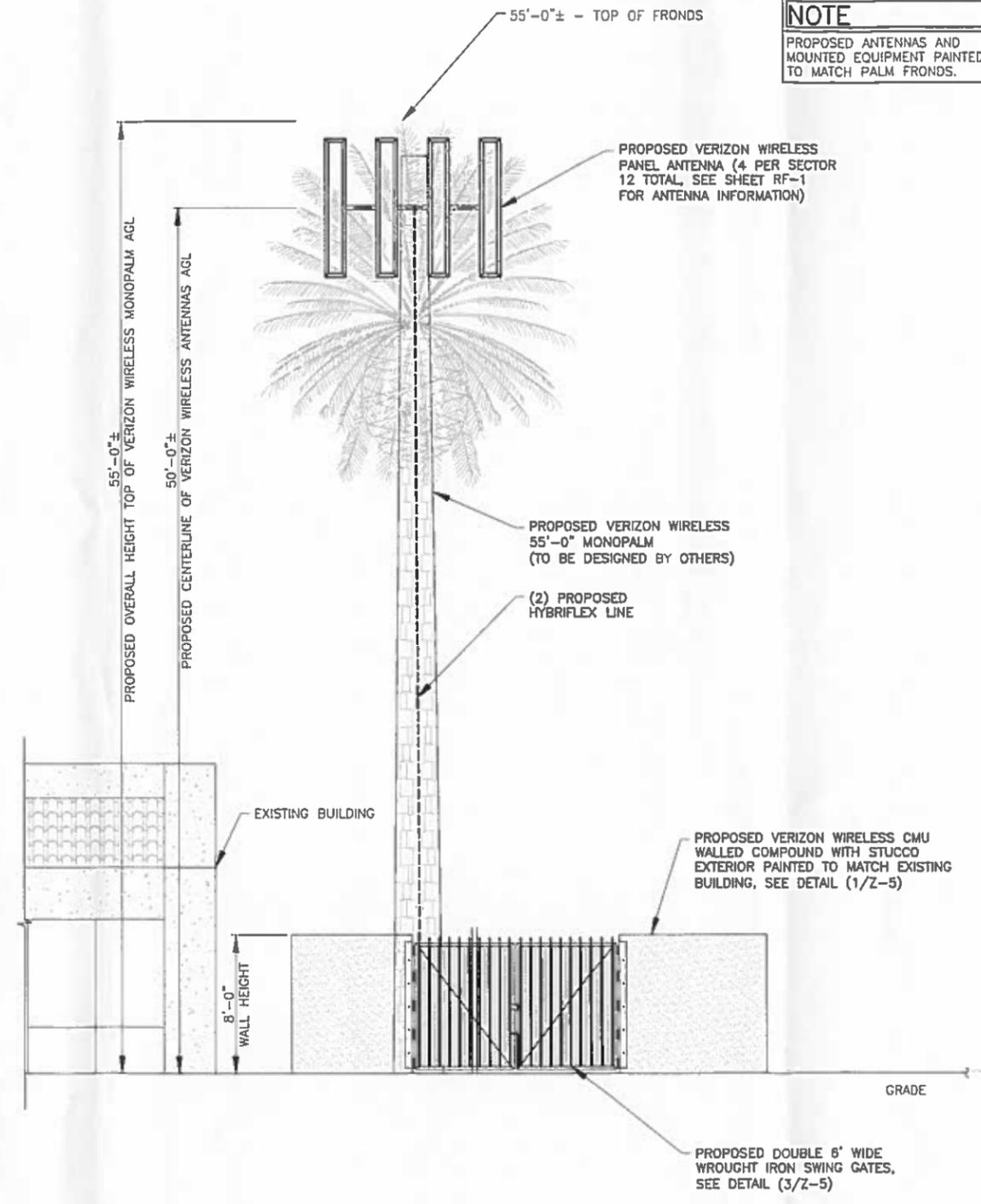
SHEET TITLE
ELEVATIONS

SHEET NUMBER
Z-3

VERIZON WIRELESS PROJECT# 20141075606
 VERIZON WIRELESS SITE: PHO_ARISTA RAW-LAND SITE



1 PROPOSED WEST ELEVATION
 Z-3 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTHEAST ELEVATION
 Z-3 SCALE: 1/4" = 1'-0"

