

Narrative

THREE TENANT BUILDING

1335 South Alma School Road, Mesa, AZ

3/3/14

This request is for administrative Design Review approval and a Substantial Improvement Conformance Plan to the raze the previously constructed Chevy's Mexican Restaurant at 1335 South Alma School Road and construct a new 9,300 square foot wood frame building. The majority of the existing site improvements are intended to remain. The new structure will be multi-tenant occupancy with a mixture of food service users and retail users.

The new structure will generally occupy the same footprint as the existing structure and the exterior appearance incorporates elements of the approved Mesa Fiesta Corporate Center designs previously approved in Mesa Case #PLN2013-00532. Colors, forms and materials match and compliment that approved design.

Site circulation patterns are unchanged and existing parking supports intended uses. Additional trash enclosure locations are added to separate food service and recycling operations from other retail operations, As well a loading/service bay is being added to improve those operations on site.

Property landscaping is mature and viable be restored healthy including the replacement of 4 trees and new decomposed granite top dressing at all planted areas except lawns. New plants are to be placed in existing planter areas as depicted on the landscape plan to enhance the site aesthetic.

Rainwater storage from the initial design is unaffected and will remain as is.

Water and sewer service are existing and will be expanded to serve more than one tenant. The existing domestic sewer service will continue to serve all new tenants.

The zoning is unchanged and no use permit is required.

Our Substantial Conformance Improvement Permit request is to allow for the following modifications to the strict current zoning ordinance requirements.

1-reduce side yard setback from 15 feet required to 6'-8".

Reasoning: The existing building is 9'-10" from the north property line. Enhanced landscaping will be planted in the strip and instead of being 0'-0" allowed by ordinance if a communicating driveway existed to the north property. This design creates new angled parking and landscaping along the north property line. This new parking and landscaping reduces the total existing parking count by 3 spaces but improves the overall transition space between properties. Additionally, the existing setback from Alma School Road is 20'-0" and the new minimum building setback is 23'-0". As well a new accessible route is being added from the building to the street which must accomplish a 3'-9" change in grade from the building floor to the street sidewalk.

2-increase the landscape island spacing to 9 parking spaces on the Alma School frontage immediately south of the new building.

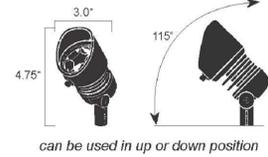
Reasoning: The existing condition equals approximately 10 parking spaces in the same area therefore an improvement is the reduction of length between parking islands. As well this particular row has continuous landscaping along Alma School Road at the head of the stalls.

3-use the existing diamond planters in the parking row west of the building to meet parking area landscaping requirements.

Reasoning: This parking row is existing and the planters will be improved with new live material. This design is a portion of a much larger parking field to the west and south which is better served by maintaining a consistent design theme.

KICHLER

TEXTURED ARCHITECTURAL BRONZE FINISH

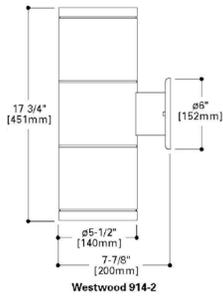


AZT
16201 (12.5W 35° Flood)

LED LIGHT FIXTURE 1

COOPER Lighting

PAINTED CITY SILVER FINISH



LUMIÈRE®



WESTWOOD
914
914-2
150W (max.) PAR38
Halogen
Line Voltage

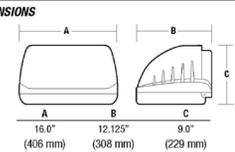
LIGHT FIXTURE 2

LAREDO SERIES

LMC-30LEDs
BLACK FINISH

HUBBELL Outdoor Lighting

PRODUCT IMAGE(S)



LIGHT FIXTURE 3

PROJECT DATA

ADDRESS:	1335 S. ALMA SCHOOL ROAD
PROPERTY APN:	134-23-028C
ZONING:	LC (LIMITED COMMERCIAL)
GROSS LOT AREA:	71,242 SF. (1.66 AC.)
NET LOT AREA:	53,492 SF. (1.23 AC.)
GROSS FLOOR AREA:	8,100 SF.
LOT COVERAGE PROVIDED:	15.1%
BUILDING HEIGHT ALLOWED:	1 STORY / 30'-0"
PARKING CALCULATIONS	
REQUIRED: SERVICE RETAIL @ 1/250 SF. (3,500 / 250):	14
REQUIRED: RESTAURANT @ 1/15 SF. (2,300 / 15):	62
REQUIRED: DINING PATIO @ 1/200 SF. (1,000/200):	5
TOTAL REQUIRED:	79
TOTAL PROVIDED:	74
ACCESSIBLE PARKING REQUIRED:	3
ACCESSIBLE PARKING PROVIDED:	4

KEY NOTES

- EXISTING SCREEN WALL
- RAZE EXISTING BUILDING
- NEW WATER METER LOCATION
- EXISTING FIRE HYDRANT
- EXISTING MULTI-TENANT 'MESA FIESTA' MONUMENT SIGN
- EXISTING SCREEN WALL
- EXISTING STREET IMPROVEMENTS
- EXISTING ELECTRIC TRANSFORMER
- NEW CONCRETE SIDEWALK/STREET DAIS
- EXISTING TRASH ENCLOSURE
- OUTDOOR DINING PATIO
- SPRINKLER RISER
- F.D.C.
- NEW CONCRETE RAMP
- 35' x 55' FIRE TRUCK ACCESS PATH
- NEW TRASH ENCLOSURE
- EXISTING POLE LIGHT
- NEW STUCCO/CMU SCREEN WALL MIMIC EXISTING
- PROTECT EXISTING TREE
- STAIR UP TO BUILDING LEVEL
- STEPPED SIDEWALK 6' RISERS
- STUCCO BENCH ON STREET DAIS
- EXISTING CONCRETE WALK/ADA ACCESS 4 CURB RAMP
- RELOCATED MONUMENT SIGN
- 24' HIGH STUCCO/CMU ENTRY FEATURE WALL
- FIXED BENCH, IRON FRAME WITH WOOD SLAT SEAT
- NEW ELECTRIC SERVICE ENTRANCE SECTION LOCATION
- NEW 36" HIGH METAL FENCING PER DTL. 1, SHEET A3.1
- AWNING LIGHTS PER DTL. 1/- (33 TOTAL)
- DECORATIVE WALL SCANCES PER DTL. 2/- (1 TOTAL)
- WALL PACK LIGHTS PER DTL. 3/- (2 TOTAL)

PROJECT NARRATIVE

THIS REQUEST IS FOR ADMINISTRATIVE DESIGN REVIEW APPROVAL OF A PLAN TO RAZE THE PREVIOUSLY CONSTRUCTED CHEVY'S MEXICAN RESTAURANT AT 1335 SOUTH ALMA SCHOOL ROAD AND CONSTRUCT A NEW 8,300 SQUARE FOOT THREE TENANT BUILDING. THE MAJORITY OF THE EXISTING SITE IMPROVEMENTS ARE INTENDED TO REMAIN. THE NEW STRUCTURE WILL SERVE A MIXTURE OF FOOD SERVICE AND RETAIL USERS.

THE NEW STRUCTURE WILL GENERALLY OCCUPY THE SAME FOOTPRINT AS THE EXISTING STRUCTURE. THE EXTERIOR DESIGN IS AN UPDATE OF THE APPROVED MESA FIESTA CORPORATE CENTER DESIGNS. PREVIOUSLY APPROVED IN MESA CASE #PLN2013-00532. COLORS, FORMS AND MATERIALS MATCH AND COMPLIMENT APPROVED DESIGN AND IN ACCORDANCE WITH THE FIESTA DISTRICT DESIGN GUIDELINES.

SITE CIRCULATION PATTERNS ARE UNCHANGED AND EXISTING PARKING SUPPORTS INTENDED USES. ADDITIONAL TRASH ENCLOSURE LOCATIONS ARE ADDED TO SEPARATE FOOD SERVICE AND RECYCLING OPERATIONS FROM OTHER RETAIL OPERATIONS.

PROPERTY LANDSCAPING IS MATURE AND VIABLE AND WILL BE RESTORED HEALTHY INCLUDING THE REPLACEMENT OF FOUR TREES IN THE PARKING ISLANDS AND NEW DECOMPOSED GRANITE TOP DRESSING AT ALL PLANTED AREAS EXCEPT LAWNS. NEW PLANTS ARE TO BE PLACED IN EXISTING PLANTER AREAS AS DEPICTED ON THE LANDSCAPE PLAN TO ENHANCE THE SITE AESTHETIC.

RAINWATER STORAGE FROM THE INITIAL DESIGN IS UNAFFECTED AND WILL REMAIN AS IS.

WATER AND SEWER SERVICE ARE EXISTING AND WILL BE EXPANDED TO SERVE MORE THAN ONE TENANT. THE EXISTING DOMESTIC SEWER SERVICE WILL CONTINUE TO SERVE ALL NEW TENANTS.

THE ZONING IS UNCHANGED AND NO USE PERMIT IS REQUIRED.

THE NEW BUILDING PLACEMENT IS NOT ONLY A FUNCTION OF GOOD RETAIL EXPOSURE FOR THE INTENDED TENANTS, BUT INCLUDED ARE ENTRIES TO THE TWO SOUTH FOOD SERVICE TENANTS FACILITATING THE CONVENIENCE OF QUICK FOOD SERVICE AND A MORE LINGERING FOOD SERVICE ACTIVITY ON THE ALMA SCHOOL ROAD DINING PATIO SIDE.

A PEDESTRIAN TRAFFIC CONNECTION BETWEEN THE NORTH RETAIL SERVICE TENANT AND THE SOUTH TWO FOOD SERVICE TENANTS CONTINUES ON TO THE EXISTING ACCESSIBLE ROUTE TO THE PUBLIC WAY ON GROVE AVENUE. IT MUST BE NOTED THAT THE BUILDING AVAILABILITY IS FULLY FOUR FEET VERTICALLY ABOVE THE STREET SIDEWALK AND A DIRECT LINKAGE BETWEEN THE PLANNED DINING PATIOS AND STREET SIDEWALK IS NEITHER PRACTICAL NOR DESIRABLE. THEREFORE AN EXPANSIVE DINING PATIO IS INCORPORATED INTO THE SOUTHWEST CORNER OF THE BUILDING WHICH ACTIVELY ENGAGES PEDESTRIAN TRAFFIC ON ALMA SCHOOL ROAD. THIS DINING PATIO IS A MAJOR COMPONENT OF THE FIESTA DISTRICT DESIGN GUIDELINES RESPONSE. BY MAINTAINING EXISTING MATURE TREES, ADDING SHADE OFF THE BUILDING AND INCORPORATION OF ATTRACTIVE PATIO FURNITURE BY THE TENANTS, THIS PATIO WILL ENHANCE THE VISUAL AESTHETIC OF A VIBRANT STREET FRONT WITHOUT THE UNPLEASANT EFFECTS OF PROXIMITY TO A HIGH TRAFFIC ARTERIAL AND COMPLIMENTARY TO THE 'PASEO' CONCEPT AS DESCRIBED IN THE FIESTA DISTRICT PRIVATE REALM DEVELOPMENT GUIDELINES.

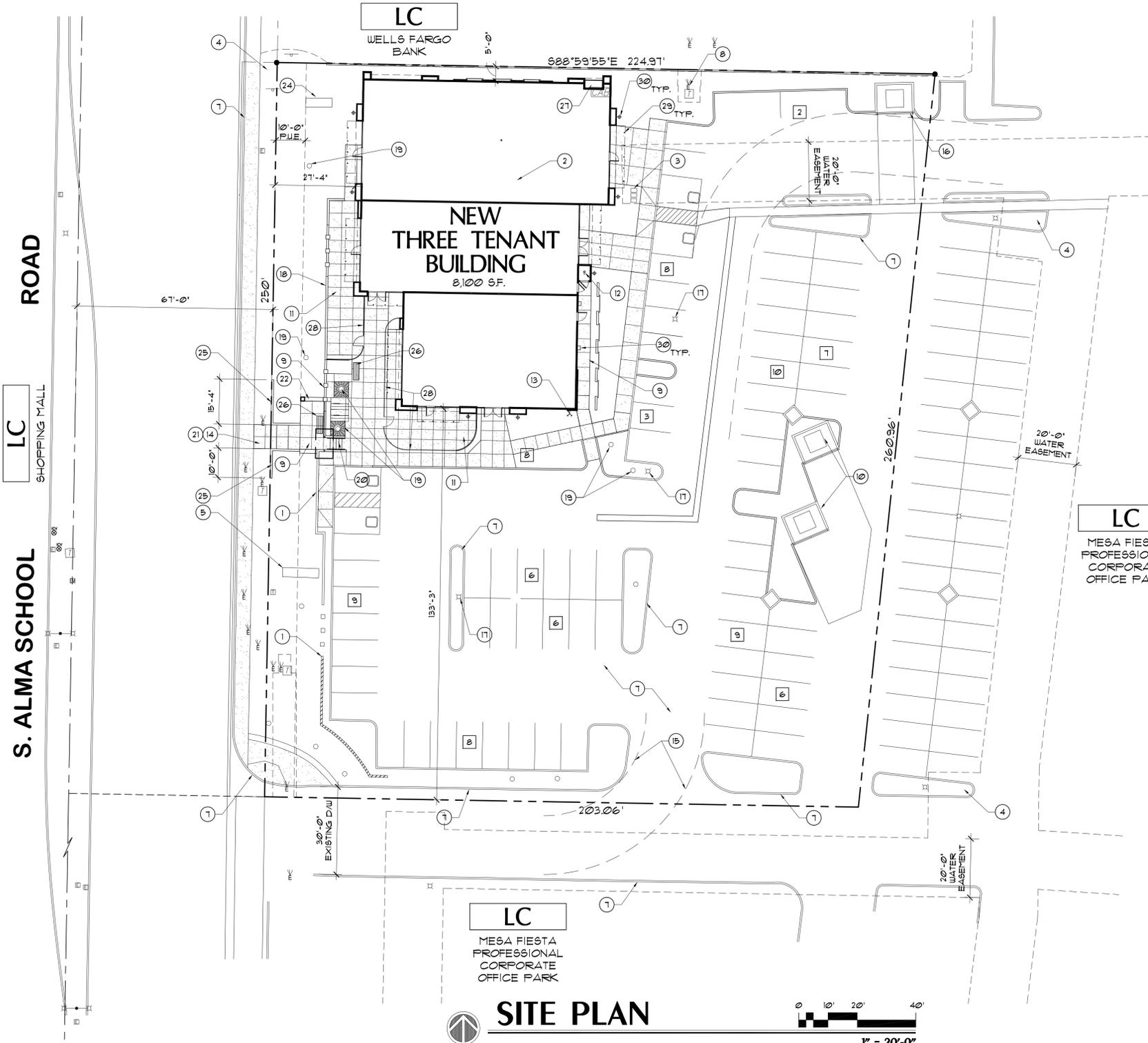
A FIESTA DISTRICT BRANDING ELEMENT IS INCLUDED IN A NEW STREET DAIS ALONG ALMA SCHOOL ROAD. THIS ELEMENT WILL ATTRACT PEDESTRIANS TO ENTER THE PROPERTY FIRST TO A COOL, SHADED SEATING AREA JUST ABOVE THE ROADWAY AND THEN UP THE BALANCE OF GRADE TO THE BUILDING FLOOR. THIS ENTRY IS ACCENTUATED BY A SMALL TRELLIS SHADE OVER THE STAIR PORTION WHICH MIMICS THE BUILDING SHADE AWNINGS.

THE BUILDING EXTERIORS INCORPORATE MULTIPLE MATERIALS AS WELL AS MULTIPLE HEIGHTS AND SETBACKS ON ALL SIDES. BUILDING COLORS INCORPORATED CONCENTRATE ON DESERT MUTED GREENS AND GRAYS. LIVE PLANTINGS AS PART OF THE NORTH AND EAST ELEVATIONS IN 'GREENSCREENS' SOFTEN THE WALL PLANES AND INCORPORATE A COOLER LOOK. THE TRASH ENCLOSURES ARE GROUPED, REMOTE AND SCREENED FROM THE STREET FRONTAGE AS WELL ALL PEDESTRIAN ENTRIES TO PROVIDE UNIQUE SERVING FOR THE 2 FOOD SERVICE OR RETAIL TENANTS. SUPPLIES FOR THE FOOD SERVICE OPERATIONS ARE THE PRIMARY PRODUCT MOVED AND TYPICALLY MOVED INTO THE BUILDING BY HAND TRUCK DOLLY'S VIA A SCREENED SERVICE WALKWAY.

