

MULBERRY *Marketplace*



Project Design Guidelines

NWC Guadalupe and Signal Butte
Mesa, AZ

09.11.14



MULBERRY *Marketplace*

DEVELOPMENT TEAM

OWNER/DEVELOPER

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BROWN GROUP, INC

ARCHITECT

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Butler Design Group, Inc.
architects & planners

CIVIL ENGINEER

Sustainability Engineering Group

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SEG

SUSTAINABILITY
ENGINEERING
GROUP

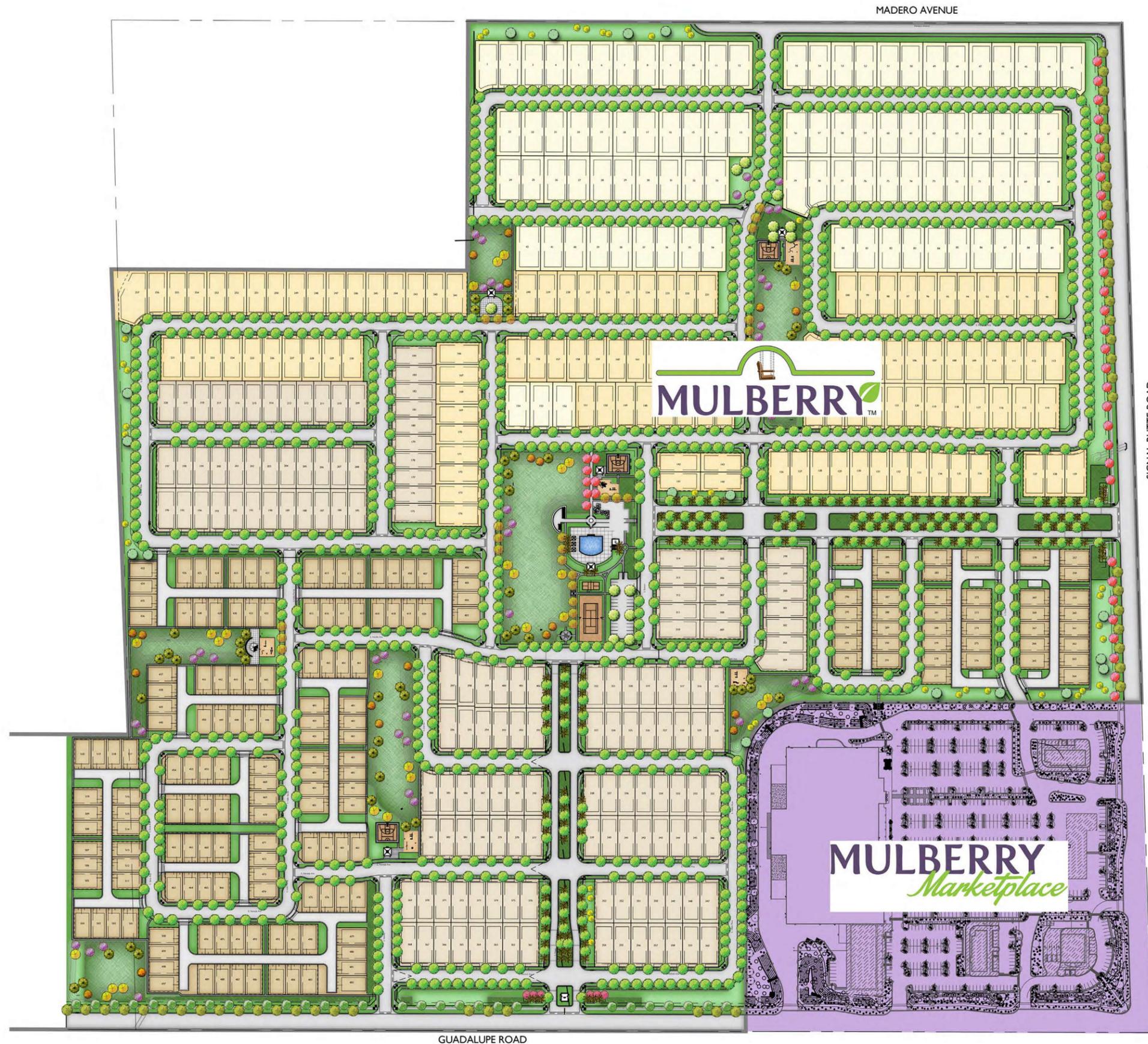
LANDSCAPE ARCHITECT

Laskin & Associates, Inc.

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67 East Weldon Ave.
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Master Site Plan



NWC Guadalupe and Signal Butte - Mesa, AZ



The Mulberry 'Story'

Mulberry, Blandford Homes latest Master Planned Community, is planned to open in 2015. The 128-acre community is located on the northwest corner of Guadalupe Road and Signal Butte Road, in Mesa, Arizona. Homes will range from 1,600 square feet to over 4,000 square feet.

Mulberry, as Blandford Homes describes, is ***"The New Old Home Neighborhood"***.

The Mulberry architectural character is purposefully very eclectic, drawing from historical styles, including Bungalow, Spanish Mission, French Country, Tuscan, Cottage and Craftsman. Even the colors and materials throughout the Community are diverse. No two adjacent houses will look alike. Every homeowner will feel like their home is truly unique. Quality in every sense will be evident throughout Mulberry. Every 'detail' has been thoughtfully worked out from the architecture, to landscaping and tree lined streetscapes, open space and parks, to the clubhouse and community amenities. When completed Mulberry will look/feel like the neighborhoods reminiscent of the early 1900's.



Mulberry Marketplace (MM), the projects 17.64-acre neighborhood commercial corner, is a planned asset to the community vs a *carved-out* parcel that is traditionally separately developed, walled off, and turns 'its back' on the adjacent residential community. To the contrary, MM is open *visually and physically* to Mulberry. Only a 42" high wall is planned along its northern border (vs a traditional 6-foot wall typically required by Code), plus pedestrian and vehicular connections have been incorporated on the north side of the project. The center is anchored by Fry's grocery store, plus includes a variety of retail stores, restaurants and a possible bank branch.