IBC 2006 STRUCTURAL DESIGN CRITERIA

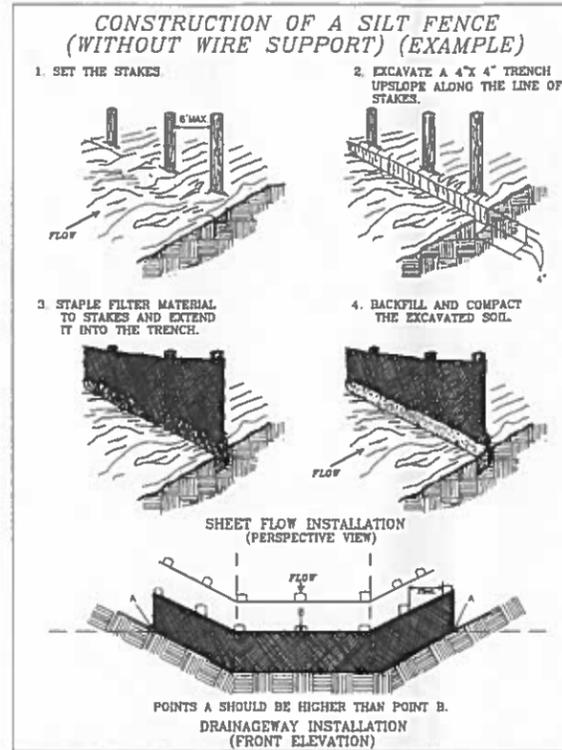
- ALL LOADS DERIVED FROM REQUIREMENTS OF INTERNATIONAL BUILDING CODE 2006, ASCE 7-05 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" & ANSI/TIA-222-G "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS".
- WIND LOADS:
EXP B, $V_{3s} = 90$ MPH
HEIGHT & EXPOSURE COEFFICIENT = 1.0
IMPORTANCE FACTOR = 1.0
- SEISMIC LOADS:
IMPORTANCE FACTOR (I_e) = 1.0
OCCUPANCY CAT = II
 $S_s = 0.200$
 $S_1 = 0.066$
 $S_{ps} = 0.213$
 $S_{p1} = 0.104$
SITE CLASS D
SEISMIC DESIGN CATEGORY B

GENERAL PROJECT NOTES

- CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
- EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
- CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYDOWN AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYDOWN AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6' HIGH CHAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. LAYDOWN AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
- SURVEY INFORMATION SHOWN WAS CREATED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY.
- THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEANS AND METHODS CHOSEN BY THE ERECTOR.
- NEW EQUIPMENT COMPOUND SHALL BE COVERED WITH 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE).