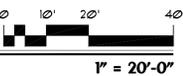
ADDITIONAL SITE ELEMENTS WHICH ARE DESIGNED INTO THE PROJECT AND SUGGESTED BY THE FIESTA DISTRICT GUIDELINES ARE DECORATIVE PAVEMENTS, ENHANCED SHADE, BICYCLE PARKING, TREE GRATES IN THE PATIO AREAS AND BENCHES FOR OUTDOOR SEATING.



VICINITY MAP



SITE PLAN



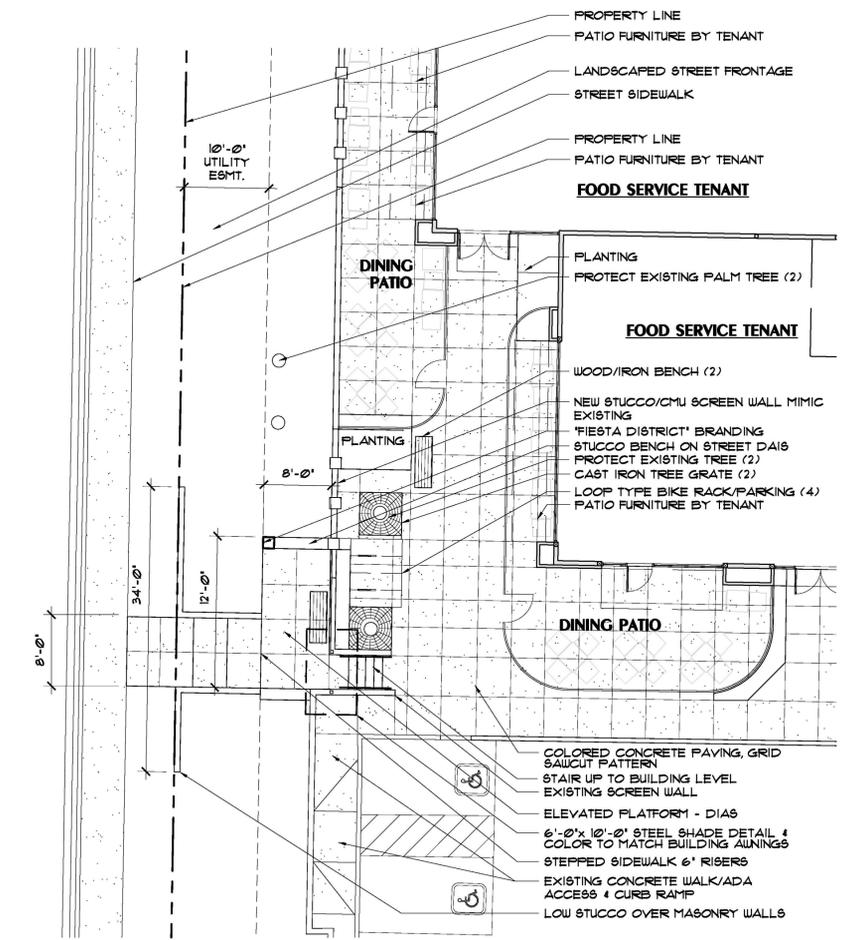
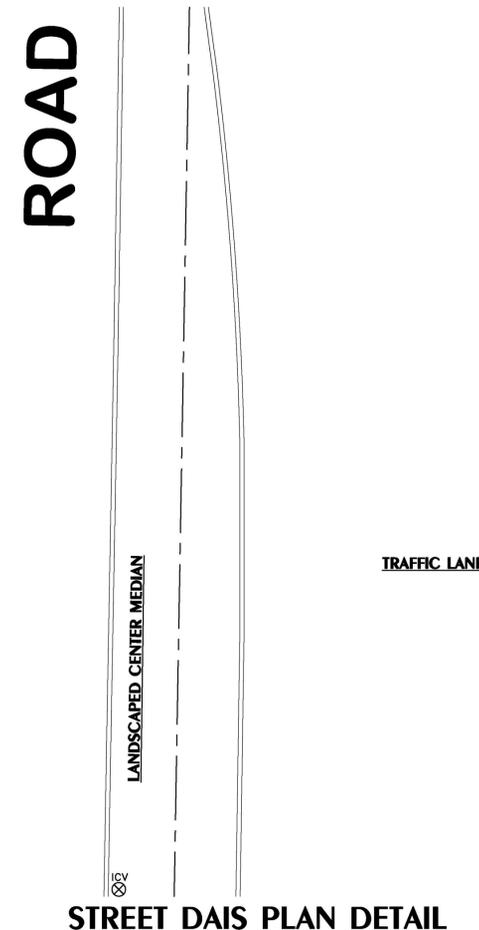
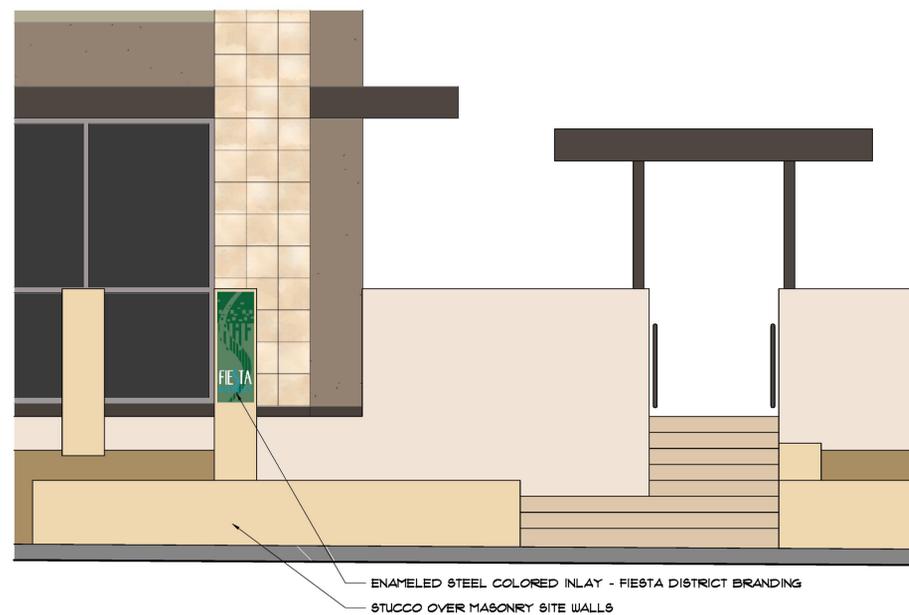
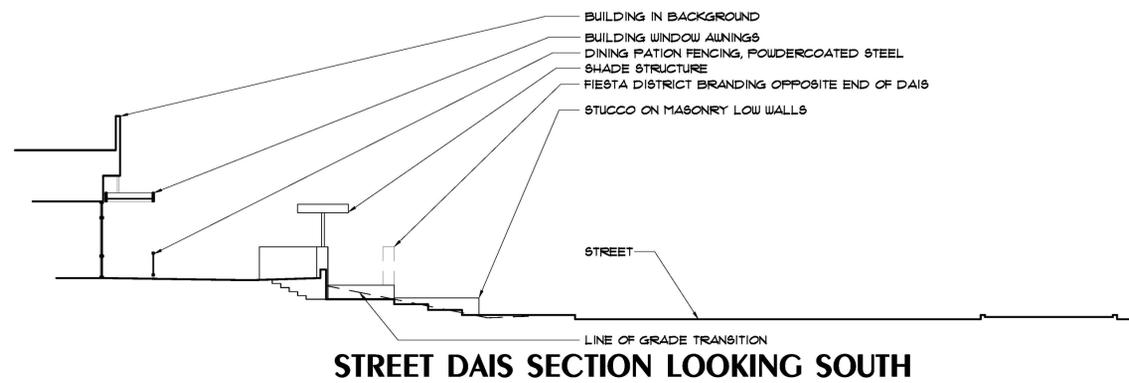
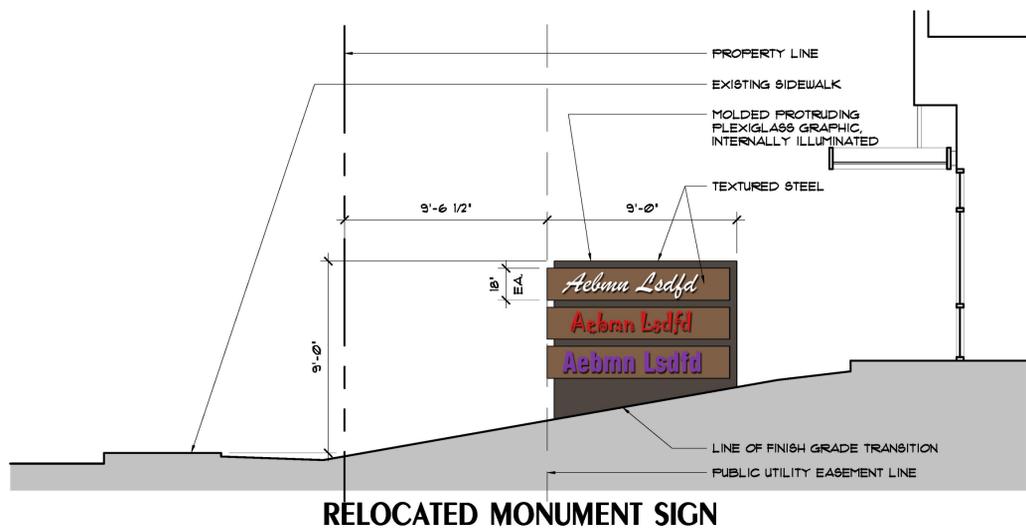
EXPIRES 12/31/2015

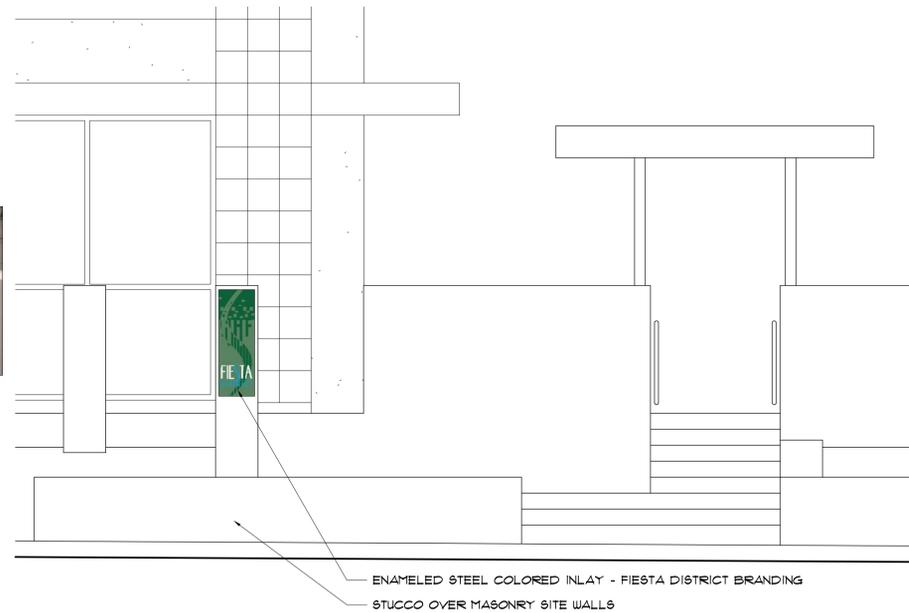
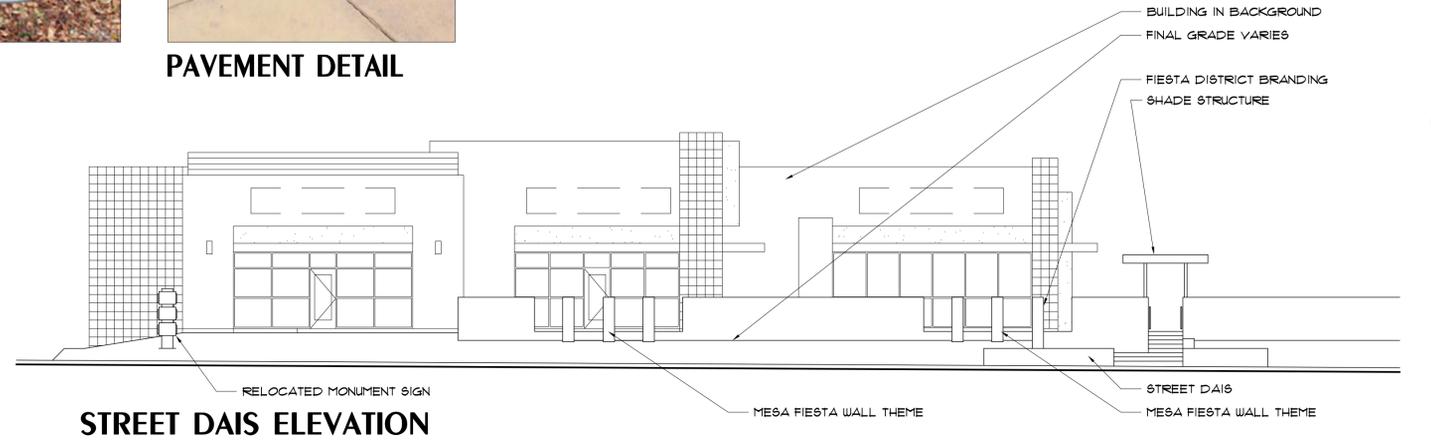
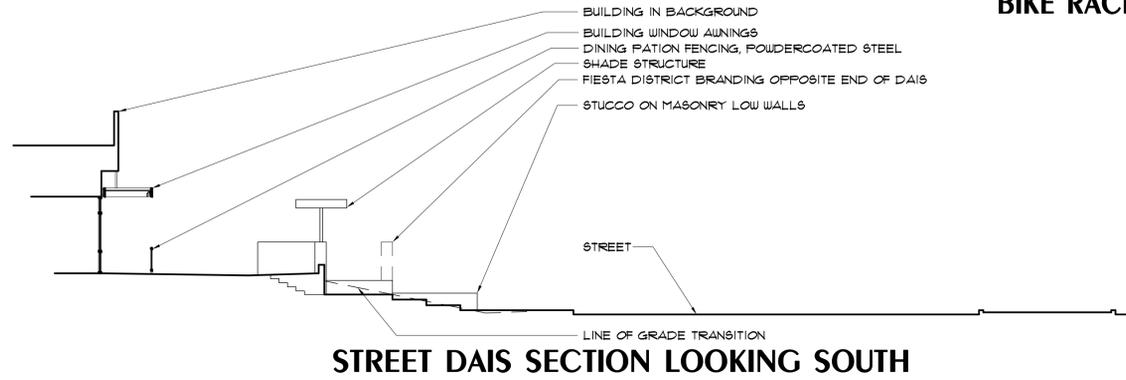
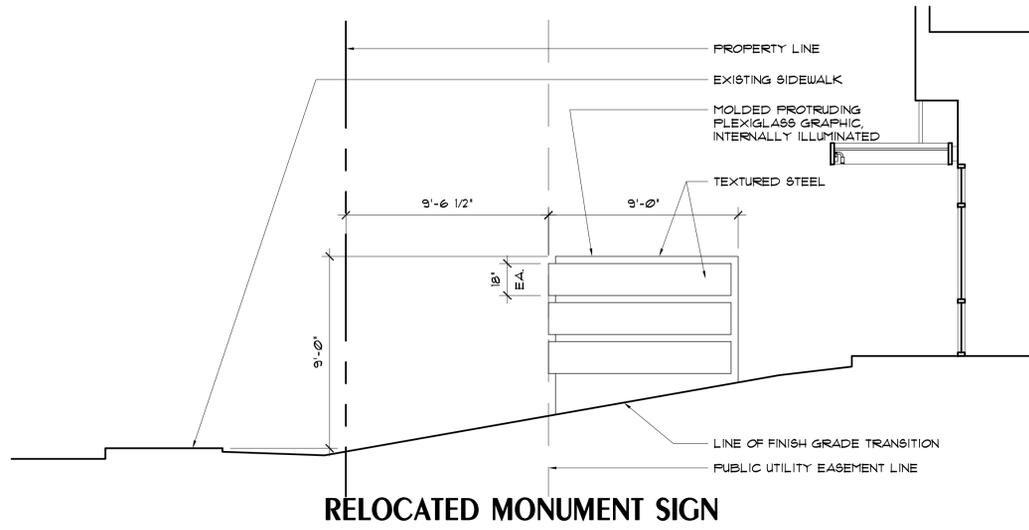
phoenix design group