Mulberry Marketplace proposes a *Craftsman architectural style* to blend/compliment the diversity within the residential community. This design style gained prominence in the late 1800's inspired by the English Arts and Crafts movement. That movement came about as a reaction against the eclectic Victorian 'over-decorated' aesthetic and the Industrial Revolution's perceived devaluation of the individual worker and resulting degradation of the dignity of human labor. Here in



America its tenants inspired to develop and encourage higher standards in the handicrafts, design, originality and a high regard for the relationship of form and function. The Craftsman architectural character incorporates a visible sturdy structure of clean lines and natural materials. Design elements include the use of exposed wood plank underside colonnades, tapered columns, decorative exposed beam and rafter tail ends and shake siding elements and fine stucco finishes. Other characteristics are gable roofs, overhangs and building projections featuring a mix of materials from masonry to stone and a variety of sidings.

To further accentuate the array of design styles, the MM freestanding Pad buildings will promote, and even encourage, individualist character that is not necessarily Craftsman, or even a matching color/material palette. Instead, each Pad has the 'option' of being one of the design vocabularies defined within the residential community. This design approach is purposeful as it strengthens the eclectic mix of styles, plus, because the size/scale of these buildings (3000-6000 SF) is more proportionate to the adjacent homes, this option simply makes sense. Since each Pad must achieve individual Staff and Design Review Board approval, the style, detailing colors and materials will be need to be submitted, reviewed and approved at a future time.



The landscape within the Mulberry residential community is characterized by tree-lined streets and boulevards, detached sidewalks, and a neighborhood park. The enhanced traditional landscape theme highlights a lush, green and colorful planting, with tree-lined walkable streets, formalized colorful plantings with turf, shade trees and date palms within the main and secondary entry boulevards. The Marketplace utilizes a common landscape palette, including date palms at strategic locations, but is designed to be more arid/drought tolerant and low maintenance. Additionally, tree types were specified that would offer shade while offering visibility to the merchants within the Center.

To achieve a compatible, integrated and complimentary Mulberry community, the Teams (residential and commercial) determined that the most important elements in tying/blending the retail with the residential were mostly **'site ' related**. Common design elements include:

- Similar site wall detailing throughout
- Similar street-scape landscaping
- Common plant palettes, including tree-types, and even decomposed gravel as a 'foundation'
- Steel (or vinyl) accent fences (painted white)



- Date Palms. This was determined to be the most significant and important unifying element. The residential community proposes over 150 palms. The shopping center has incorporated 20 palms; at key driveways, the main corner, and at the Frys entries.

Mulberry and Mulberry Marketplace, are a combined vision of Blandford Homes, the Brown Group, Frys, and a talented TEAM of consultants striving to create an integrated and thoughtfully designed Community within the City of Mesa.

Residential Architectural Character

Spanish



Cottage



Craftsman



Residential Landscape Palette

Guadalupe Road Streetscape

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
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TREES			
	<i>Chitalpa x 'Pink Dawn'</i>	Chitalpa	24" Box
	<i>Dalbergia sissoo</i>	Sissoo	24" Box
	<i>Fraxinus velutina</i>	Arizona Ash	24" Box
	<i>Phoenix dactylifera</i>	Date Palm	24" Box

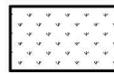
SHRUBS/ACCENTS			
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	<i>Bougainvillea 'La Jolla'</i>	La Jolla Bougainvillea	5 Gal
	<i>Dasylium quadrangulatum</i>	Mexican Grass Tree	5 Gal
	<i>Euphorbia rigida</i>	Gopher Plant	5 Gal
	<i>Gossypium harknessii</i>	San Marcos Hibiscus	5 Gal
	<i>Hesperaloe parviflora 'Perpa' Brakelights®</i>	Crimson Yucca	5 Gal
	<i>Leucophyllum frutescens 'Compacta'</i>	Compact Texas Ranger	5 Gal
	<i>Muhlenbergia lindheimeri Autumn Glow®</i>	Lindheimer Muhly	5 Gal
	<i>Nerium oleander 'Petite Pink'</i>	Dwarf Pink Oleander	5 Gal
	<i>Russelia equisetiformis</i>	Coral Fountain	5 Gal
	<i>Simmondsia chinensis 'Vista'</i>	Compact Jojoba	5 Gal

GROUNDCOVERS			
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	<i>Lantana x 'New Gold'</i>	New Gold Lantana	1 Gal
	<i>Myoporum parvifolium 'Dwarf'</i>	Dwarf Myoporum	1 Gal
	<i>Rosmarinus officinalis 'Huntington Carpet'</i>	Trailing Rosemary	1 Gal
	<i>Sphagneticola trilobata</i>	Yellow Dot	1 Gal

TURF & PERENNIALS			
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	<i>Cynodon dactylon 'Tifway 419'</i>	Tifway 419	Sod
	Seasonal annuals (4" pot @ 12" O.C. to be selected at time of planting)		

Signal Butte Road Streetscape

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
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TREES			
	<i>Chitalpa x 'Pink Dawn'</i>	Chitalpa	24" Box
	<i>Dalbergia sissoo</i>	Sissoo	24" Box
	<i>Phoenix dactylifera</i>	Date Palm	24" Box
	<i>Pistacia chinensis</i>	Sarah's Radiance Pistache TM	24" Box

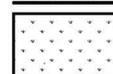
SHRUBS/ACCENTS			
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	<i>Bougainvillea 'La Jolla'</i>	La Jolla Bougainvillea	5 Gal
	<i>Dasylium quadrangulatum</i>	Mexican Grass Tree	5 Gal
	<i>Eremophila x Summertime Blue</i>	Summertime Blue	5 Gal
	<i>Euphorbia rigida</i>	Gopher Plant	5 Gal
	<i>Gossypium harknessii</i>	San Marcos Hibiscus	5 Gal
	<i>Hesperaloe parviflora 'Perpa' Brakelights®</i>	Crimson Yucca	5 Gal
	<i>Leucophyllum frutescens 'Compacta'</i>	Compact Texas Ranger	5 Gal
	<i>Muhlenbergia lindheimeri Autumn Glow®</i>	Lindheimer Muhly	5 Gal
	<i>Nerium oleander 'Petite Pink'</i>	Dwarf Pink Oleander	5 Gal
	<i>Russelia equisetiformis</i>	Coral Fountain	5 Gal
	<i>Senna nemophila</i>	Desert Cassia	5 Gal
	<i>Simmondsia chinensis 'Vista'</i>	Compact Jojoba	5 Gal
	<i>Tecoma stans 'Gold Star'</i>	Yellow Bells	5 Gal