CONCRETE NOTES

- ALL CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 19 OF THE IBC & ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," LATEST EDITION & HAVE THE FOLLOWING PROPERTIES:
 - MINIMUM 28-DAY COMPRESSIVE STRENGTH (f'_c) OF 4,000 PSI.
 - CEMENT SHALL BE "LOW-ALKALI" TYPE V (HIGH SULFATE RESISTANCE, AIR ENTRAINING) CONFORMING TO ASTM C150.
 - MAXIMUM WATER/CEMENT RATIO OF 0.45.
 - PROVIDE AIR ENTRAINMENT IN EXTERIOR EXPOSED CONCRETE TO OBTAIN TOTAL AIR CONTENT OF $5 \pm 1\%$ IN ACCORDANCE WITH ACI 301.
 - MAXIMUM SLUMP: 3 ± 1 " (SLAB)
 - CONCRETE SLUMP SHALL NOT EXCEED 5 INCHES UNLESS SPECIFICALLY AUTHORIZED BY THE ENGINEER. SLUMP SHALL BE DETERMINED IN ACCORDANCE WITH ASTM C143 "SLUMP OF HYDRAULIC CEMENT CONCRETE".
 - CONCRETE PROPORTIONING SHALL BE DESIGNED BY AN APPROVED LABORATORY. TOLERANCES IN ACCORDANCE WITH ACI 117. COPIES OF CONCRETE MIX SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO PLACEMENT.
 - ALL AGGREGATE USED IN CONCRETE SHALL CONFORM TO ASTM C33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. MAXIMUM AGGREGATE SIZE TO BE $1 \frac{1}{2}$ ".
 - CHLORIDE-CONTAINING ADMIXTURES SHALL NOT BE USED.
- CONCRETE WORK AND MATERIALS SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE", ACI 301.
- FOR CONCRETE CAST AGAINST AND PERMANENTLY TO EARTH, CONCRETE COVER FOR REINFORCING SHALL BE:
 - 3" FOR ALL BARS
 FOR CONCRETE EXPOSED TO WEATHER, MINIMUM COVER SHALL BE:
 - 2" FOR #6 AND LARGER BARS
 - 1-1/2" FOR #5 AND SMALLER BARS OR WIRE FABRIC
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, "DEFORMED AND PLAIN BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT", GRADE 60.
- LAP SPLICES FOR REINFORCING SHALL BE 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED. STANDARD HOOKS SHALL BE 16 BAR DIAMETERS. ALL OTHER REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH ACI 315 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT".
- WELDING OF REINFORCING STEEL OR THE APPLICATION OF HEAT TO FACILITATE BENDING IS SPECIFICALLY PROHIBITED.
- ALL REINFORCING, DOWELS AND OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- FORMWORK FOR CONCRETE SHALL CONFORM TO ACI 347. TOLERANCES FOR FINISHED CONCRETE SURFACES SHALL MEET CLASS-C REQUIREMENTS. IN NO CASE SHALL FINISHED CONCRETE SURFACES EXCEED THE FOLLOWING VALUES AS MEASURED FROM NEAT PLAN LINES AND FINISHED GRADES: $\pm 1/4$ " VERTICAL, ± 1 " HORIZONTAL.
- CHAMFER ALL EXPOSED CORNERS AND FILLET ENTRANT ANGLES $3/4$ " U.N.O.
- CONCRETE FINISHING:
 - SLABS: CONCRETE SURFACES SHALL BE FINISHED IN ACCORDANCE WITH ACI 301 SECTIONS 5.3, 6.3, AND 7.3. PROVIDE ROUGH FINISH FOR ALL SURFACES NOT EXPOSED TO VIEW AND SMOOTH FINISH FOR ALL OTHERS, U.N.O.
- WHEN DRILLING INTO EXISTING CONCRETE, EXERCISE CAUTION TO AVOID DAMAGE TO EXISTING REINFORCING BARS AND ANCHOR BOLTS.
- EPOXY GROUT SYSTEM FOR ANCHOR RODS AND DOWELS SHALL BE HILTI HY200 OR APPROVED EQUAL. MIXING AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. (CONTRACTOR TO PROPERLY CLEAN-OUT DRILLED HOLES PRIOR TO APPLICATION PER MANUFACTURER'S RECOMMENDATION)
- A MINIMUM OF ONE (1) SET OF CONCRETE CYLINDERS SHALL BE TAKEN. EACH SET SHALL CONSIST OF FIVE (5) CYLINDERS. ONE (1) SHALL BE TESTED AT 7 DAYS, THREE (3) AND ONE (1) ALTERNATE SHALL BE TESTED AT 28 DAYS. ALL CYLINDERS SHALL BE TAKEN PREPARED AND TESTED BY A TESTING LAB IN ACCORDANCE WITH ASTM C172, C31, AND C39.
- TESTING OF CONCRETE SHALL BE PERFORMED UNDER THE DIRECTION OF THE CONSTRUCTION MANAGER.
- PROVIDE NO LESS THAN 48 HOURS NOTICE TO THE VERIZON REPRESENTATIVE PRIOR TO PLACEMENT OF CONCRETE.
- REMOVE ALL LOOSE MATERIAL AND DEBRIS FROM SUBGRADE SURFACE PRIOR TO PLACING CONCRETE. CONCRETE SHALL NOT BE PLACED ON FROZEN SUBGRADE.
- WHEN AMBIENT TEMPERATURE IS BELOW 50 DEGREES F, CONCRETE MATERIALS AND PLACEMENT SHALL CONFORM TO THE RECOMMENDATIONS OF ACI 306R "COLD WEATHER CONCRETING".
- WHEN AMBIENT TEMPERATURE IS ABOVE 90 DEGREES F, CONCRETE MATERIALS AND PLACEMENT SHALL CONFORM TO THE RECOMMENDATIONS OF ACI 305R "HOT WEATHER CONCRETING".
- CONCRETE SHALL BE SUFFICIENTLY CONSOLIDATED BY VIBRATION TO REMOVE AIR Voids. VIBRATION SHALL BE IN ACCORDANCE WITH ACI 309 "STANDARD PRACTICE FOR CONSOLIDATION OF CONCRETE".
- THE TOP OF ALL CONCRETE SURFACES SHALL BE TRUE AND LEVEL WITH A SMOOTH FLOAT FINISH, UNLESS OTHERWISE NOTED.
- THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, OR SNOW. PROTECT CONCRETE FROM EXCESSIVE HEAT AND FREEZING FOR NOT LESS THAN 14 DAYS.
- DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE MOIST CURED OR PROTECTED USING A MEMBRANE CURING AGENT CONFORMING TO ASTM C309 "LIQUID MEMBRANE-FORMING COMPOUNDS FOR CURING CONCRETE", APPLIED AS SOON AS FORMS ARE REMOVED. IF MEMBRANE CURING AGENT IS USED, EXERCISE CARE NOT TO DAMAGE SURFACE.
- CONTRACTOR SHALL BRING TO THE IMMEDIATE ATTENTION OF THE VERIZON CONSTRUCTION MANAGER ANY DEFECTS OR ERRORS IN THE WORK, PRIOR TO MAKING REPAIRS. CONTRACTOR SHALL OBTAIN PERMISSION FROM THE VERIZON CONSTRUCTION MANAGER TO PATCH OR OTHERWISE REPAIR DEFECTS OTHER THAN MINOR HONEYCOMBING.
- IF ENCOUNTERED, UNSUITABLE MATERIALS SUCH AS ORGANIC MATERIAL AND SOFT SOIL SHALL BE REMOVED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.