NEW THREE TENANT BUILDING
1335 S. ALMA SCHOOL ROAD, MESA, AZ 85210

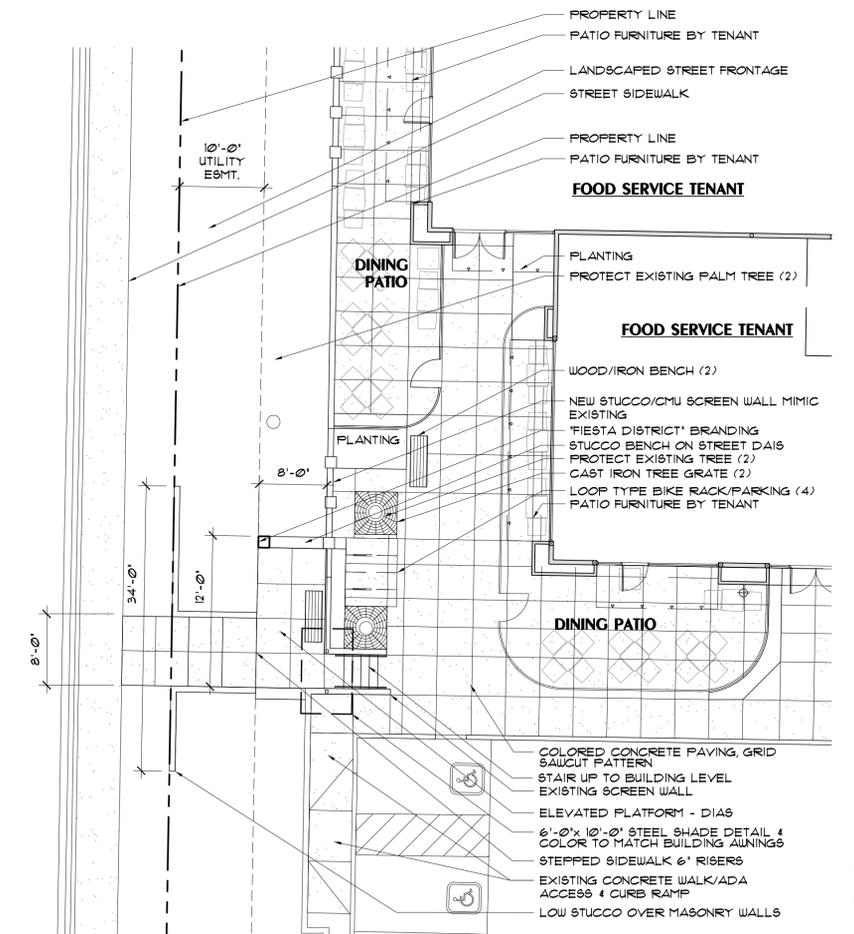
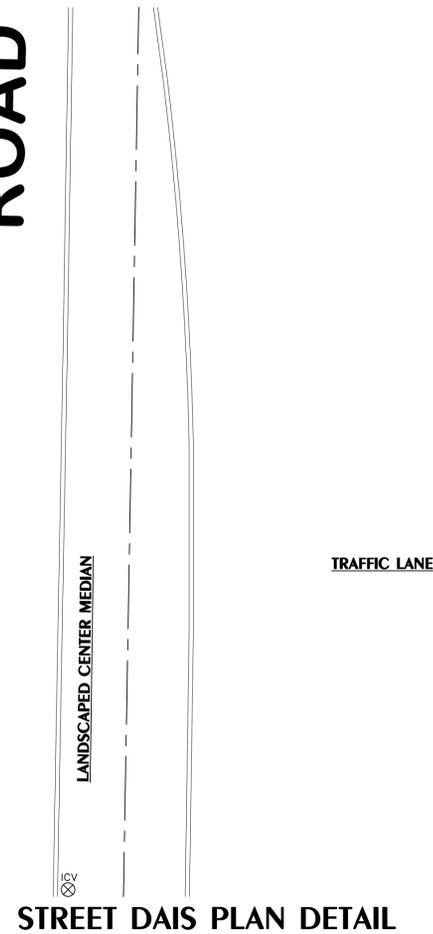
JOB NO.: PDG-1647
DATE: 06/09/14
REVISION:
1
2
3
DRAWN BY:
H.A.C.
CHECKED BY:
V.E.O.
SHEET NO.

A1.1





ROAD



SCALE: 1" = 10'



phoenix design group

NEW THREE TENANT BUILDING
1375 S. ALMA SCHOOL ROAD, MESA, AZ 85210

JOB NO.: PDG-1647
DATE: 06/09/14
REVISION:
1
2
3
DRAWN BY: H.A.C.
CHECKED BY: V.E.O.
SHEET NO.

A1.2

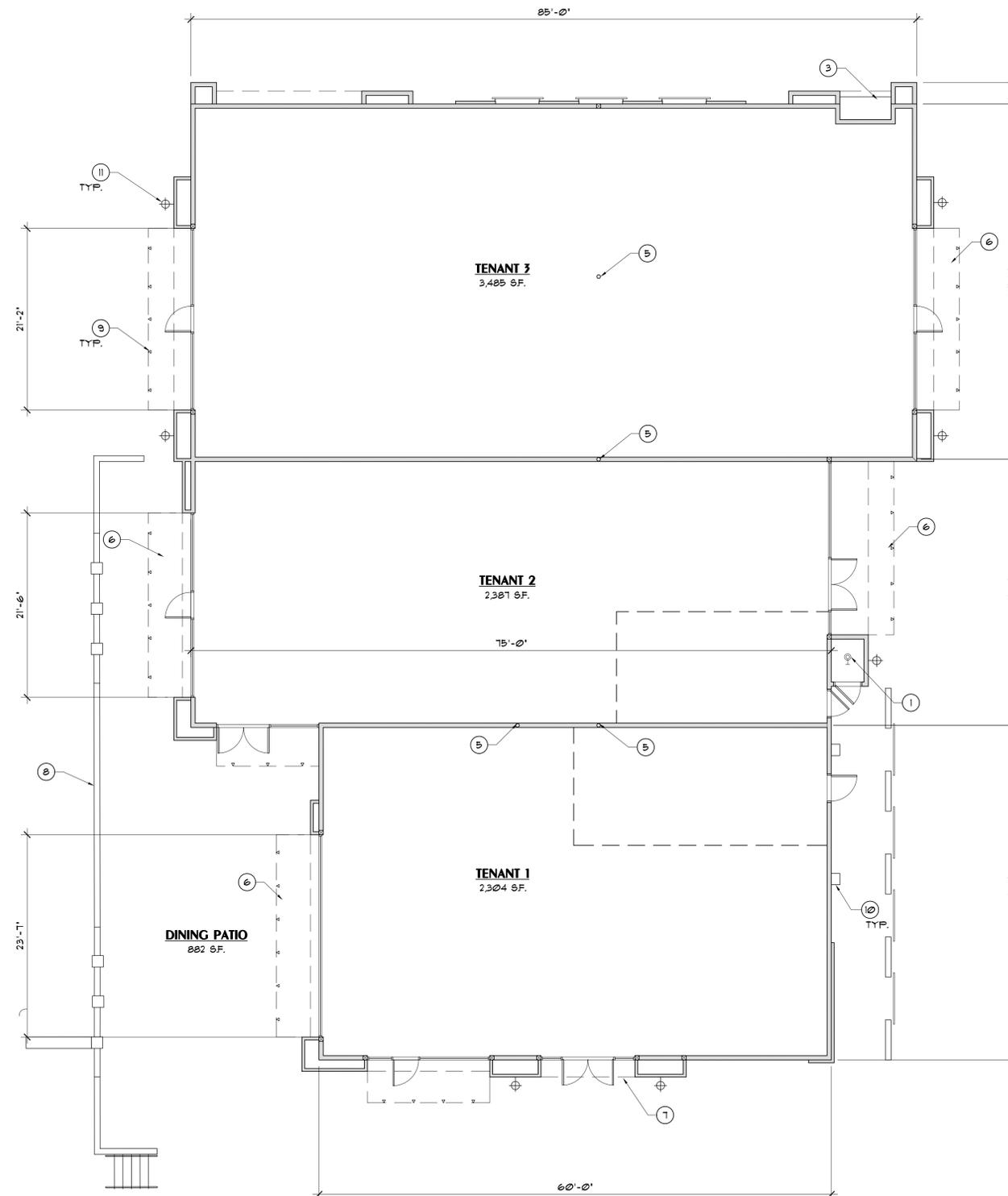
10245 e. via linda suite 105 scottsdale arizona 85256 480 451 9773



EXPIRES 12/31/2015

KEY NOTES

1. FIRE RISER LOCATION
2. ROOF ACCESS
3. ELECTRIC SERVICE ENTRANCE SECTION
4. DECORATIVE CONCRETE
5. STRUCTURAL STEEL COLUMN
6. CANOPY OVERHANG
7. ROOF OVERHANG
8. 2'-6" HIGH CMU SCREEN WALL
9. LED SPOT LIGHT FIXTURE PER DTL. 1, SHEET A11
10. WALL MOUNTED LIGHT FIXTURE PER DTL. 2, SHEET A11
11. WALL MOUNTED LIGHT FIXTURE PER DTL. 3, SHEET A11



FLOOR PLAN



1/8" = 1'-0"

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NEW THREE TENANT BUILDING
1375 S. ALMA SCHOOL ROAD, MESA, AZ 85210

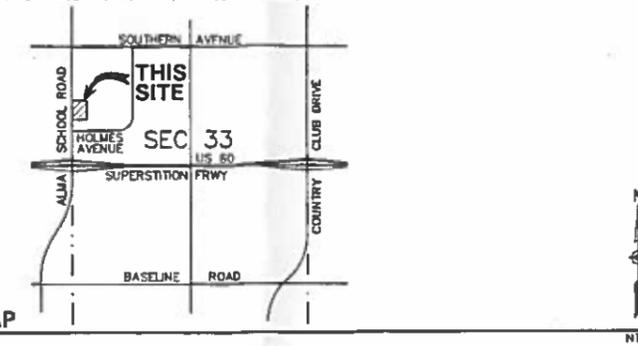
JOB NO.: PDG-16-47
DATE: 06/09/14
REVISION:
1
2
3
DRAWN BY: H.A.C.
CHECKED BY: V.E.O.
SHEET NO.

A2.1

10245 e. via linda suite 105 scottsdale arizona 85256 480 451 9773

CONCEPTUAL GRADING & DRAINAGE PLAN FOR THREE TENANT BUILDING 1343 S. ALMA SCHOOL ROAD MESA, ARIZONA

A PORTION OF LOT 1, KENT COMMERCIAL PARK UNIT TWO, AS RECORDED IN BOOK 220 OF MAPS, PAGE 33 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP

DEVELOPER

CAPITOL DEVELOPMENT PARTNERS
15849 NORTH 71ST STREET
SUITE 100
SCOTTSDALE, AZ
PHONE: (480) 305-8128
CONTACT: TODD SERGI

ARCHITECT

PHOENIX DESIGN GROUP, INC.
10245 E. VIA LINDA, SUITE 105
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 451-9773
FAX: (480) 451-9246
CONTACT: VICTOR OLSON

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
FAX: (480) 991-3986
CONTACT: LARRY TALBOTT

BASIS OF BEARING

BASIS OF BEARING FOR THIS SURVEY IS THE MONUMENT LINE OF ALMA SCHOOL ROAD, PER THE RECORDED DEED FOR THIS PARCEL INST. NO. 93-0683406 M.C.R. THE BEARING OF WHICH IS NORTH 00°59'28" EAST.

LEGAL DESCRIPTION

A PORTION OF LOT 1, KENT COMMERCIAL PARK UNIT TWO, AS RECORDED IN BOOK 220 OF MAPS, PAGE 33 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

LOT AREA

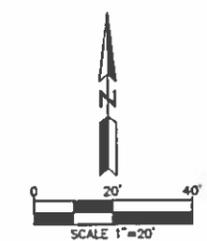
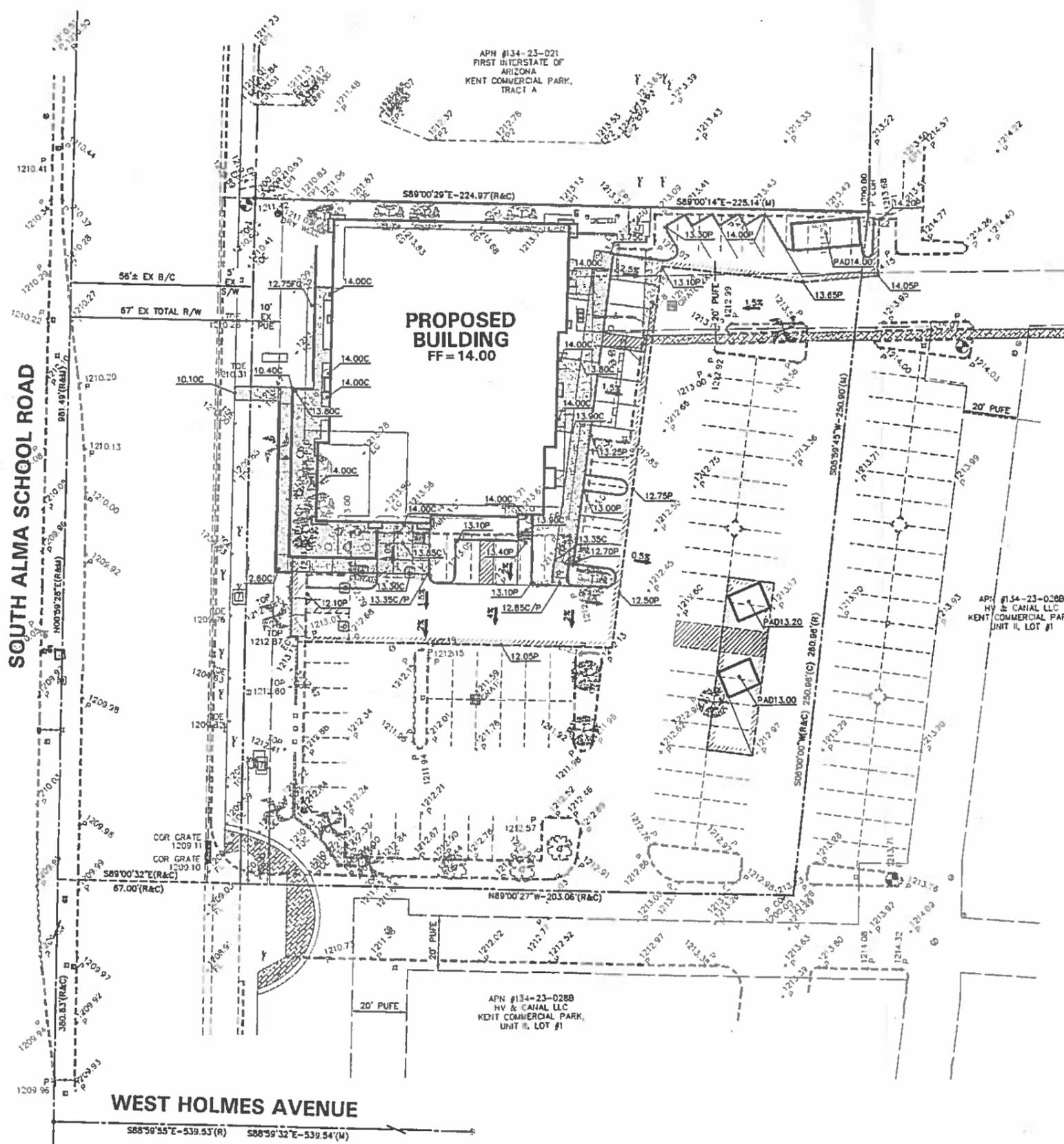
NET AREA: 1.228 ACRES (53,504 S.F.)±

APN#

134-23-028C

DRAINAGE NOTE

THE PROPOSED GRADING WILL MAINTAIN THE EXISTING FLOW PATHS AND DRAINAGE OUTFALLS. THERE WILL BE NO INCREASE IN IMPERVIOUS SURFACE THEREFORE NO RETENTION CALCULATIONS ARE PROVIDED.