GROUNDCOVERS			
--------------	--	--	--

	<i>Lantana x 'New Gold'</i>	New Gold Lantana	1 Gal
	<i>Myoporum parvifolium 'Dwarf'</i>	Dwarf Myoporum	1 Gal
	<i>Sphagneticola trilobata</i>	Yellow Dot	1 Gal

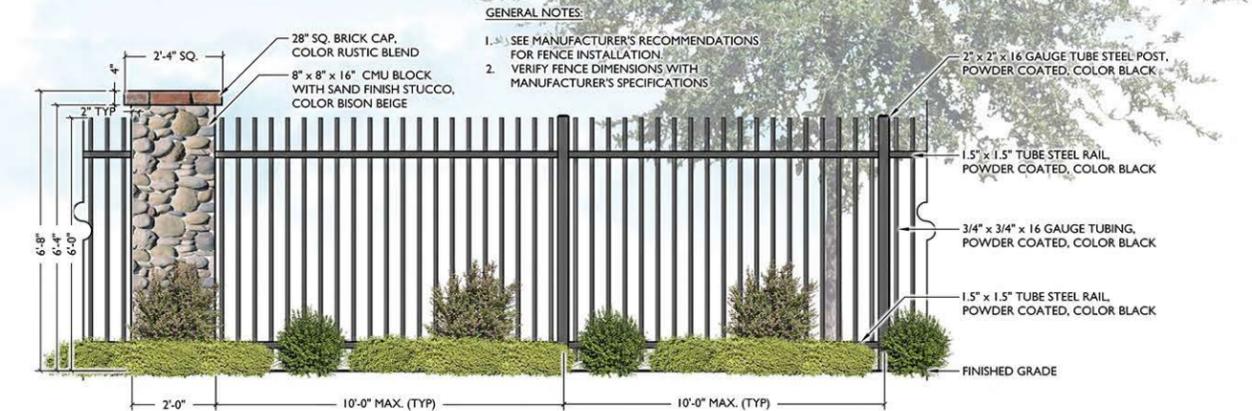
TURF & PERENNIALS			
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	<i>Cynodon dactylon 'Tifway 419'</i>	Tifway 419	Sod
	Seasonal annuals (4" pot @ 12" O.C. to be selected at time of planting)		



1 PRIMARY THEME WALL
Scale: 1/2" = 1' - 0"

2 SECONDARY THEME WALL
Scale: 1/2" = 1' - 0"



3 PARTIAL VIEW FENCE
Scale: 1/2" = 1' - 0"

4 FULL VIEW FENCE
Scale: 1/2" = 1' - 0"



STONE VENEER
Coronado Stone
Creek Rock - Apache Brown

CMU BLOCK
Superlite Block
Smooth, Color - Cocoa Brown

CMU BLOCK
Superlite Block
Smooth, Color - Bone

CMU BLOCK
Superlite Block
Split face, Color - Bone

STUCCO COLOR
Dunn Edwards
DEC 750 Bison Beige or Equal

METAL FENCE
Color Black or Equal

MULBERRY *Marketplace*



Commercial Design Guidelines

Major Tenant Rendering



Shops Building Rendering

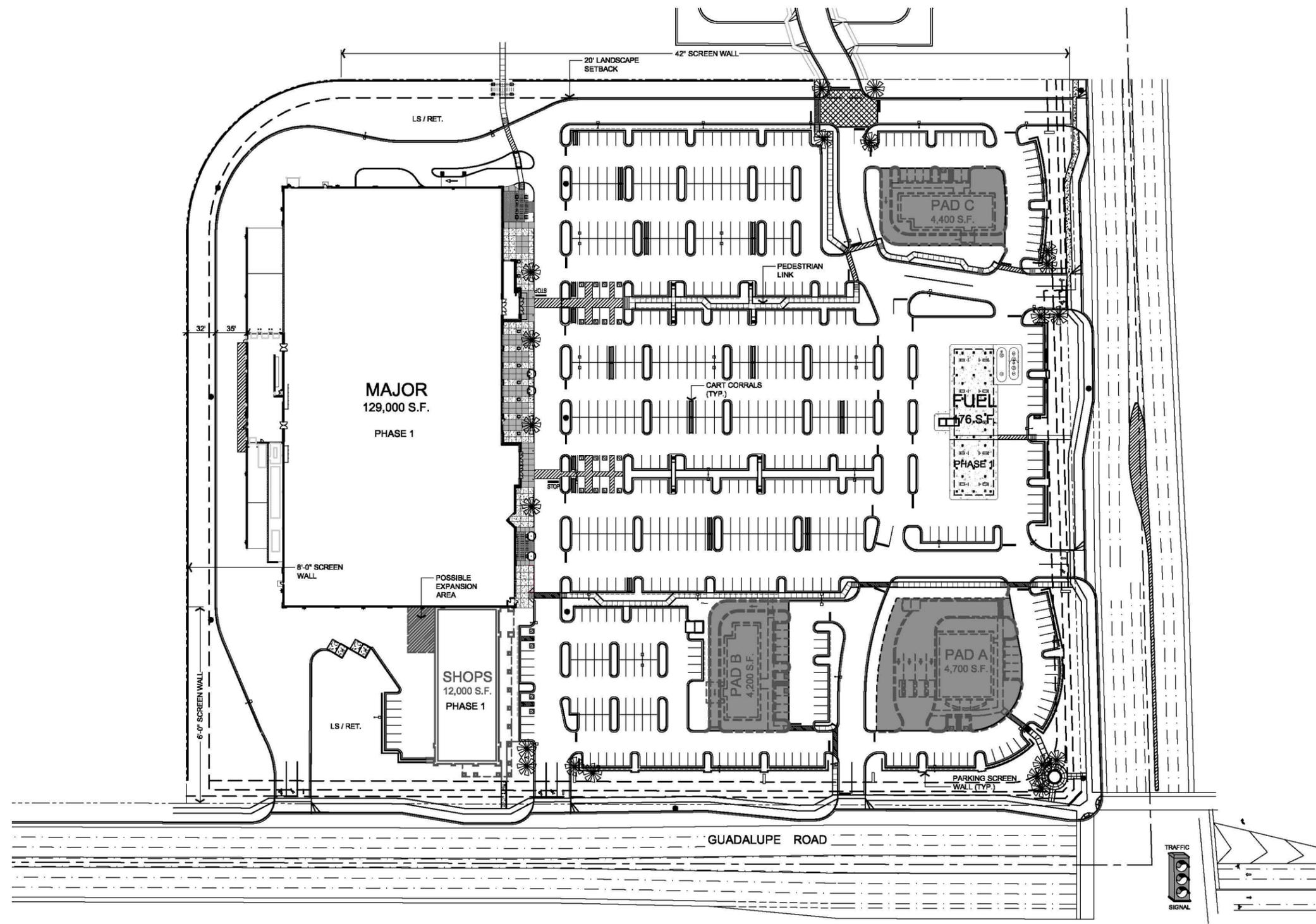
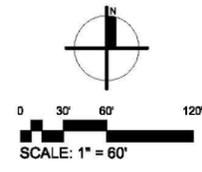