NOTE: Adapted from Installation of Stone and Fabric Filter Barriers for Sediment Control, VA. DSWC Sharwood and Wyatt. PLATE 305-2

1 SILT FENCE DETAIL

Z-4 SCALE: N.T.S.



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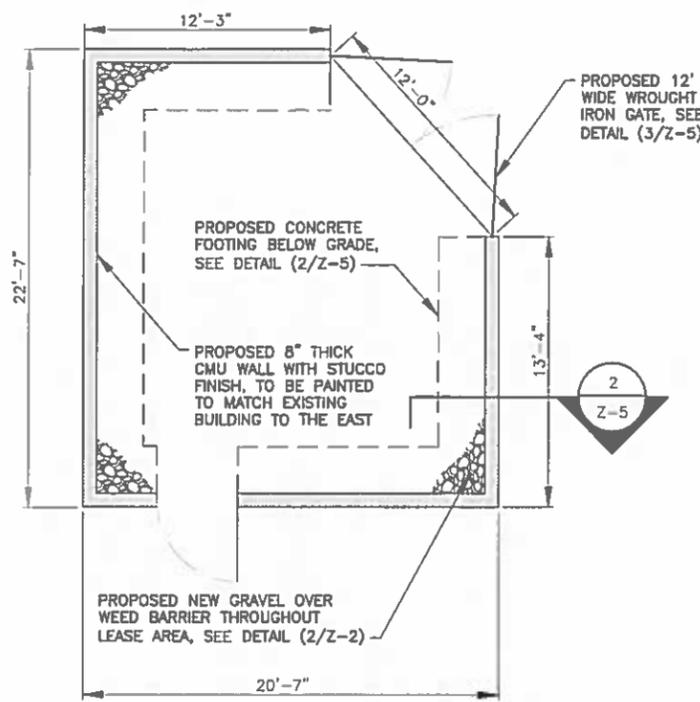


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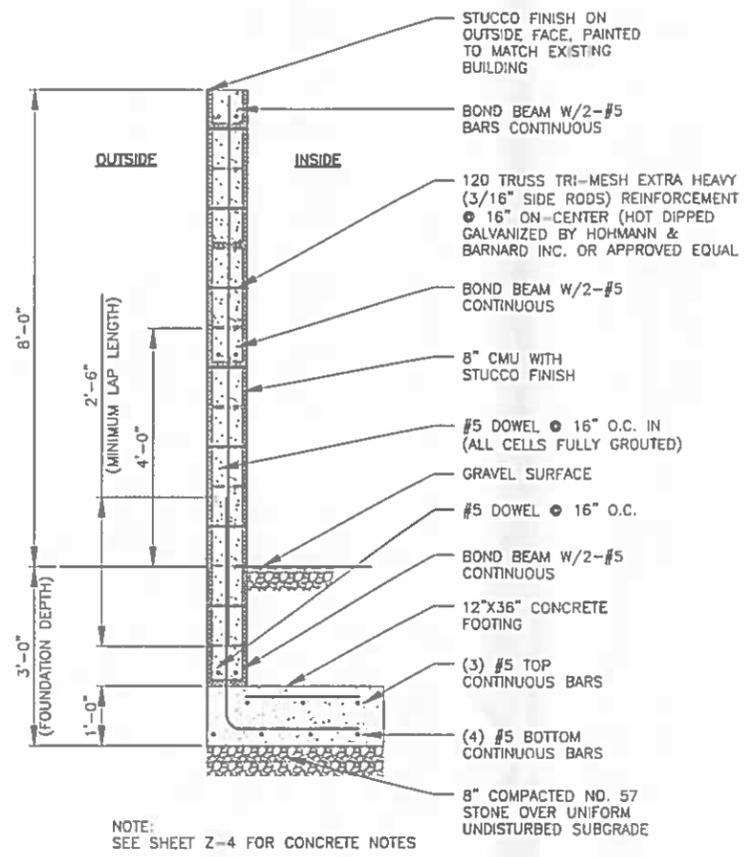
SPECIFICATION
SHEET