NO.	DATE	REVISION	BY

DESIGN BY: LTF
DRAWN BY: WMLK
CHECKED BY: LTF

CIVIL AND SURVEY
HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
F: 480.991.3985



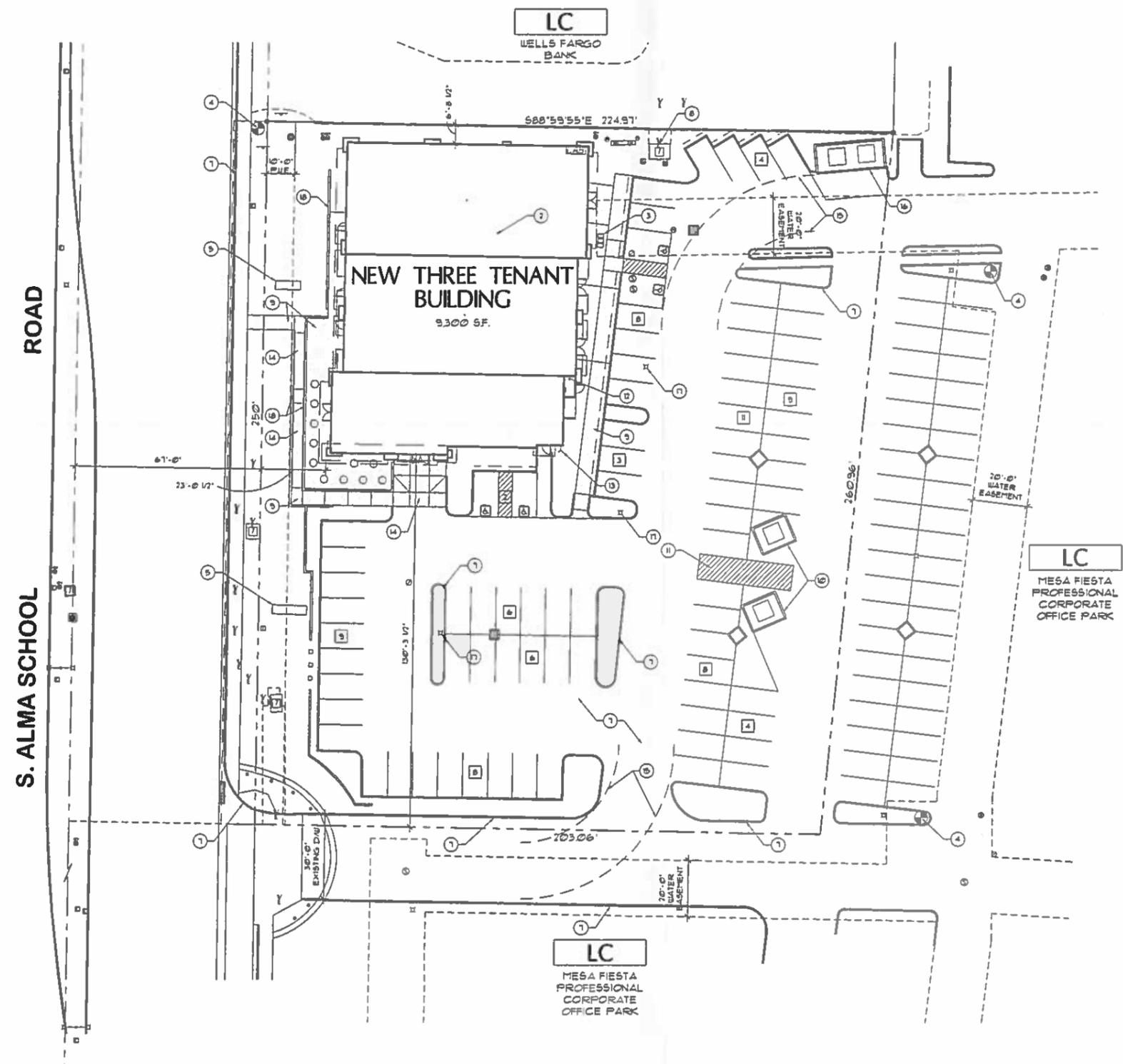
CONCEPTUAL GRADING & DRAINAGE PLAN
FOR
THREE TENANT BUILDING
ALMA SCHOOL AND HOLMELLS
MESA, ARIZONA

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: SERG011

SCALE 1"=20'

SHEET C1



SITE PLAN
 1" = 20'-0"

KEY NOTES

1. EXISTING STREET IMPROVEMENTS
2. RAZE EXISTING BUILDING
3. NEW WATER METER LOCATION
4. EXISTING FIRE HYDRANT
5. EXISTING MONUMENT SIGN
6. EXISTING SCREEN WALL
7. EXISTING STREET IMPROVEMENTS
8. EXISTING ELECTRIC TRANSFORMER
9. NEW CONCRETE SIDEWALK
10. EXISTING TRASH ENCLOSURE
11. EXISTING LOADING AREA
12. SPRINKLER RISER
13. F.D.C.
14. NEW CONCRETE RAMP
15. 35' x 55' FIRE TRUCK ACCESS PATH
16. NEW TRASH ENCLOSURE
17. EXISTING POLE LIGHT
18. NEW 3'-6" HIGH SCREEN WALL

PROJECT NARRATIVE

SINGLE TENANT RETAIL, LLC PROPOSES TO RAZE THE EXISTING MEXICAN RESTAURANT BUILDING AND CONSTRUCT A NEW MULTI-TENANT BUILDING APPROXIMATELY THE SAME SIZE AND SAME LOCATION.

THIS REQUEST IS TO ACQUIRE REVIEW OF THE PROPOSED DESIGNS FOR A PORTAL SUBMITTAL TO DESIGN REVIEW AND GET AGREEMENT TO HAVE THE SITE PLAN APPROVAL PROCESSED ADMINISTRATIVELY.

CROSS DRAINAGE, CIRCULATION AND PARKING AGREEMENTS EXIST ON ALL THE ADJACENT PROPERTIES AND WILL REMAIN IN EFFECT UNCHANGED.

ALL OPERATIONS AND STORAGE FOR THIS NEW BUILDING WILL OCCUR WITHIN THE BUILDING EXTERIOR WALLS AND CUSTOMERS WILL PARK THEIR VEHICLES ONSITE IN THE DESIGNATED PARKING AREAS.

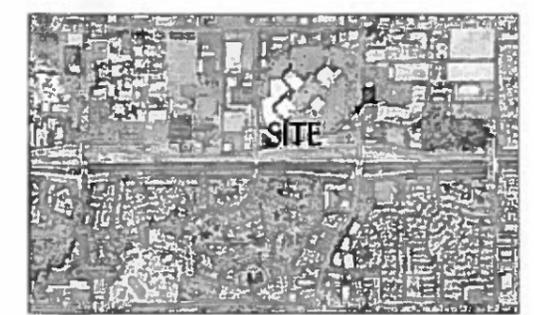
THE ARCHITECTURE IS CONSISTENT WITH THE ADJOINING PROPERTY AESTHETIC AND QUALITY LEVEL. THE ESSENTIAL QUALITY OF THE ELEVATION DESIGN IS TO CREATE IDENTITY WHILE CREATING A UNIFORM BUILDING AESTHETIC. COLORFUL AWNINGS WILL BE USED TO ACCENT OPENINGS AND PROVIDE WINDOW SHADING.

THE SITE DEVELOPMENT WILL INCLUDE CONSTRUCTION OF NEW TRASH ENCLOSURE STRUCTURES FOR EACH TENANT TO OPERATE SEPARATELY.

LANDSCAPE PLANTINGS WILL BE RESTORED ALONG ALMA SCHOOL ROAD AND UPDATED ON THE BALANCE OF THE PROPERTY IN EXCESS OF THE CITY OF MESA MINIMUM REQUIREMENTS AND AS A CONTRIBUTION OF THE EXISTING ADJACENT PROPERTY PLANT PALETTE.

PROJECT DATA

ADDRESS:	1343 S. ALMA SCHOOL ROAD
PROPERTY APN:	134-73-028C
ZONING:	LC (LIMITED COMMERCIAL)
GROSS LOT AREA:	17242 SF (1.66 AC.)
NET LOT AREA:	93492 SF (1.23 AC.)
GROSS FLOOR AREA:	9300 SF
LOT COVERAGE PROVIDED:	11.4%
BUILDING HEIGHT ALLOWED:	1 STORY / 30'-0"
PARKING CALCULATIONS	
REQUIRED: SERVICE RETAIL @ 1/375 SF (3500 / 375)	6
REQUIRED: MEDICAL OFFICE @ 1/200 SF (3500 / 200)	8
REQUIRED: RESTAURANT @ 1/175 SF (17300 / 175)	21
REQUIRED: DINING PATIO @ 1/200 SF (882 / 200)	4.5
TOTAL REQUIRED:	63.5
TOTAL PROVIDED:	4
ACCESSIBLE PARKING REQUIRED:	4
ACCESSIBLE PARKING PROVIDED:	4



VICINITY MAP

phoenix design group
 NEW THREE TENANT BUILDING
 1377 S. ALMA SCHOOL ROAD, MESA, AZ 85210

JOB NO:
 • FDG-1647
 DATE:
 • 02/28/14
 REVISION:
 •
 •
 •
 DRAWN BY:
 • CWB
 CHECKED BY:
 • VEO
 SHEET NO



NEW THREE TENANT BUILDING
1343 S. ALMA SCHOOL ROAD, MESA, AZ

JOB NO. PDG-16-48
DATE 02/28/14
REVISION:
DRAWN BY: H.A.C.
CHECKED BY: V.E.O.
SHEET NO.



LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. WILSON AVE.
SUITE 230
PHOENIX, ARIZONA 85012
P (602) 848-7771
F (602) 848-9823
WWW.LASKINAZ.COM

DR.01 OF 01

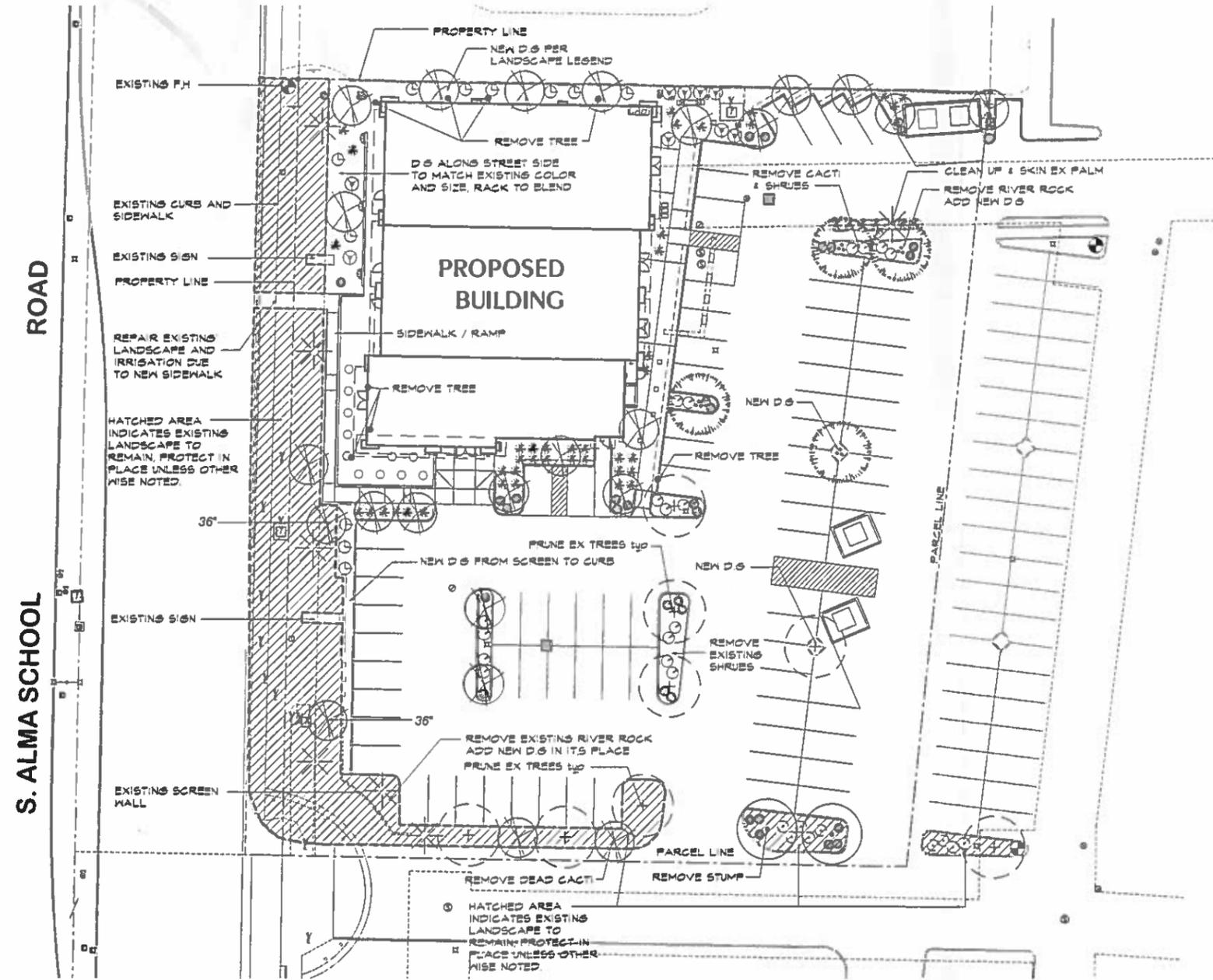
LANDSCAPE CALCULATION

LOCATION	TREES		SHRUBS	
	REQUIRED	FURNISHED	REQUIRED	FURNISHED
NORTH 214°40'				
1 TREE / PER 25 L.F.T.	8	8	18	18
2 SHRUBS / PER 25 L.F.T.				
EAST 211°00'				
1 TREE / PER 25 L.F.T.	N/A	N/A	N/A	N/A
2 SHRUBS / PER 25 L.F.T.				
SOUTH 142°30'		5 Ex Trees		
		1 Ex Palm		
		2 New Trees		
1 TREE / PER 25 L.F.T.	8	8	12	12
2 SHRUBS / PER 25 L.F.T.				
WEST 207°00'				
1 TREE / PER 25 L.F.T.		5 Ex Palm		
2 SHRUBS / PER 25 L.F.T.	10	10	12	12
PARKING LOT				
1 TREE / PER 15' ISLAND				
3 SHRUBS / PER 15' ISLAND	14	14	42	42
FOUNDATION PLANTING				
1 TREE / PER 50 L.F.T.	4	4	14	14
TOTAL REQ'D/FRNSHD	42	42	104	104
SIZE REQ'D/FURNISHED				
TREES				
36" BOX MIN 10"	5	3 Ex / 2 New		
24" BOX MIN 50"	37	37		
15 GAL	0	0		
5 GAL	0	0		
2 GAL	0	0		
TOTAL TREES	42	42		
SHRUBS				
15 GAL or Larger	0	0		
5 GAL	104	104		
1 GAL	0	0		
POT/PLANT	0	0		
Existing				
TOTAL SHRUBS			104	104

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
Ficus nitida Ficus Tree	24" box stand.	2
Prosopis chilensis "Thornless" Thornless Chilean Mesquite	24" box U.O.N stand.	5
Nerium oleander tree 'white' Standard White Oleander Tree	24" box U.O.N 36" box tree form	22 2
Existing Tree to remain and be protected		7
Existing Palm to remain and be protected		6
SHRUBS / ACCENTS / VINES	SIZE	QTY.
Bougainvillea 'Barbara Karst' Barbara Karst Bougainvillea	5 gallon espallier to wall	3
Hesperaloe parviflora Red Yucca	5 gallon	50
Leucophyllum frutescens 'Compact' Texas Sage	5 gallon	11
Eremophila maculata 'Valentine' Valentine Bush	5 gallon	17
Tacoma stars Yellow bells	5 gallon	9
Existing Shrub to remain and be protected		63
GROUNDCOVERS	SIZE	QTY.
Lantana montevidensis Trailing Lantana 'Purple & Gold mound	1 gallon 50/50 mix	33
Decomposed Granite-1/2" select Turner Gold 2" min thickness in all landscape areas Submit samples to Landscape Architect		



PRELIMINARY LANDSCAPE PLAN

EXISTING LANDSCAPING AND IRRIGATION NOTES:

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, (minimum 48" box). At no additional cost to owner. All shrubs and groundcover shall be replaced with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired with new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to, hand watering, temporary above ground irrigation, existing system, etc.
5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous water.
6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100%
7. All existing trees to remain, shall be selectively pruned per Landscape Architects direction, and guarantee 100% coverage.
8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30'.
9. All trees shall be lifted to clear height of 7'.