MULBERRY *Marketplace*

N.W.C. Signal Butte & Guadalupe

Mesa, Arizona



Legal Description

THE SOUTHEAST QUARTER AND THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP ONE SOUTH, RANGE SEVEN EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN MARICOPA COUNTY, ARIZONA.

Site Data

Existing Zoning:	RM-2
Proposed Zoning:	LC-PAD
APN#:	304-01-976A
Net Site Area:	768,391 S.F. (17.64 AC.)
Total Building Area:	154,476 S.F.
Coverage: (N.I.C. Mezz.)	20.1%
Parking Provided: (All parking min. 9' x 18'; Major parking 10' x 18')	620 Spaces
Parking Ratio:	4.0 / 1,000 S.F.

Proposed Heights

32'-0" (Plus Embellishments)
22'-0" - 24'-0" (Plus Embellishments)

Parking Breakdown

Major (Incl. Gas Kisok-176 S.F. & Mezz. 6,000 S.F.) (129,176 S.F. / 375 S.F.):	345 Spaces
Shops (8,000 S.F. / 375 S.F.) (4,000 S.F. / 75 S.F.):	22 Spaces 54 Spaces
Patio (1,000 S.F. / 200 S.F.):	5 Spaces
Pad A (4,700 S.F. / 375 S.F.):	12 Spaces
Pad B (4,200 S.F. / 100 S.F.):	42 Spaces
Pad C (4,400 S.F. / 100 S.F.):	44 Spaces
Total Parking Required:	524 Spaces
Total Parking Provided: (Incl.'s 26 ADA Spaces)	620 Spaces

■ FUTURE PHASES

MULBERRY Marketplace

N.W.C. Signal Butte & Guadalupe Road
Mesa, Arizona

Commercial Site Plan Data

Site Data

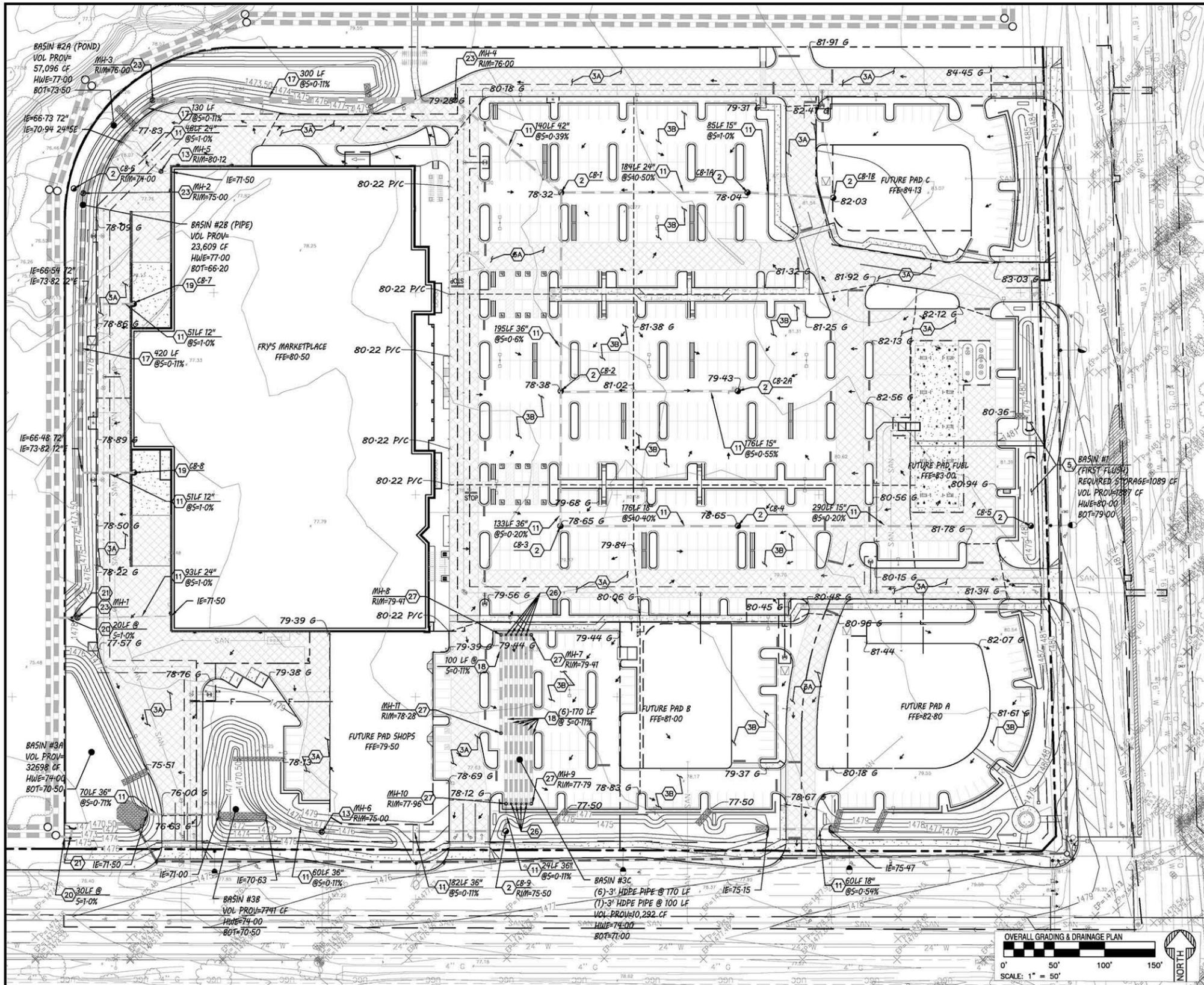
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Shops (8,000 S.F. / 375 S.F.):	22 Spaces
(4,000 S.F. / 75 S.F.):	54 Spaces
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Pad A (4,700 S.F. / 375 S.F.):	12 Spaces
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Pad C (4,400 S.F. / 100 S.F.):	44 Spaces
Total Parking Required:	524 Spaces
Total Parking Provided: (Incl.'s 26 ADA Spaces)	620 Spaces