SHEET NUMBER

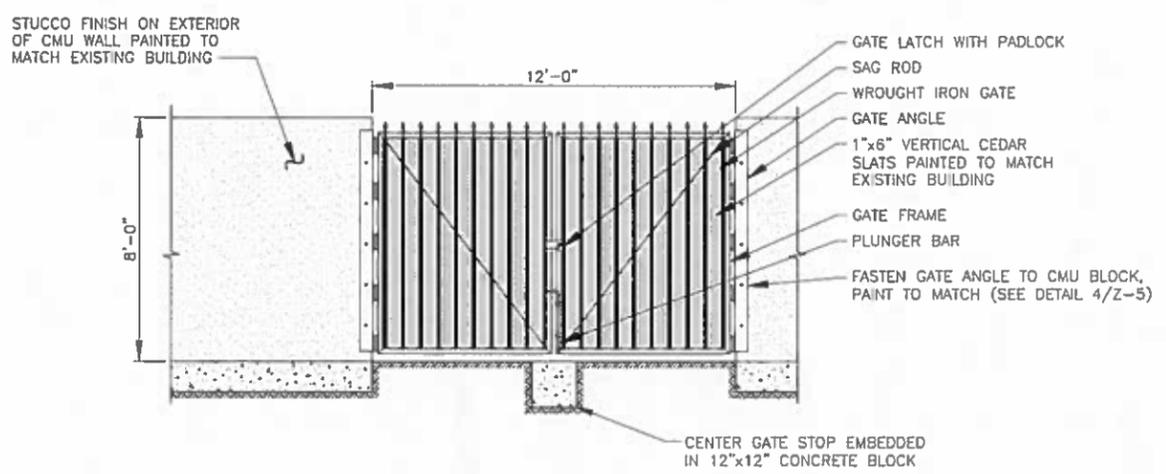
Z-4



1 MASONRY WALL PLAN
 Z-5 SCALE: 1/4" = 1'-0"



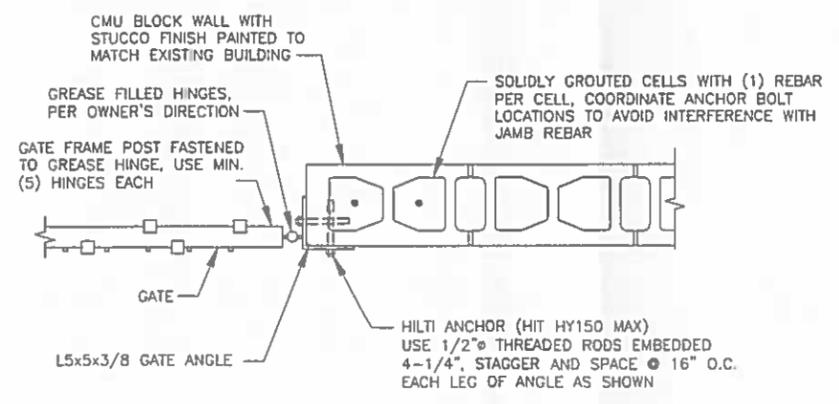
2 MASONRY WALL DETAIL
 Z-5 SCALE: 3/4" = 1'-0"



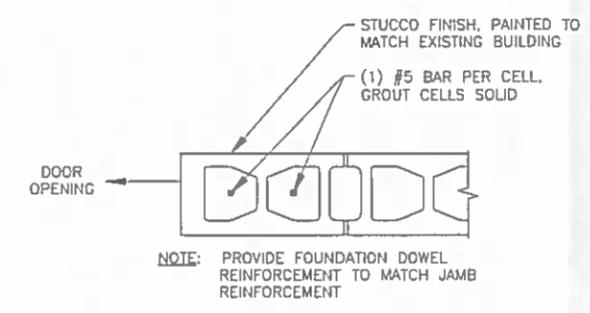
3 WROUGHT IRON GATE DETAIL
 Z-5 SCALE: N.T.S.