GENERAL LANDSCAPE NOTES

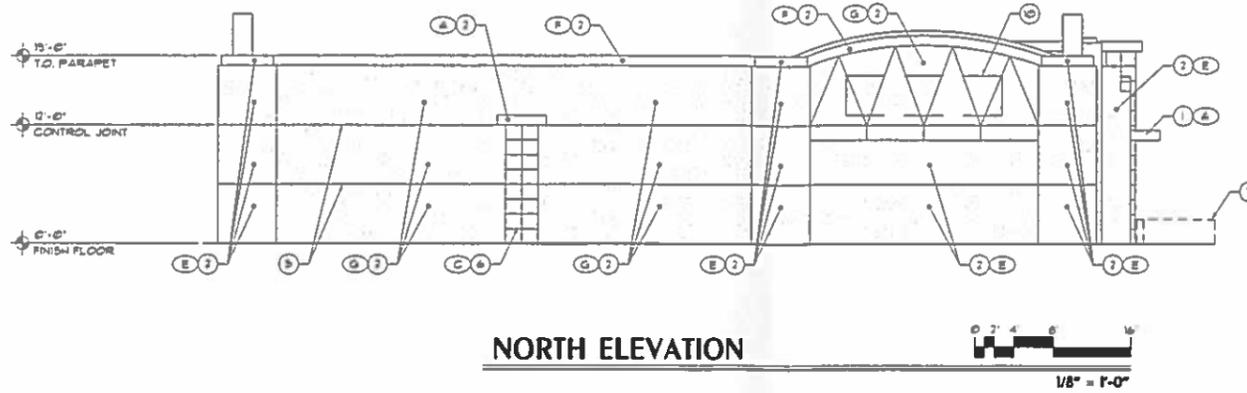
1. The Landscape Architect, or his representative, reserve the right to refuse any plant deemed unacceptable. (See specifications)
2. For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
3. The Landscape Architect is to approve any and all substitutions.
4. Plant list provided for contractor's convenience only. Plans take precedence.
5. Double stake all 15 gallon, 1", 2", 3", and 4" caliper trees as required.
6. Sprinkler Contractor must guarantee 100% coverage in all landscape areas.
7. Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
8. Finished grade in groundcover, granite and lawn areas shall be 1" below adjacent header, paving, curbing, etc.
9. Plants shall be quality material having a growth habit which is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
10. Groundcover and/or decomposed granite shall extend under shrubs unless noted.
11. After all work is completed, the contractor shall remove all materials not incorporated in the Scope of Work from the job site.
12. Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the plan. (once general contractor has provided finish grade within 1/10 of 1")
13. All earthwork is to be done so that all water drains away from all structures.
14. A pre-emergent herbicide is to be applied to all granite areas after the granite has been laid. Include all river rock areas, if applicable.
15. All underground conduits are to be located before digging. If doubt exists call Blue Stake at (602) 263-1100.
16. All material to be guaranteed for a period of one (1) year after final site acceptance, by L.A. and Owner. The guarantee is for all new plant material, transplants, and existing plant material.
17. Landscape contractor shall provide arbor guards to all trees located in turf areas.
18. Contractor is responsible for all required sleeving whether it is shown on the plans or not.
19. Landscape Architect to approve all mounding and grades prior to planting.
20. Landscape Architect to approve placement of all trees, salvaged material and boulders prior to installation.
21. Site verify all conditions prior to bidding and start of construction. Any discrepancies are to be brought to the attention of the L.A. in writing immediately.
22. General contractor is to provide all rough grades for berms and mounds. The Landscape contractor shall be responsible for all finished grading of berms, per the Landscape Architects direction.
23. General contractor shall coordinate all mounding and berms with landscape contractor, grading contractor, and civil plans.



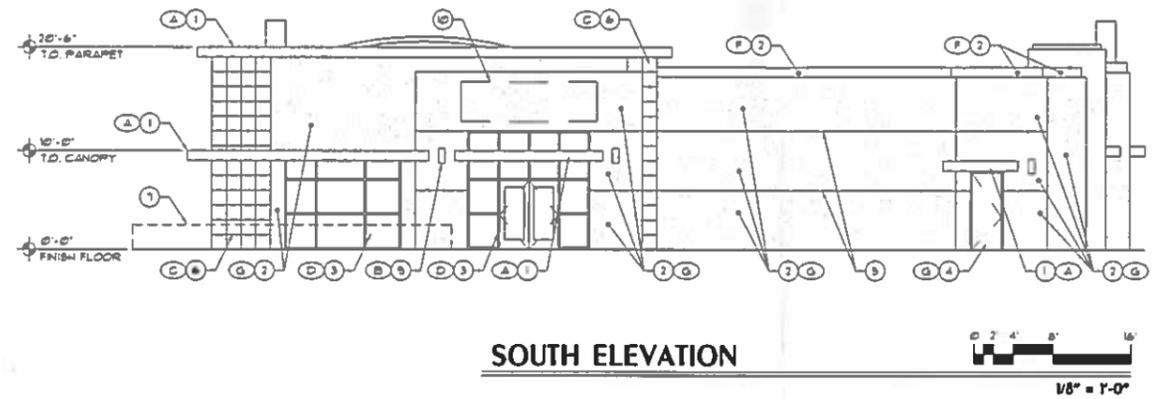
CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



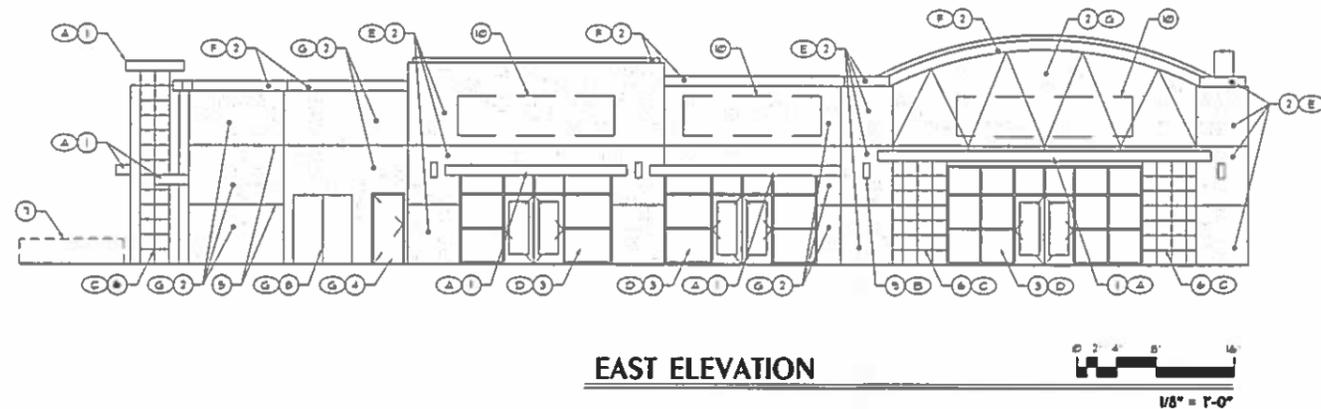
EXPIRES 12/31/2025



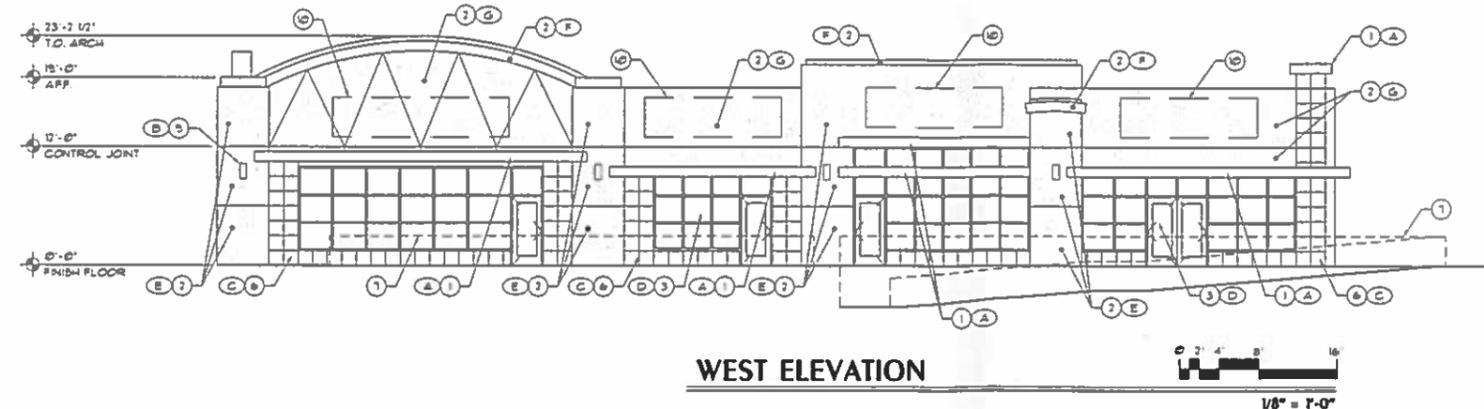
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

KEY NOTES

1. PAINTED STEEL CANOPY
2. PAINTED STUCCO FINISH
3. ALUMINUM STOREFRONT SYSTEM
4. PAINTED HOLLOW METAL DOOR
5. CONTROL JOINT
6. 18"x18" PORCELAIN TILE
7. SCREEN WALL - SEE SITE PLAN
8. ELECTRICAL SERVICE ENTRANCE SECTION
9. WALL MOUNTED LIGHT FIXTURE
10. TENANT SIGN APPROVED BY SEPARATE PERMIT

MATERIAL AND COLOR SCHEDULE

SYMBOL	MATERIAL	COLOR	MANUFACTURER	REMARKS
A	PAINTED STEEL	WARY HEARTH DE6110	DUN EDWARDS	
B	PRE-FIN. METAL	WHITE ENAMELED PAINT	LITHONIA LIGHTING	
C	18"x18" PORCELAIN TILE	PORCELANOSA STAN-KER	ARIZONA STONE	
D	ALUMINUM FRAMING	CLEAR ANODIZED	ALCOA	
E	PANTELJSS	BERENE THOUGHT DE6134	DUN EDWARDS	
F	PANTELJSS	SMOKY MOUNTAIN DE6388	DUN EDWARDS	
G	PANTELJSS	BREAKFAST BISCUIT DE6107	DUN EDWARDS	

phoenix design group
 10245 e. via Linda Suite 105 Scottsdale Arizona 85258 480 451 9773

NEW THREE TENANT BUILDING
 1335 S. ALMA SCHOOL ROAD, MESA, AZ 85210

JOB NO. FDG-1647
 DATE: 02/25/14
 REVISION:
 DRAWN BY: CUB
 CHECKED BY: VEO
 SHEET NO.

A3.1



NORTH ELEVATION



SOUTH ELEVATION

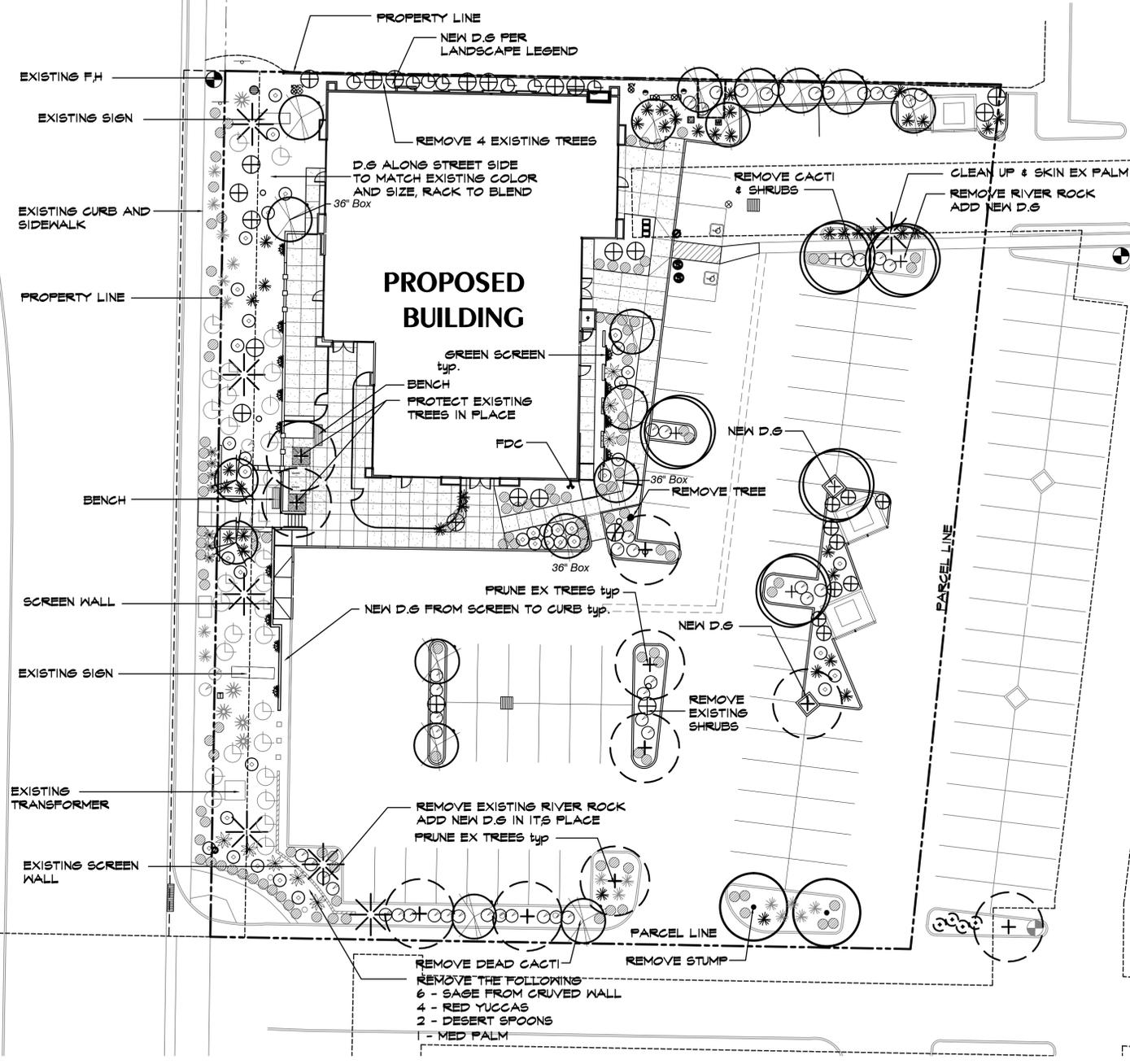


EAST ELEVATION



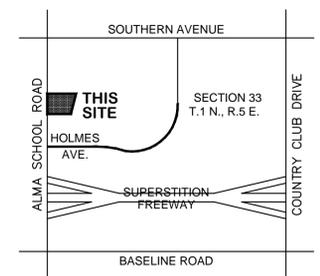
WEST ELEVATION

ROAD
S. ALMA SCHOOL



LANDSCAPE CALCULATION

LOCATION	TREES		SHRUBS	
	REQUIRED	FURNISHED	REQUIRED	FURNISHED
NORTH 214'-00"				
1 TREE / PER 25 L.F.T.	8	8	16	16
2 SHRUBS / PER 25 L.F.T.				
EAST 251'-00"				
1 TREE / PER 25 L.F.T.	N/A	N/A	N/A	N/A
2 SHRUBS / PER 25 L.F.T.				
SOUTH 142'-00"		3 Ex Trees 1 Ex Palm 2 New Trees		
1 TREE / PER 25 L.F.T.				
2 SHRUBS / PER 25 L.F.T.	6	6	12	12
WEST 207'-00"				
1 TREE / PER 25 L.F.T.		4 Ex Palm 6 New Trees		New 53 Existing 47
2 SHRUBS / PER 25 L.F.T.	10	10	12	12
PARKING LOT				
1 TREE / PER 15' ISLAND				
3 SHRUBS / PER 15' ISLAND	14	14	42	42
FOUNDATION PLANTING				
1 TREE / PER 50 L.F.T.	4	4	14	14
TOTAL REQD/FRNSHD	42	42	104	142
SIZE REQD/FURNISHED				
TREES 36" BOX MIN 10%	5	9 Ex / 5 New		
24" BOX MIN 50%	37	28		
15 GAL	0	0		
5 GAL	0	0		
TOTAL TREES	42	42		
SHRUBS 15 GAL or Larger			0	0
5 GAL			104	137
1 GAL			0	41
POT/FLAT				47
Existing				225
TOTAL SHRUBS			104	225