CONSTRUCTION NOTES

- 1 MATCH EXISTING GRADE, CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO ANY CONSTRUCTION ACTIVITIES AND TO CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 FURNISH & INSTALL 30" NYLOPLAST CATCH BASIN WITH TRAFFIC RATED GRATE. REFER TO DETAIL ON SHEET C3-60.
- 3A CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT SECTION PER GEOTECH RECOMMENDATION. REFER TO DETAIL ON SHEET C3-60.
- 3B CONSTRUCT LIGHT DUTY ASPHALT PAVEMENT SECTION PER GEOTECH RECOMMENDATION. REFER TO DETAIL ON SHEET C3-60.
- 4 CONSTRUCT CONCRETE PAD, REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- 5 BIOSWALE. REFER TO DETAIL ON SHEET C3-60.
- 6 2% MAXIMUM CROSS SLOPE ACROSS FUEL CENTER'S CONCRETE PAD AND ACROSS ADA PARKING SPACES.
- 7 CONSTRUCT 6" CURB/GUTTER PER M-A-G STANDARD DETAIL 220 TYPE A.
- 8 SCREEN WALL (TYP.) REFER TO DETAIL ARCHITECTURAL PLANS.
- 9 CURB OPENING. WIDTH PER PLAN.
- 10 FURNISH & INSTALL CATCH BASIN PER MAG STD DET 533-1.
- 11 FURNISH & INSTALL HDPE STORM PIPE. SLOPE & DIA. PER PLAN.
- 12 FURNISH & INSTALL RCP STORM PIPE. SLOPE & DIA. PER PLAN.
- 13 FURNISH & INSTALL STORM DRAIN MANHOLE PER MAG 520 & 522.
- 14 FURNISH & INSTALL RIP-RAP. D₅₀=6", 12" DEPTH, DIMENSIONS PER PLAN. REFER TO DETAIL ON SHEET C3-60.
- 15 FURNISH AND INSTALL FLARED END SECTION.
- 16 FURNISH AND INSTALL SIDEWALK PER MAG 5D DET 230.
- 17 FURNISH AND INSTALL 72" CMP. REFER TO DETAIL ON SHEET C3-70.
- 18 FURNISH AND INSTALL 36" DIAMETER HDPE STORAGE PIPE.
- 19 FURNISH & INSTALL NEENAH R-3165 COMBINATION INLET OR APPROVED EQUAL. REFER TO KROGER STD DET ASD-11 4A AND ARCHITECTURAL PLANS.
- 20 FURNISH & INSTALL 8" D-I-P @ 5%, LENGTH PER PLAN.
- 21 FURNISH & INSTALL 8" GATE VALVE, BOX & COVER. PER MAG STD DET 391-1. REPLACE "WATER" COVER WITH "STORM" COVER.
- 22 FURNISH & INSTALL EXTRUDED CURB.
- 23 FURNISH & INSTALL STORM DRAIN MANHOLE PER MAG STD DET 521 & 522 WITH 30" FRAME AND COVER PER MAG STD DET 423-2.
- 24 FURNISH & INSTALL 30" CMP RISER WITH FRAME AND COVER PER PIPE MANUFACTURER DETAIL ON SHEET C3-70.
- 25 FURNISH & INSTALL HEADWALL PER MAG STD DET 501-4.
- 26 FURNISH & INSTALL 18" NYLOPLAST INLINE RISER WITH VENTED LID AND CONCRETE COLLAR. REFER TO DETAIL ON SHEET C3-70.
- 27 FURNISH & INSTALL 24" NYLOPLAST INLINE RISER WITH VENTED LID AND CONCRETE COLLAR. REFER TO DETAIL ON SHEET C3-70.
- 28 FURNISH & INSTALL 5' CONCRETE JUNCTION BOX PER MAG STD DET 504.

STRUCTURE SCHEDULE

ID	INVERT	ID	INVERT
CB-1	71-71 24" E	MH-1	66-00 8" W, 72" N
	71-51 42" NW		70-58 24" E
	71-91 36" S	MH-2	66-66 72" S&E, 24" NW
CB-1A	73-63 24" W	MH-3	66-79 72" SW&E
	74-23 18" E	MH-4	67-12 72" W
CB-1B	75-08 18" W	MH-5	70-96 42" SE
	74-48 15" E	MH-6	70-70 36" NW&E
CB-2	73-08 36" N&S	MH-7	71-13 36" S&W
	74-55 18" E	MH-8	71-11 36" S&E
CB-3	73-35 36" N	MH-9	70-95 36" N&W
	75-25 18" W	MH-10	70-92 36" N, S, & E
	75-45 15" E	MH-11	71-21 36" N
CB-4	75-03 15" W		
	74-33 12" W		
CB-5	66-76 24" SE		
CB-7	74-33 12" W		
CB-8	74-33 12" W		
CB-9	70-90 36" N&W		