MASONRY NOTES	
1.	CONTRACTOR DESIGN AND CONSTRUCTION OF MASONRY WORK SHALL CONFORM TO ACI STANDARDS "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530 AND "SPECIFICATION FOR MASONRY STRUCTURES" ACI 530.1.
2.	MORTAR SHALL CONFORM TO ASTM C270 "MORTAR FOR UNIT MASONRY", TYPE M OR S.
3.	CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90 "LOAD BEARING CONCRETE MASONRY UNITS", TYPE I, GRADE N. COMPRESSIVE STRENGTH OF MASONRY (F _m) SHALL NOT BE LESS THAN 1,500 PSI.
4.	MASONRY GROUT SHALL CONFORM TO ASTM C476 "GROUT FOR MASONRY", AND INSTALLED IN 48" LIFTS OR LESS. GROUT STRENGTH SHALL BE MINIMUM 2000 PSI (ALL CELLS FULLY GROUTED).
5.	ALL MASONRY UNITS SHALL BE PLACED IN RUNNING BOND.
6.	REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, "DEFORMED AND PLAIN BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT", GRADE 60.
7.	JOINT REINFORCEMENTS SHALL COMPLY WITH ASTM A 951. THE MAXIMUM SPACING OF CROSSWIRES IN LADDER-TYPE JOINT REINFORCEMENT AND POINT OF CONNECTION OF CROSS WIRES TO LONGITUDINAL WIRES OF TRUSS-TYPE REINFORCEMENT SHALL BE 16 INCHES.
8.	3' COVER FOR ALL REBAR IN FOOTING (TYPICAL).
9.	CONTRACTOR TO HAVE MASONRY WALL INSPECTED PER IBC 2009 SECTION 1704.5 SPECIAL INSPECTIONS.

DEPTH OF FOOTING NOTES	
1.	CONTRACTOR TO NOTIFY ENGINEER CONCERNING ANY DISCREPANCIES.



4 HINGE DETAIL
 Z-5 SCALE: 3/4" = 1'-0"



5 DOOR JAMB DETAIL
 Z-5 SCALE: 3/4" = 1'-0"

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 MESA, ARIZONA 85203

VZW PROJ# 20141075606

0 1 2 3
 ORIGINAL SIZE IN INCHES

SHEET TITLE

COMPOUND DETAILS

SHEET NUMBER

Z-5

GENERAL NOTES

- LENGTHS GIVEN ON THIS CHART ARE ESTIMATED FROM AVAILABLE INFORMATION.
- TYPES AND SIZES OF THE ANTENNA CABLES ARE BASED ON THE ESTIMATED LENGTH OF THE CABLES. CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES.
- CONTRACTOR TO PROVIDE AS BUILTS FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION.
- CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES.
- ALL NEW ANTENNA AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MECHANICAL DECLINATION.

NEW VERIZON WIRELESS ANTENNA SCHEDULE

ATTACH LEVEL (COR)	AZIMUTHS (DEG, TN)	ANTENNA TYPE	ANTENNA QUANTITY	MECHANICAL DOWN TILT	COAX (QUANTITY) SIZE (NOMINAL)	ESTIMATED COAX CABLE LENGTH	MOUNT TYPE
50'-0"	0°	COMMSCOPE SBNHH-1D65C	4 (PROP)	3'	(2) 1-5/8"Ø HYBRIFLEX	~60'-0"	INSTALLED ON PROPOSED 10' T-MOUNTS
	120°	COMMSCOPE SBNHH-1D65C	4 (PROP)	3'	N/A	~60'-0"	
	240°	COMMSCOPE SBNHH-1D65C	4 (PROP)	3'	N/A	~60'-0"	

NOTES:

- CONTRACTOR TO INSTALL DUPLEXERS IN SHELTER AND ON TOWER AS REQUIRED BY SMR (IF APPLICABLE).

GENERAL ANTENNA NOTES

- CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
- EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
- CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYDOWN AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYDOWN AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6' HIGH CAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. LAYDOWN AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
- THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEANS AND METHODS CHOSEN BY THE ERECTOR.
- NEW EQUIPMENT COMPOUND SHALL BE COVERED WITH 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE).



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WORK ORDER NUMBER: 6022.ARISTA
DRAWN BY: TBS