VICINITY MAP:
Not to Scale

LOT AREA:
NET AREA: 1.228 ACRES (53,504 S.F.) ±
LANDSCAPE AREA: 0.323 ACRES (14,071 S.F.) = 0.26%

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
Ficus nitida	24" box stand.	2
Ficus Tree		
Prosopis chilensis 'Thornless'	24" box stand.	5
Thornless Chilean Mesquite		
Nerium oleander tree 'white'	24" box U.O.N.	14
Standard White Oleander Tree	36" Box tree form	3
Existing Tree	to remain and be protected	9
Existing Palm	to remain and be protected	5
Chitalpa tashkentensis 'Pink Dawn'	36" Box Multi,	2
Chitalpa 'Pink Dawn'		
SHRUBS / ACCENTS / VINES	SIZE	QTY.
Dasyliirion longissimum	5 gallon	43
Toothless Spoon		
Bougainvillea 'Barbara Karst'	5 gallon	10
Barbara Karst Bougainvillea	* espallier to wall / Green Screen	
Hesperaloe parviflora	5 gallon	7
Red Yucca		8 - Existing
Leucophyllum frutescens 'Compacta'	5 gallon	7
Texas Sage		28 - Existing
Nerium oleander 'Petite Pink'	5 gallon	49
Pink Oleander		3 - Existing
Caesalpinia mexicana	5 gallon	30
Mexican Bird of Paradise		
Agave weberii 'variegated'	5 gallon	15
Arizona Star		
Dasyliirion wheeleri		5 - Existing
Desert Spoon		

GROUNDCOVERS	SIZE	QTY.
Lantana montevidensis	1 gallon	119
Trailing Lantana 'Purple & Gold mound'	50/50 mix	
Decomposed Granite-1/2" select Tanner Gold		3 - Existing
2" min thickness in all landscape areas		
Submit samples to Landscape Architect		

CONCEPTUAL LANDSCAPE PLAN



EXISTING LANDSCAPING AND IRRIGATION NOTES:

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any trees that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, (minimum 48" box). At no additional cost to owner. All shrubs and groundcover shall be replaced with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired with new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system ... etc.
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6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100%
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8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30'.
9. All trees shall be lifted to clear height of 7'.

GENERAL LANDSCAPE NOTES

1. The Landscape Architect, or his representative, reserve the right to refuse any plant deemed unacceptable. (See specifications)
2. For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
3. The Landscape Architect is to approve any and all substitutions.
4. Plant list provided for contractor's convenience only. Plans take precedence.
5. Double stake all 15 gallon, 1", 2", 3", and 4" caliper trees as required.
6. Sprinkler Contractor must guarantee 100% coverage in all landscape areas.
7. Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
8. Finished grade in groundcover, granite and lawn areas shall be 1" below adjacent header, paving, curbing, etc.
9. Plants shall be quality material having a growth habit which is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
10. Groundcover and/or decomposed granite shall extend under shrubs unless noted.
11. After all work is completed, the contractor shall remove all materials not incorporated in the Scope of Work from the job site.
12. Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the plan. (once general contractor has provided finish grade within 1/10 of 1')
13. All earthwork is to be done so that all water drains away from all structures.
14. A pre-emergent herbicide is to be applied to all granite areas after the granite has been laid. Include all river rock areas, if applicable.
15. All underground conduits are to be located before digging. If doubt exists call Blue Stake at (602) 263-1100.
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23. General contractor shall coordinate all mounding and berms with landscape contractor, grading contractor, and civil plans.

CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 840-8021
www.laskindesign.com



phoenix design group

NEW THREE TENANT BUILDING
1747 S. ALMA SCHOOL ROAD, MESA, AZ

JOB NO.: PDG-1648
DATE: 02/28/14
REVISION:
DRAWN BY: H.A.C.
CHECKED BY: V.E.O.
SHEET NO.

KICHLER®

ARCHITECTURAL OUTDOOR

Design Pro LED Accent 12.5W



16200 (12.5W 10° Spot) 16201 (12.5W 35° Flood)

PROJECT: _____

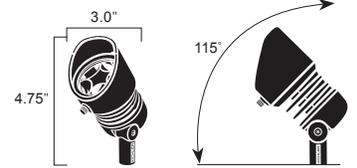
TYPE: _____

ORDERING # : _____

COMMENTS: _____

FEATURES

- Two beam spread options put light where you want it.
- A range of Kelvin color temperature choices from pure white 3,000K to cool white 4,250K.
- Radiax™ Optics deliver the greatest lumens per watt in the industry for comparable fixtures.
- Constructed from durable, specification grade materials.



can be used in up or down position

ORDERING INFORMATION

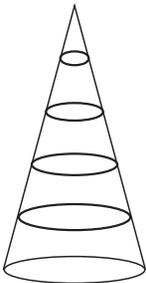
EXAMPLE: 16200 AZT30, 16060 AZT, 16065 AMB

Product ordered is a 12.5W, 3000K, 10 degree spot accent light in Textured Architectural Bronze with a long cowl and an amber lens accessory.

PRODUCT	WATTAGE/STYLE	LIGHT SOURCE	FINISH	OPTIONS / ACCESSORIES
3000K PURE WHITE 10 Degree 16200 AZT30 16200 BBR30 35 Degree 16201 AZT30 16201 BBR30 4250K COOL WHITE 10 Degree 16200 AZT42 16200 BBR42 35 Degree 16201 AZT42 16201 BBR42	*12.5W - 10 Degree Spot Beam Spread *12.5W - 35 Degree Floodlight Beam Spread	LED Specs - Integrated LEDs & Driver - LEDs: High Output CREE® LEDs tightly binned for color uniformity - Color Temp. (CCT): 3,000K (-45/+130) Pure White 4,250K (-250/+250) Cool White - CRI: 3,000K - 80s 4,250K = High70s - 108-132V AC, 50-60 Hz - 40,000 Hours Lamp Life To L70 Specifications ** - Efficacy: 3,000K = 47Lm/W 4,250K = 52Lm/W Wiring - 8" of Usable 200°C 18AWG Wire Leads Included Mounting Accessories N/A	Marine Grade Powdercoats Cast Aluminum AZT - Textured Architectural Bronze Cast Brass BBR - Bronzed Brass	Mounting Options Flange For Surface Mounting 15601AZT - Textured Bronze Finish 15601BKT - Textured Black Finish 15601BBR - Bronzed Brass Finish Power Post® 15276AZT - Textured Bronze Finish 15276BKT - Textured Black Finish Junction Box Mounting Bracket 15609AZT - Textured Bronze Finish 15609BKT - Textured Black Finish Lens Options 16065AMB - Amber Lens For a Warmer Hue 16065FRO - Frosted Lens For Diffusing Light Where Needed 16065GRN - Green Lens For Intensifying Foliage Colors Cowl Options Long Cowl 16060AZT - Textured Bronze Finish 16060BBR - Bronzed Brass Finish 360° Cowl 16061AZT - Textured Bronze Finish 16061BBT - Bronzed Brass Finish

PROJECT:
TYPE:
ORDERING # :
COMMENTS:

PHOTOMETRIC INFORMATION

PRODUCT	DISTANCE	FOOTCANDLES	BEAM WIDTH	
10 Degree Spot 16200	8 Feet	238.9	1.4 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Narrow Spot</div>  <div style="margin-left: 20px;">10 Degree Spread</div> </div>
	12 Feet	106.2	2.1 Feet	
	24 Feet	26.5	4.1 Feet	
	36 Feet	11.8	6.2 Feet	
	48 Feet	6.6	8.3 Feet	
	60 Feet	4.2	10.3 Feet	
35 Degree Floodlight 16201	4 Feet	112.6	2.3 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Flood</div>  <div style="margin-left: 20px;">35 Degree Spread</div> </div>
	8 Feet	28.1	4.5 Feet	
	16 Feet	7	9 Feet	
	24 Feet	3.1	13.6 Feet	
	32 Feet	1.8	18.1 Feet	
	40 Feet	1.1	22.6 Feet	

NOTES

**FCC
Compliant**

**Definition of 40,000 hours: Voluntarily following the accepted industry standard of L70, Kichler rates the entire lighting fixture system at 40,000 hours; with engineered electronics that will last at least 40,000 hours, superior optical engineering, and finally utilizing a design that operates at the optimal temperature thresholds for the LED chips. The end result is a complete light fixture that does not require replacement parts and will provide 70% or more of its original light output for at least 40,000 hours. It has been proven that the human eye can hardly detect any difference in light output when light output is at 70% or above of its original output.



* 12.5W is The Halogen Equivalent of a 50W PAR30 Lamp
 - Fixtures Must be Used With a Kichler ANSI/UL Power Supply
 IES Files & LM-79 Data is available at www.landscapelighting.com.
 LM-79 data is not available on our site.

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any ANSI/UL Standards products previously manufactured, and without notice.

DESCRIPTION

Westwood 914 and 914-2 are ultra-compact wall fixtures for use with line voltage PAR38 halogen lamps. Model 914 utilizes one (1) 150W max. lamp (not included) and provides downlight or uplight. Model 914-2 utilizes two (2) 150W max. lamps (not included) and provides combination uplight and downlight. Both models mount over a standard 4" J-box and connect directly to 120V line voltage. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Material

Housing and hood are precision-machined from corrosion-resistant 6061-T6 aluminum billet, brass or copper. Mounting canopy is constructed from corrosion-resistant silicone aluminum, brass or copper.

B ... Finish Painted

Fixtures constructed from 6061-T6 aluminum are double protected by a chromate conversion undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. Brass or Copper Fixtures constructed from brass or copper are left unpainted to reveal the natural beauty of the material and will patina naturally over time.

C ... Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. The flush lens design sheds water and minimizes debris collection on the uplight position.

D ... Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

E ... Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

F ... Mounting

Both models mount over a standard 4" J-box and connect directly to 120V line voltage. Model 914 utilizes one (1) 150W max. lamp (not included) and provides downlight or uplight. Model 914-2 utilizes two (2) 150W max. lamps (not included) and provides combination uplight and downlight.

G ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

H ... Socket

Ceramic socket with 250° C Teflon® coated lead wires and medium base.

I ... Electrical

Operates with 120V line voltage.

J ... Lamp

Not included. Available from Lumière as an accessory - see reverse side of this page.

K ... Labels & Approvals

UL and cUL listed, standard wet label. IP65 rated. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

L ... Warranty

Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.



WESTWOOD

914

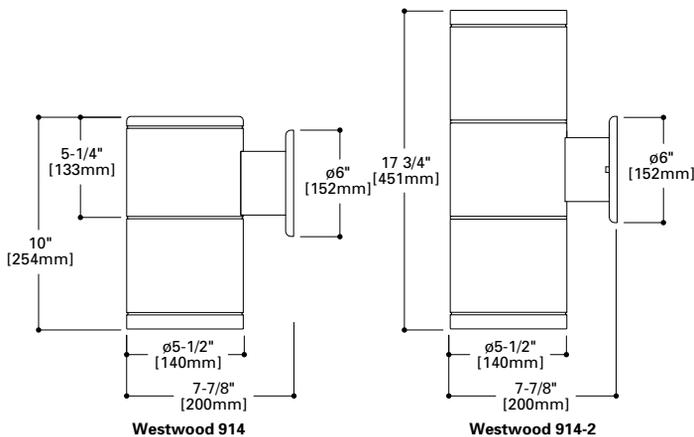
914-2

150W (max.) PAR38

Halogen
Line Voltage

Wall

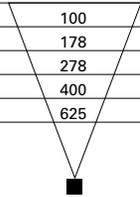
IP65



Westwood 914/914-2
Lamp=250PAR38/SP
CBCP=40,000

Cone of Light

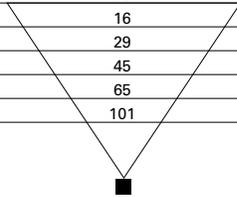
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
25'0"	64	6'0"
20'0"	100	5'0"
15'0"	178	3'6"
12'0"	278	3'0"
10'0"	400	2'6"
8'0"	625	2'0"



Westwood 914/914-2
Lamp=250PAR38/FL
CBCP=8000

Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
25'0"	10	21'0"
20'0"	16	16'6"
15'0"	29	12'6"
12'0"	45	10'0"
10'0"	65	8'6"
8'0"	101	6'6"



LAMP INFORMATION

Lamp	ANSI Code	Watts	Beam Spread	CBCP	°K	Life (hrs.)	Base	Volts
250PAR38/SP	---	250	11°	40,000	2880	4200	medium	120
250PAR38/FL	---	250	30°	8000	2880	4200	medium	120

NOTE: Inferior quality lamps may adversely affect the performance of this product. Use only name brand lamps from reputable lamp manufacturers.

NOTES AND FORMULAS

- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.
- Bare lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

ORDERING INFORMATION

Series 914=PAR38 Halogen Up/Down Westwood Wall Fixture	Source Halogen 150PAR38=150W Max Halogen PAR38, Medium Base	Accessories Filters F71-38= Peach Dichroic Filter, 4.95" Dia F73-38= Green Dichroic Filter, 4.95" Dia F75-38= Yellow Dichroic Filter, 4.95" Dia F77-38= Dark Blue Dichroic Filter, 4.95" Dia F79-38= Neutral Density Dichroic Filter, 4.95" Dia F22-38= Red Color Filter, 4.95" Dia F44-38= Green Color Filter, 4.95" Dia F66-38= Mercury Vapor Color Filter, 4.95" Dia Optical Lenses LSL-38= Linear Spread Lens (elongate standard beam spread), 4.95" Dia DIF-38= Diffused Lens (provide even illumination), 4.95" Dia Optical Louver LVR-38= Hex Cell Louver (reduce glare), 4.95" Dia Lamps HP38150-SP= 150W PAR38 Halogen Spot, Medium Base	Life (hrs.) 4200	Base medium	Volts 120
Lamp Head Quantity _ = One Lamp Head 2 = Two Lamp Heads	Voltage 120=120V	F72-38= Amber Dichroic Filter, 4.95" Dia F74-38= Medium Blue Dichroic Filter, 4.95" Dia F76-38= Red Dichroic Filter, 4.95" Dia F78-38= Light Blue Dichroic Filter, 4.95" Dia F80-38= Magenta Dichroic Filter, 4.95" Dia F33-38= Blue Color Filter, 4.95" Dia F55-38= Yellow Color Filter, 4.95" Dia OSL-38= Overall Spread Lens (increase beam spread), 4.95" Dia HP38150-FL= 150W PAR38 Halogen Flood, Medium Base			
Finish Painted BK= Black BZ= Bronze CS= City Silver VE= Verde WT= White Metal NBR= Brass NCP= Copper					

Notes: * Lamp not included.
* Consult your Cooper Lighting representative for additional options and finishes.