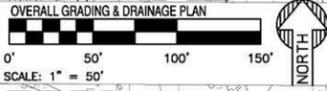
REQUIRED STORAGE VOLUME = 130,158 CF
 PROVIDED STORAGE VOLUME = 131,436 CF

GRADING NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
2. PROPOSED SPOT ELEVATIONS SHOWN REPRESENT FINISHED PAVING, SIDEWALK, SLAB, GUTTER FLOWLINE, OR GROUND ELEVATION. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
5. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE STABILIZED.
6. IF STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS ARE STOCKPILED ON THE SITE, THESE MATERIALS MAY BE PLACED TO A HEIGHT OF FIVE FEET. SILT FENCE SHALL BE PLACED AROUND THE BASE OF THE STOCKPILE AND THE STOCKPILE SHALL BE SEEDED WITH NATIVE SEED MIX IMMEDIATELY AFTER STRIPPING OPERATIONS ARE COMPLETE.
7. IF APPLICABLE, LIME TREATED SUBGRADE MATERIAL SHOULD MEET ARIZONA HIGHWAY DEPARTMENT SPECIFICATIONS. A SPECIFIC MIX DESIGN SHOULD BE PREPARED BY THE GEOTECHNICAL CONSULTANT.
8. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO PROPOSED GRADE PRIOR TO PLACEMENT OF THE FINAL LIFT OF ASPHALT.
9. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE SOILS REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE SOILS REPORT ON THE SITE AT ALL TIMES.
10. SUBGRADE WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN SUBGRADE ELEVATION. HOWEVER, ON THE FINISHED ASPHALT SURFACE, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

GRADING NOTES CONTINUED:

11. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPES AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR THE TYPICAL SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURED WITHOUT APPROVAL OF THE ENGINEER.
12. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
13. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES TO ENSURE NO STANDING WATER.
14. PROVIDE THICKENED PAVEMENT TRANSITION AROUND STRUCTURES AND AT OPEN EDGE OF PAVEMENT SECTION.
15. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
16. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
17. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
18. THE CONTRACTOR IS ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT HE SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE PROJECT AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.



SEAL

SUSTAINABILITY
ENGINEERING
GROUP

SEG



Fry's Food Stores of Arizona
500 South 98th Avenue, Bldg. A
Tulsa, AZ 85355
Phone: (902) 907-1994
Fax: (902) 907-1974

The Kroger Co.
10251 East 51st Street, Suite A
Denver, CO 80239
Phone: (303) 715-5917
Fax: (303) 715-5905

PROJECT: MULBERRY MARKETPLACE
LOCATION: NMC E GUADALUPE RD & S SIGNAL BUTTE RD MESA, AZ

DESIGN: MILES
CHECKED: MILES
PROJECT WORK: COUNSELL
FAKIH

DATE: 09-11-2014

ISSUED FOR: DRB

REVISION NO.: DATE:

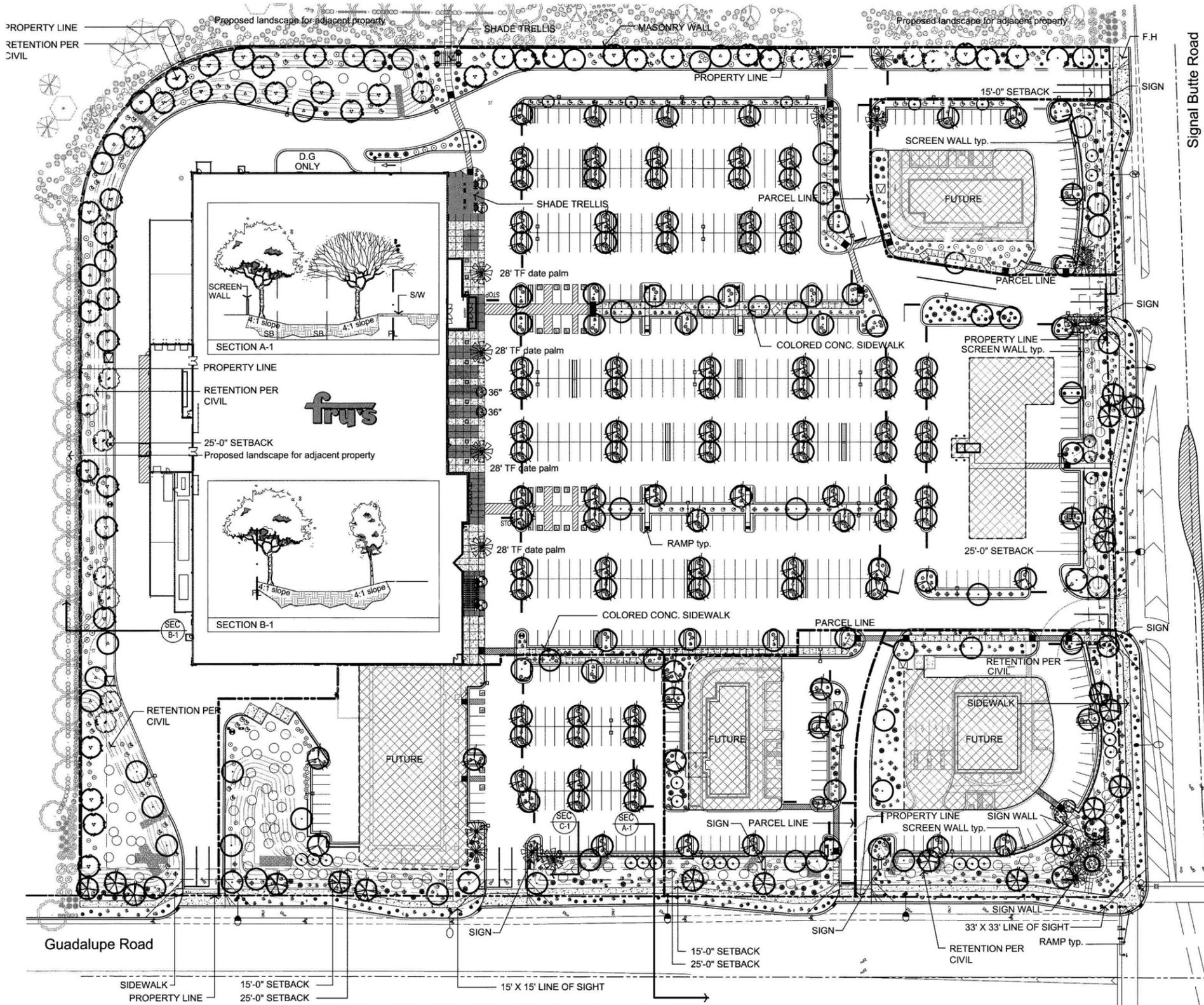
JOB NO.: CD140186

SHEET TITLE: OVERALL GRADING & DRAINAGE PLAN

SHEET NO.: C3.00



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LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED) All tree caliper required at time of planting