NO.	DATE	ISSUE
0	9/3/14	PRELIMINARY
1	9/24/14	90% ZDs
2	3/11/15	95% ZDs
3	3/25/15	100% ZDs
4	4/2/15	UPDATED CABINET

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SITE INFORMATION

PHO_ARISTA
1925 E BROWN RD
CITY OF MESA
MESA, ARIZONA 85203

VZW PROJ# 20141075606

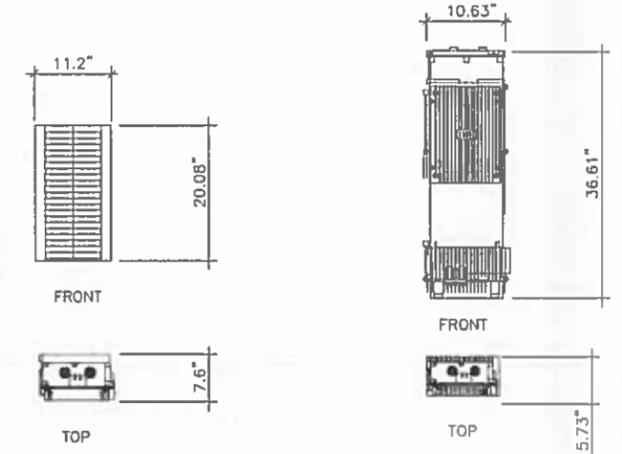


SHEET TITLE

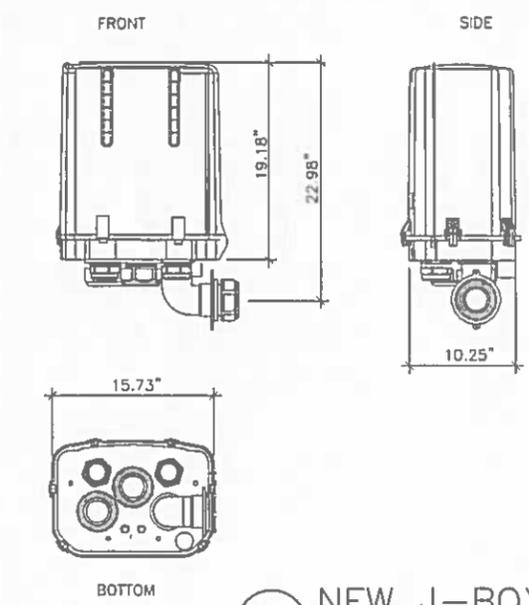
ANTENNA INFORMATION

SHEET NUMBER

RF-1



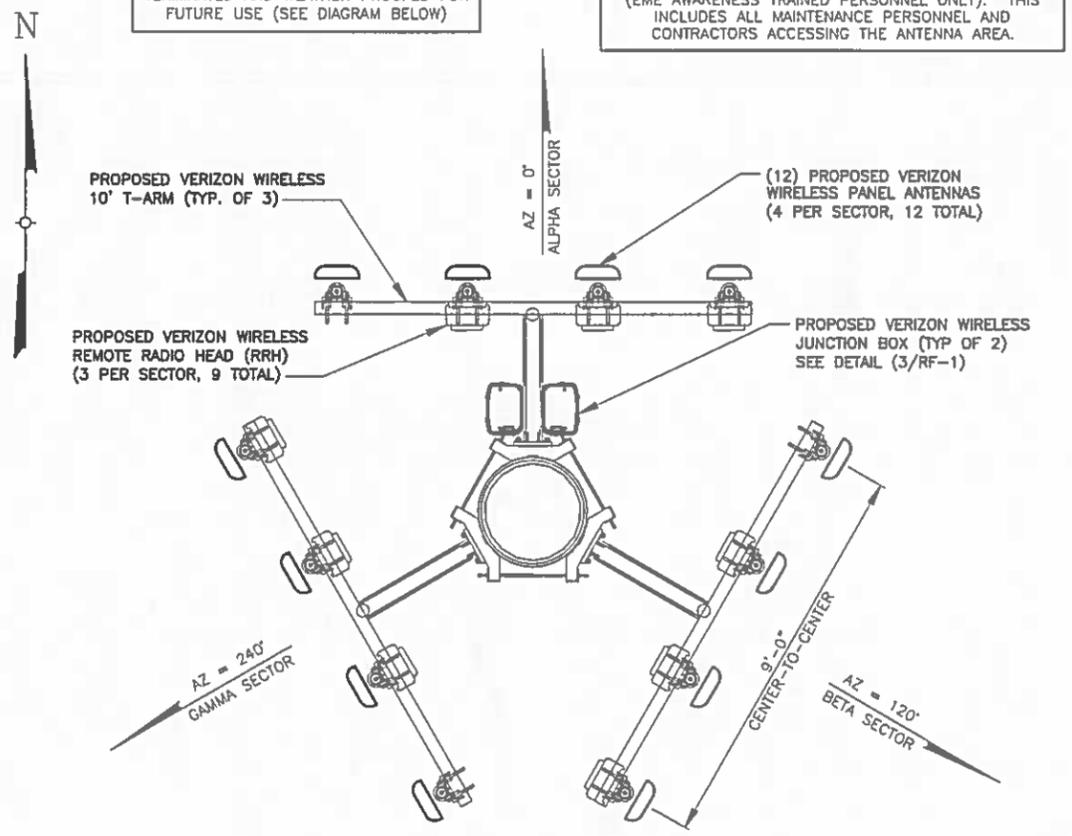
2 NEW REMOTE RADIO HEAD(S)
RF-1 SCALE: N.T.S.