LAREDO SERIES

LMC - 30LEDs

Cat.#

Job

Type



HUBBELL
Outdoor Lighting

Approvals

SPECIFICATIONS

Intended Use:

Full cut-off IDA compliant perimeter or entry lighting for 12-18ft mounting heights that require high light output and maximum energy efficiency. Laredo LMC-30 LED wallpack provides low installation costs with little or no maintenance and 60%+ energy savings. Ideal for schools, factories, hospitals, warehouses and retail applications.

Construction:

Decorative die-cast aluminum housing and door. Rugged design protects internal components and provides excellent thermal management for over 70% lumen maintenance at 50,000 hours minimum LED life. Lektrocote® series powder paint finishes provide lasting appearance in outdoor environments. Five standard finishes include: Bronze, Black, Gray, White and Platinum.

Optics/Electrical

LED:

30 High power LEDs delivers up to 6023 lumens at 700mA and up to 3448 lumens at 350mA. Combination of optical lenses and reflectors deliver light in either type III or type IV distributions, with better than 4 to 1 max to min uniformity. 4000K and 5000K/70 CRI LEDs provide excellent color rendition with up to 97 lumens per watt efficiency. UL certified for thru-wiring.

Electronic driver 71w system, 0.4 AMPS max, or 35w, 0.3 amps max, 120-277V, 50/60Hz.

Lenses:

Full cut-off distribution - individual acrylic LED optics provide IES Type III and Type IV distributions.

Installation:

Quick mount system provides rigid mounting over recessed junction boxes – fixture does not require opening for mounting. Foam gasket for sealing to smooth surfaces provided. Superior performance with 5 to 1 spacing to mounting height ratio.

Listings:

Listed and labeled to UL 1598 for wet locations, 25° C ambient environments. DesignLights Consortium (DLC) listed. U.S. Patent No. D563,587

LMC-30LU Egress Wallpack:

Designed to meet strict 1fc minimum requirements. At 12ft mounting height 1fc covers 16x16ft area, well beyond the 10x10ft standard. 44w - 350mA drives 30LEDs at 3500 lumens at full power/ 2046 average lumens in battery mode. Outer clear impact resistant glass lens protects LED lenses. No uplight, external test button, quick mount, wet location listed. (Note: must use Type III)

Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

PRODUCT IMAGE(S)

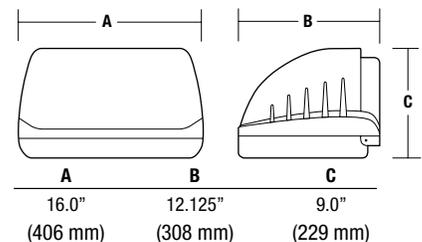


LMC-30LU



LMC-30LU BOC/BBU

DIMENSIONS



ORDERING INFORMATION

ORDERING EXAMPLE: LMC-30LU-5K-3-1-PC(4)

SERIES	NUMBER OF LEDS/SOURCE/VOLTAGE	CCT	IES DISTRIBUTION	DRIVE CURRENT	FINISH	OPTIONS
LMC	30LU	4K	3 ^{1,3} Type III (6023 lumens)	BLANK STD 700MA	1 Bronze	PC(X) ² Button photocontrol, replace X with voltage, specify 1-120V, 2-208V, 3-240V, 4-277V
	30LF	5K	4 ^{1,3} Type IV (5593 lumens)	035 ³ 350MA	2 Black	WIH In fixture wireless control module, (120V & 277V only) order separately, consult factory
					3 Gray	
					4 White	
					5 Platinum	

ORDERING INFORMATION EGRESS LMC-30LU

ORDERING EXAMPLE: LMC-30LU-5K-3-035-1-BBU277

SERIES	NUMBER OF LEDS/SOURCE/VOLTAGE	CCT	IES DISTRIBUTION	DRIVE CURRENT	FINISH	OPTIONS
LMC	30LU	4K	3 ⁴ Type III	035 350MA	1 Bronze	BBU277 Integral battery for 120-277V rated for -20° C ambient
	30LF	5K			2 Black	B0C277 Integral battery for 120-277V rated for 0° C ambient
					3 Gray	PC(X) Button photocontrol, replace X with voltage, specify 1-120V, 2-208V, 3-240V, 4-277V
					4 White	
					5 Platinum	

1 Standard 700MA Type III distribution produces 4673 lumens, Type IV 4507 lumens at 71w
 2 PC(X) Replace X with 1-120V, 2-208V, 3-240V, 4-277V
 3 350mA drive current 2500-2700 lumens at 35watts on standard units
 4 Egress versions only Type III



Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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LAREDO LMC-SPEC 11/13

ACCESSORIES

(order as separate part #)

Catalog Number	Description
LMC-SPC	Polycarbonate shield
PBT-1	120V button photocontrol
PBT-234	208/240/277V button photocontrol

PERFORMANCE DATA

# OF LEDS	DRIVE CURRENT	SYSTEM WATTS	DIST. TYPE	5K (5100K nominal, 67 CRI)					4K (4200K nominal, 70 CRI)					3K (3000K nominal, 80 CRI)				
				LUMENS	LPW ¹	B	U	G	LUMENS	LPW ¹	B	U	G	LUMENS	LPW ¹	B	U	G
30	BBU	BBU	3	2046	-	1	0	1	1860	-	1	0	1	1457	-	0	0	0
			2	3489	100	1	0	1	3151	90	1	0	1	2624	75	1	0	1
			3	2710	77	1	0	1	3234	92	1	0	1	2632	75	1	0	1
			4	3422	98	1	0	1	3177	91	1	0	1	2644	76	1	0	1
	350mA	35w	2	6070	87	2	0	2	5403	77	1	0	1	4469	64	1	0	1
			3	4674	67	1	0	1	5594	80	1	0	1	4538	65	1	0	1
			4	5949	85	1	0	2	5461	78	1	0	2	4537	65	1	0	2
			2	6070	87	2	0	2	5403	77	1	0	1	4469	64	1	0	1
	700mA	70w	3	4674	67	1	0	1	5594	80	1	0	1	4538	65	1	0	1
			4	5949	85	1	0	2	5461	78	1	0	2	4537	65	1	0	2
			2	6070	87	2	0	2	5403	77	1	0	1	4469	64	1	0	1
			3	4674	67	1	0	1	5594	80	1	0	1	4538	65	1	0	1

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

ELECTRICAL DATA

# OF LEDS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	CURRENT (Amps)	SYSTEM POWER (w)
30	-035 (350mA)	120	0.30	35.00
		277		35.00
	STD. (700mA)	120	0.60	70.00
		277		70.00

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	OPERATING HOURS					L70 (hours)
	0	25,000	50,000	TM-21-11 ¹ L96 60,000	100,000	
25°C / 77°F	1.00	0.97	0.95	0.95	0.92	>539,000

1. Projected per IESNA TM-21-11 * (Nichia 219B, 700mA, 85°C Ts, 10,000hrs)
Data references the extrapolated performance projections for the LMC-30LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

AMBIENT TEMPERATURE		LUMEN MULTIPLIER
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99
50° C	122° F	0.98

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

LIGHTING FACTS

Hubbell Outdoor Lighting
lighting facts
A Program of the U.S. DOE

Light Output (Lumens) **4642**
Watts **71.6**
Lumens per Watt (Efficacy) **64**

Color Accuracy
Color Rendering Index (CRI) **76**

Light Color
Correlated Color Temperature (CCT) **5274 (Daylight)**

Warm White 3000K Bright White 4500K Daylight 6500K

All results are according to IESNA LM-79-08. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: A25K-CEWRHE (12/15/2011)
Model Number: LMC-30LU-5K-4
Type: Outdoor wall pack

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lighting facts
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Light Output (Lumens) **4108**
Watts **71.3**
Lumens per Watt (Efficacy) **57**

Color Accuracy
Color Rendering Index (CRI) **78**

Light Color
Correlated Color Temperature (CCT) **4110 (Bright White)**

Warm White 3000K Bright White 4500K Daylight 6500K

All results are according to IESNA LM-79-08. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: A25K-2EQ-LK (12/15/2011)
Model Number: LMC-30LU-4K-4
Type: Outdoor wall pack

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A Program of the U.S. DOE

Light Output (Lumens) **2479**
Watts **32.3**
Lumens per Watt (Efficacy) **76**

Color Accuracy
Color Rendering Index (CRI) **78**

Light Color
Correlated Color Temperature (CCT) **4167 (Bright White)**

Warm White 3000K Bright White 4500K Daylight 6500K

All results are according to IESNA LM-79-08. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: A25K-2COP-IR (2/24/2012)
Model Number: LMC-30LU-4K-055
Type: Outdoor wall pack

Hubbell Outdoor Lighting
lighting facts
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Light Output (Lumens) **2811**
Watts **32.9**
Lumens per Watt (Efficacy) **85**

Color Accuracy
Color Rendering Index (CRI) **73**

Light Color
Correlated Color Temperature (CCT) **4907 (Daylight)**

Warm White 3000K Bright White 4500K Daylight 6500K

All results are according to IESNA LM-79-08. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: A25K-8YF92n (2/24/2012)
Model Number: LMC-30LU-4K-055
Type: Outdoor wall pack