TREES	SIZE / CLPR / HT.	SHRUBS / ACCENTS / VINES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box 36" Box low breaking stand.	Tecoma stans "Gold Star" Yellow Bells	5 Gallon
Pinus eiderica Mondel Pine	15 Gallon stand.	Bougainvillea "Torch Glow" Torch Glow Bougainvillea	5 Gallon
Acacia farnesiana Sweet Acacia	24" Box stand.	Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Acacia salicina Willow Acacia	24" Box stand.	Eremophila maculata "Valentine" Valentine Bush	5 Gallon
Quercus virginiana "Heritage" Southern Live Oak	24" Box stand.	Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	24" Box 36" Box multi.	Hesperaloe parviflora "Brakelight" Red Yucca	5 Gallon
Phoenix dactylifera Date Palm	18" Trunk Feet straight trunk diamond cut, matching	Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Acacia stenophylla Shoestring Acacia	24" Box stand.	Dasyliroon quadrangulatum Mexican Tree Grass	5 Gallon
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box	Euphorbia rigida Gopher Plant	5 Gallon
		Macfadyena unguis-cati Cat Claw Vine	5 Gallon
		GROUNDCOVERS	SIZE
		Lantana montevidensis Trailing Lantana "Purple & New Gold"	1 Gallon 50/50 mix
		Convolvulus cneorum Bush Morning Glory	1 Gallon
		Acacia redolens desert Carpet	1 Gallon

CITY OF MESA LANDSCAPE GENERAL NOTES:

- ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE.
- ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- THE HEIGHTS AND CALIPERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT SIZE AND TYPE OF TREE.
- REQUIRED TREES AND SHRUBS SHALL BE PROVIDED PER THE SITE CALCULATIONS.
- REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRED SHRUBS SHALL BE 5 GALLON SIZE.
- PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF THE ABOVE CALCULATIONS. TREES AND SHRUBS MAY BE CLUSTERED.
- 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.
- 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND PARKING SHALL BE INSTALLED AT EACH END OF ROW OF STALL AND IN BETWEEN FOR MAX. MUM OF EIGHT CONTIGUOUS PARKING SPACES.
- INSTALLATION OF THE FOUNDATION LANDSCAPING SHALL MEET THE CALCULATIONS PROVIDED.
- THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA. LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.
- ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.
- ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOCIATION OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS.
- ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'.
- RIP-RAP MUST BE OF NATURAL MATERIALS MATCHING D.G. COLORS. CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR.
- TREES SHALL BE PLANTED AT LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED AT LEAST 7' AWAY FROM ANY STREET LIGHT POLE OR LOCATION.