3 NEW J-BOX
RF-1 SCALE: N.T.S.

ALL EXTRA ANTENNA PORTS MUST BE TERMINATED AND WEATHER PROOFED FOR FUTURE USE (SEE DIAGRAM BELOW)

LANDLORD MUST ENSURE THAT VERIZON WIRELESS ANTENNA ACCESS WILL BE RESTRICTED TO PERSONNEL THAT HAVE BEEN AUTHORIZED BY VERIZON WIRELESS (EME AWARENESS TRAINED PERSONNEL ONLY). THIS INCLUDES ALL MAINTENANCE PERSONNEL AND CONTRACTORS ACCESSING THE ANTENNA AREA.



1 PROPOSED ANTENNA ORIENTATION @ 50'
RF-1 SCALE: N.T.S.

File: F:\Tempe\Telco\6022. Rev Landa\6022.Arista\ZDs\Rev 4\RD-TCCD-6022.ARISTA.ZD, Plotted: 4/2/15 at 9:51am. By: Markus Link, Last Saved By: Markus Link

Product Specifications

COMMSCOPE

SBNHH-1D65C

Andrew® Tri-band Antenna, 698-896 and 2 x 1710-2360 MHz, 65° horizontal beamwidth, internal RET. Both high bands share the same electrical tilt.



Electrical Specifications

Frequency Band, MHz	698-896	896-896	1710-1880	1880-1990	1990-2180	2300-2360
Gain by all Beam Tilts, average, dBi	15.6	15.6	17.3	17.8	18.2	18.1
Gain by all Beam Tilts Tolerance, dB	±0.4	±0.5	±0.3	±0.2	±0.5	±0.4
Gain by Beam Tilt, average, dBi	0° 16.0 5° 16.0 11° 15.5	0° 15.8 5° 15.8 11° 15.2	0° 17.3 4° 17.4 7° 17.3	0° 17.7 4° 17.8 7° 17.7	0° 18.0 4° 18.2 7° 18.1	0° 17.9 4° 18.2 7° 18.2
Beamwidth, Horizontal, degrees	56	64	70	65	63	58
Beamwidth, Horizontal Tolerance, degrees	±1.2	±1.9	±3.4	±3.0	±4.7	±3.7
Beamwidth, Vertical, degrees	8.9	7.8	5.7	5.2	5.0	4.4
Beamwidth, Vertical Tolerance, degrees	±0.6	±0.5	±0.3	±0.2	±0.3	±0.2
Beam Tilt, degrees	0-11	0-11	0-7	0-7	0-7	0-7
UISL, dB	13	14	17	16	17	15
Front-to-Back Total Power at 180° ± 30°, dB	26	24	27	25	25	26
CPR at Boresight, dB	29	22	20	21	19	21
CPR at Sector, dB	14	11	13	11	9	5
Isolation, dB	25	25	25	25	25	25
Isolation, Intersystem, dB	30	30	30	30	30	30
VSWR Return Loss, dB	1.5 14.0	1.5 14.0	1.5 14.0	1.5 14.0	1.5 14.0	1.5 14.0
PIN, 3rd Order, 2 x 20 W, dBc	-153	-153	-153	-153	-153	-153
Input Power per Port, maximum, watts	400	400	350	350	350	300
Polarization	±45°	±45°	±45°	±45°	±45°	±45°

*Values calculated using NGM Alliance N-P-BASTA v9.6

Mechanical Specifications

Color Radome Material	Light gray Fiberglass, UV resistant
Connector Interface Location Quantity	7-16 DIN Female Bottom 6
Wind Loading, maximum	879.0 N @ 150 km/h 197.6 lbf @ 150 km/h
Wind Speed, maximum	241.4 km/h 150.0 mph
Antenna Dimensions, L x W x D	2438.0 mm x 301.0 mm x 181.0 mm 96.0 in x 11.9 in x 7.1 in
Net Weight	22.5 kg 49.6 lb



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September 2, 2014

1 ANTENNA SPECIFICATIONS SHEET
RF-2 SCALE: N.T.S.



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VZW PROJ# 20141075606



SHEET TITLE

ANTENNA SPECIFICATION

SHEET NUMBER

RF-2

VERIZON WIRELESS PROJECT# 20141075606

VERIZON WIRELESS SITE: PHO_ARISTA RAW-LAND SITE