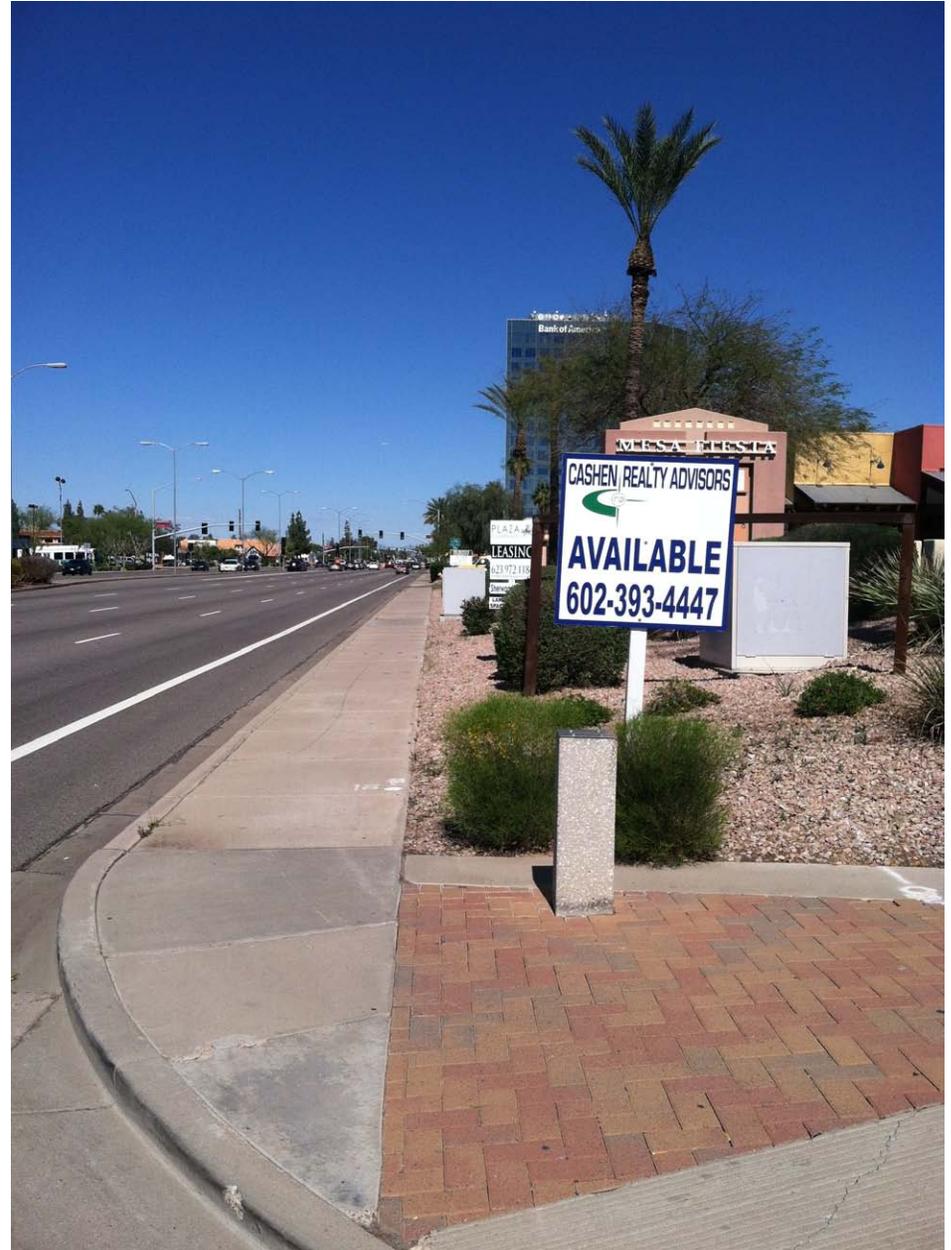
CONTEXT PLAN SITE PHOTOGRAPHS



PICTURE 1 - SW CORNER LOOKING WEST

1335 S. ALMA SCHOOL ROAD

MESA, AZ 85210



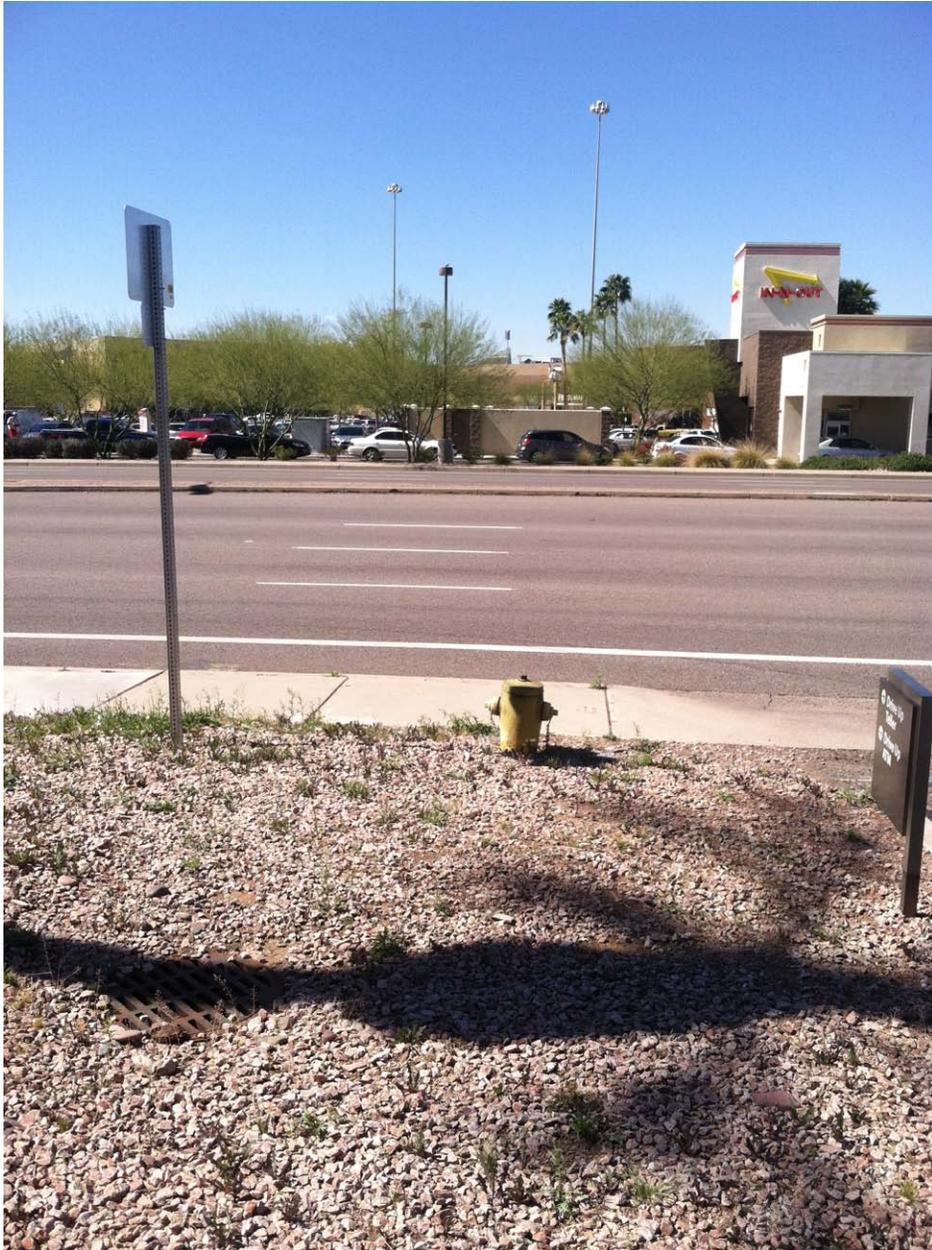
PICTURE 2 - SW CORNER LOOKING NORTH



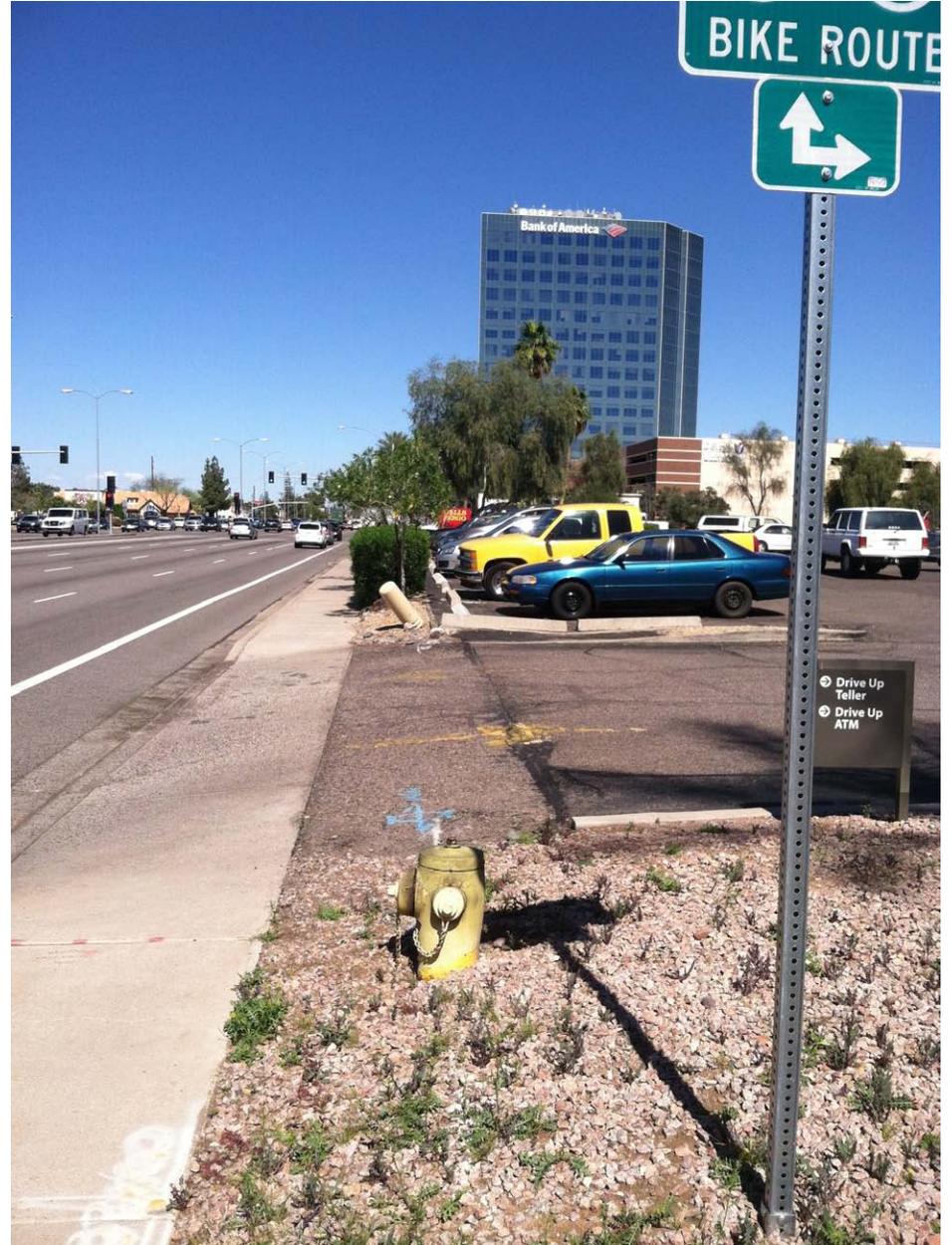
PICTURE 3 - SW CORNER LOOKING EAST



PICTURE 4 - SW CORNER LOOKING SOUTH



PICTURE 5 - NW CORNER LOOKING WEST



PICTURE 6 - NW CORNER LOOKING NORTH



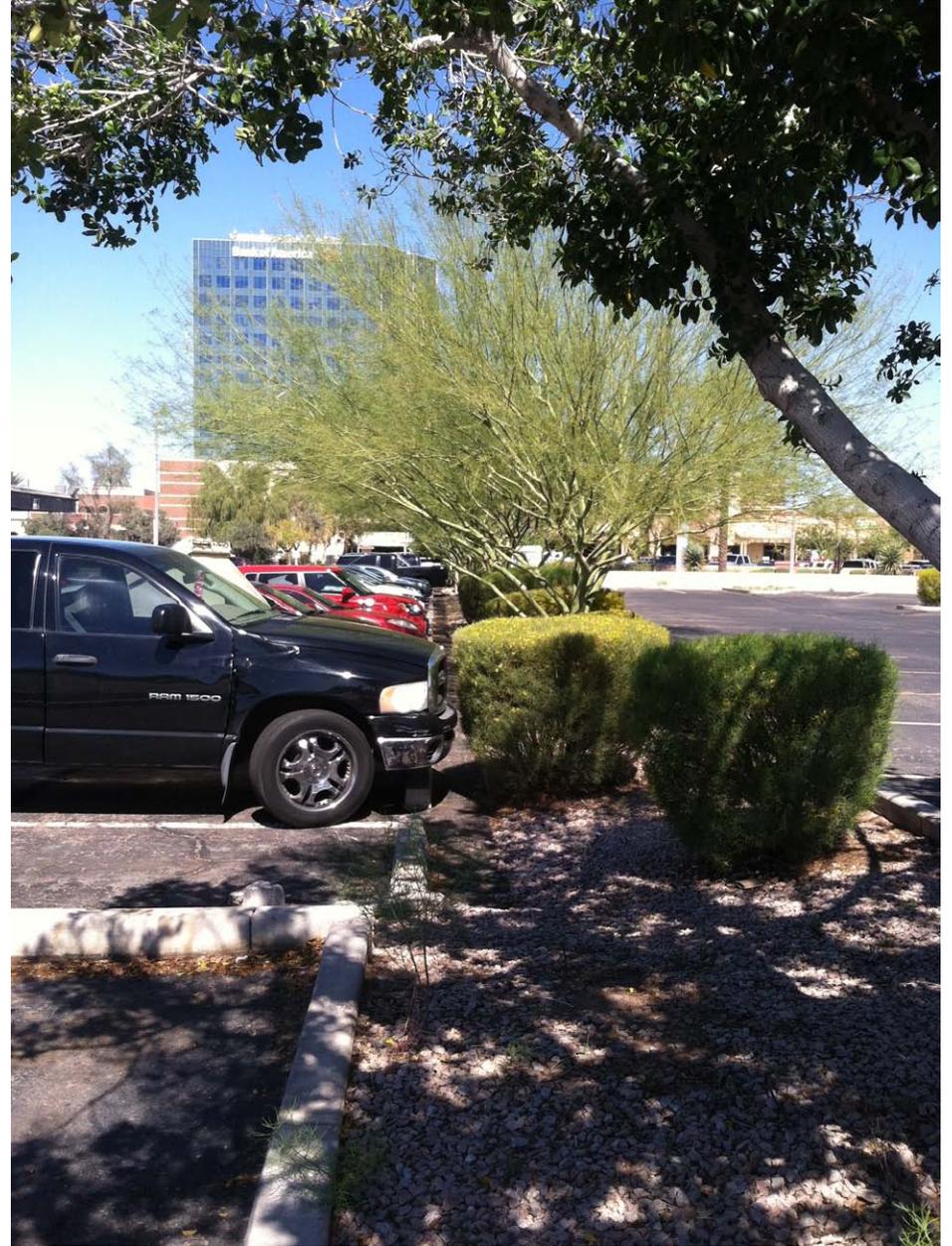
PICTURE 7 - NW CORNER LOOKING EAST



PICTURE 8 - NW CORNER LOOKING SOUTH



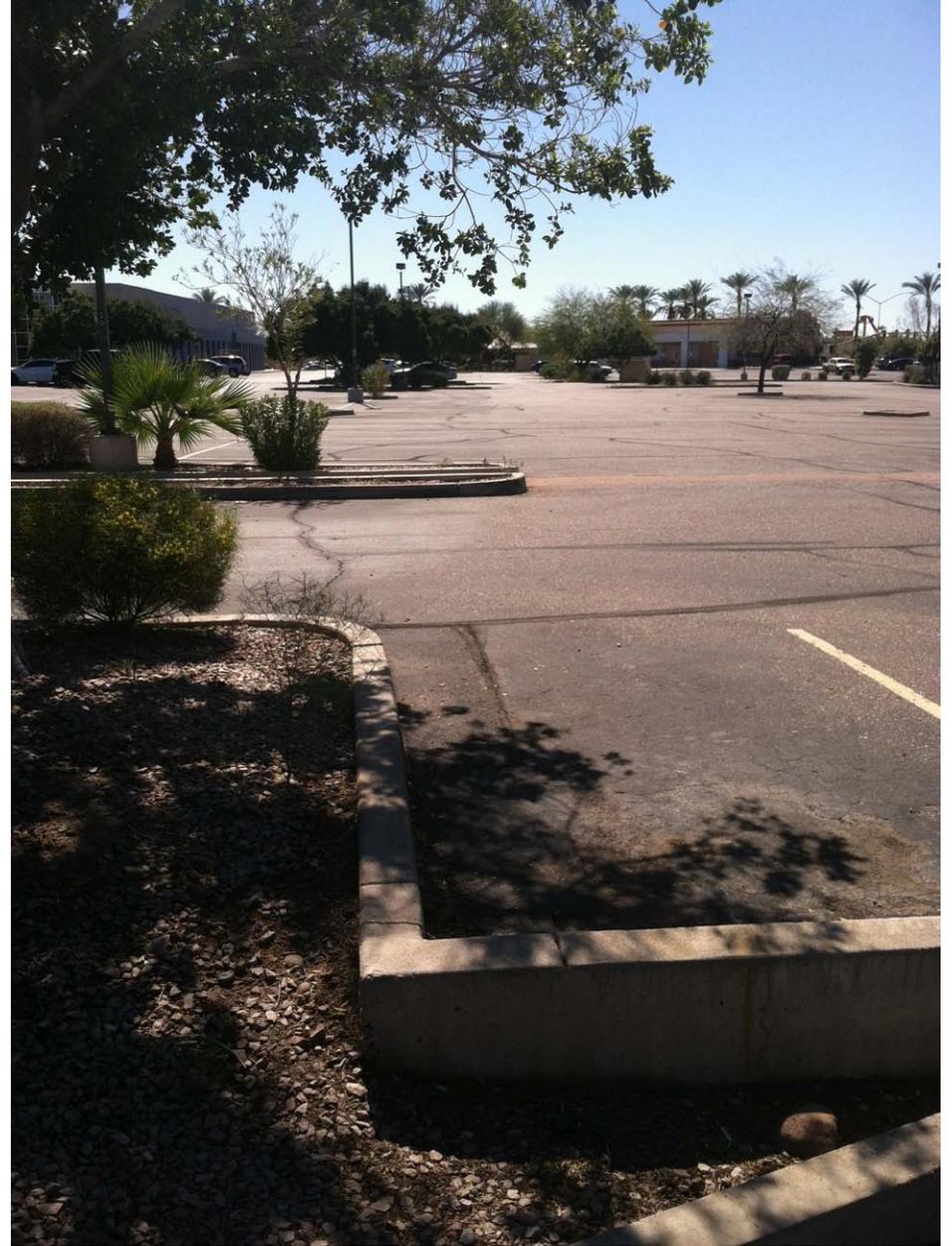
PICTURE 9 - NE CORNER LOOKING WEST



PICTURE 10 - NE CORNER LOOKING NORTH



PICTURE 11 - NE CORNER LOOKING EAST



PICTURE 12 - NE CORNER LOOKING SOUTH



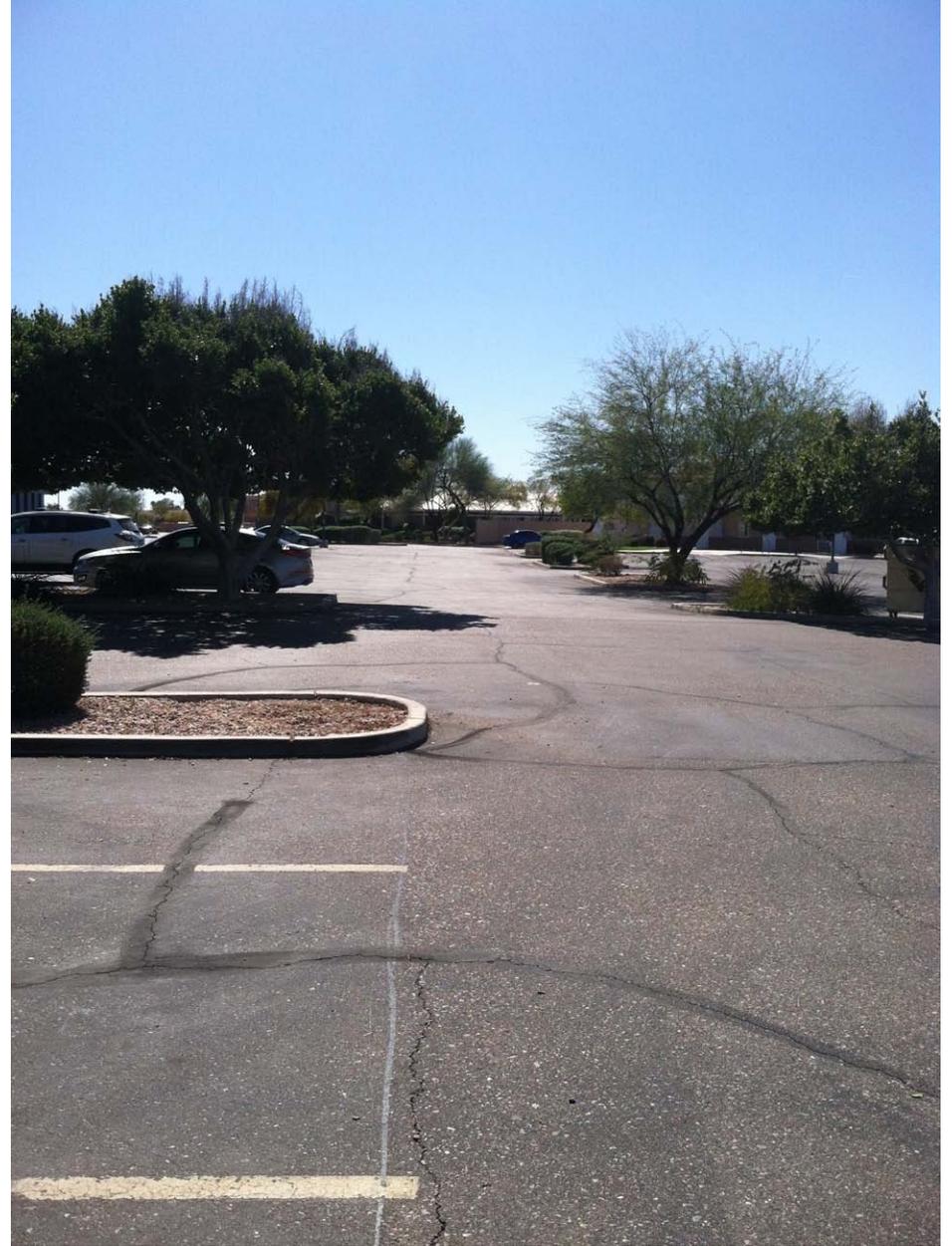
PICTURE 13 - SE CORNER LOOKING WEST



PICTURE 14 - SE CORNER LOOKING NORTH



PICTURE 15 - SE CORNER LOOKING EAST



PICTURE 16 - SE CORNER LOOKING SOUTH