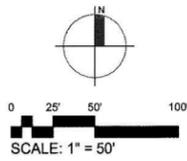
09-09-14
13155-ST17

MULBERRY Marketplace

N.W.C. Signal Butte & Guadalupe Road
Mesa, Arizona

CONCEPTUAL LANDSCAPE PLAN

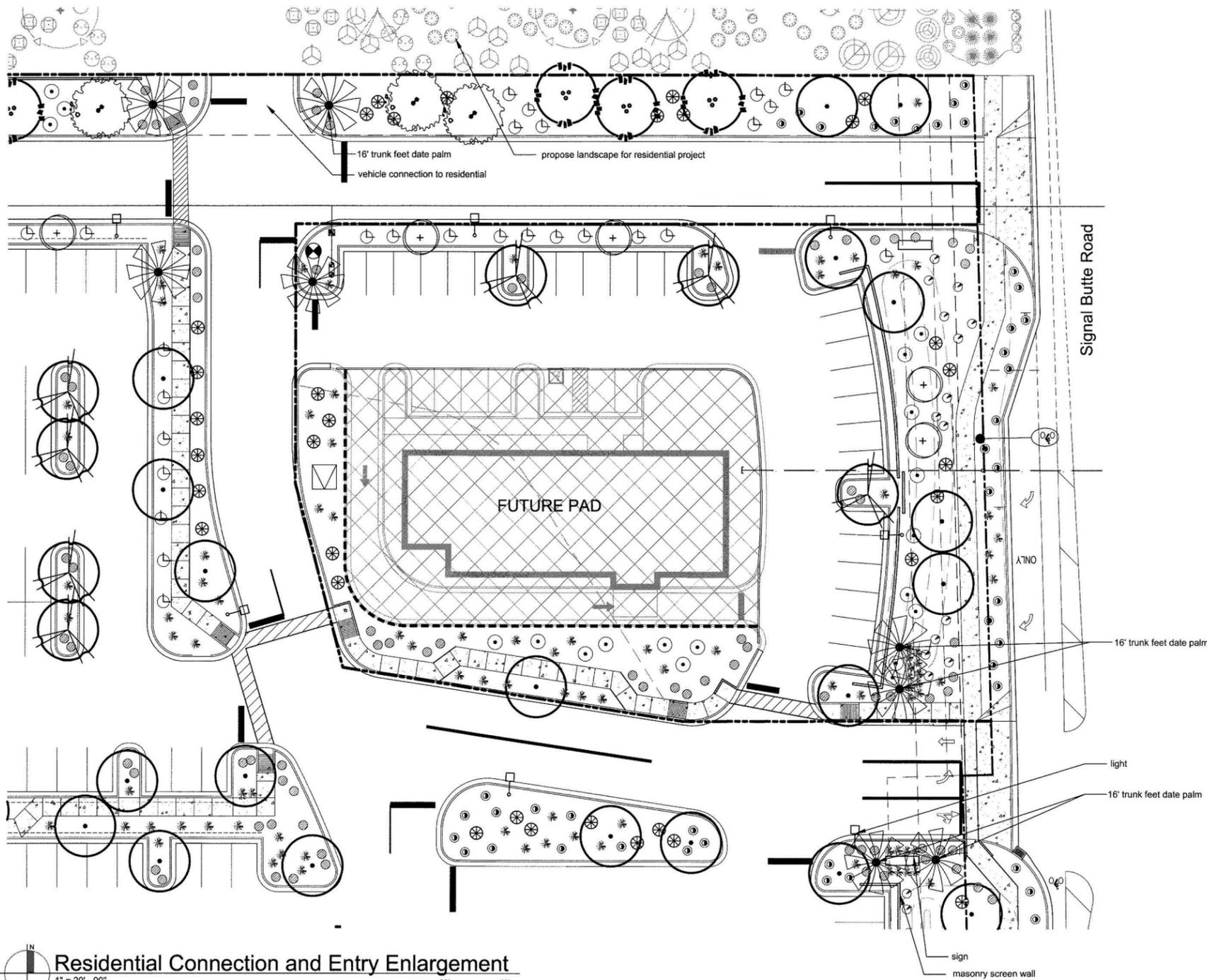
BROWN GROUP, INC



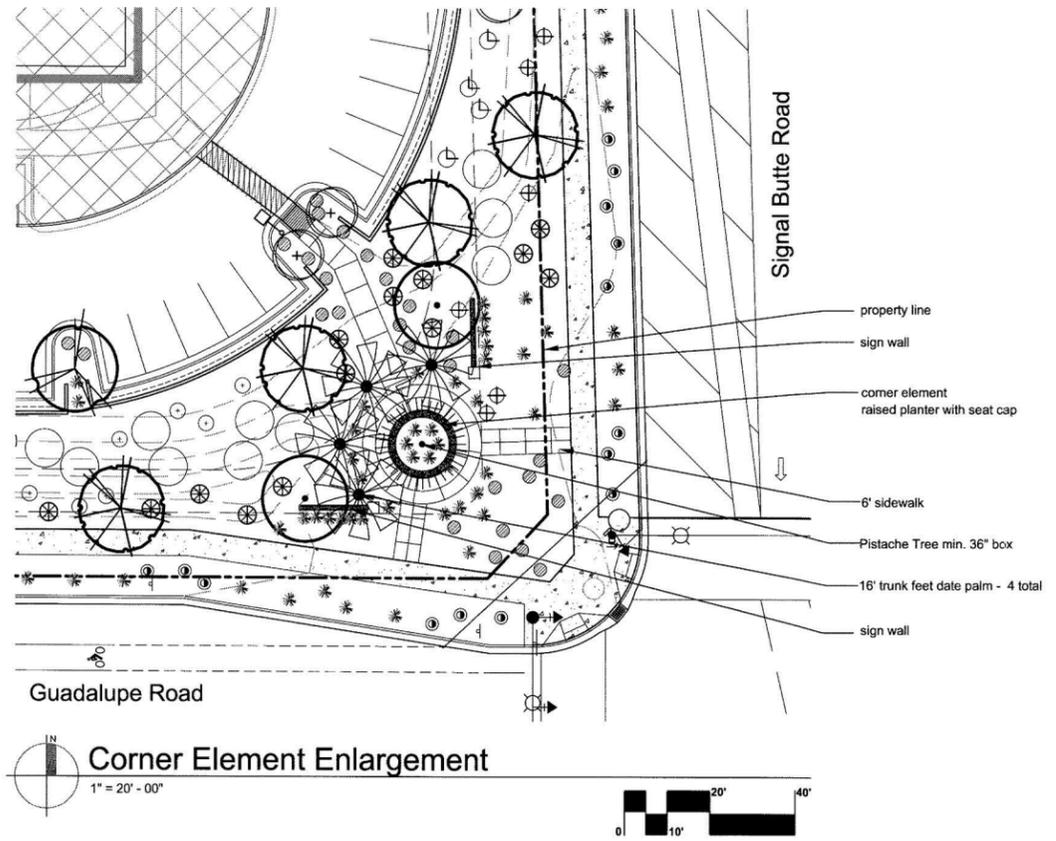
LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 239
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 940-9021
www.laskin.design.com



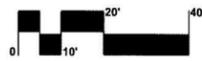
Butler Design Group, Inc
architects & planners



Residential Connection and Entry Enlargement
 1" = 20' - 00"
 0 10' 20' 40'



Corner Element Enlargement
 1" = 20' - 00"



LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
 (U.O.N. - UNLESS OTHERWISE NOTED) All tree caliper required at time of planting

TREES	SIZE / CLPR / HT.	SHRUBS / ACCENTS / VINES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box 36" Box low breaking stand.	Tecoma stans "Gold Star" Yellow Bells	5 Gallon
Pinus eldarica Mondel Pine	15 Gallon stand.	Bougainvillea "Torch Glow" Torch Glow Bougainvillea	5 Gallon
Acacia farnesiana Sweet Acacia	24" Box stand.	Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Acacia salicina Willow Acacia	24" Box stand.	Eremophila maculata "Valentine" Valentine Bush	5 Gallon
Quercus virginiana "Heritage" Southern Live Oak	24" Box stand.	Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	24" Box 36" Box multi.	Hesperaloe parviflora "Brakelight" Red Yucca	5 Gallon
Phoenix dactylifera Date Palm	18" Trunk Feet straight trunk diamond cut, matching	Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Acacia stenophylla Shoestring Acacia	24" Box stand.	Dasyliroton quadrangulatum Mexican Tree Grass	5 Gallon
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box	Euphorbia rigida Gopher Plant	5 Gallon
		Macfadyena unguis-cati Cat Claw Vine	5 Gallon
		GROUNDCOVERS	SIZE
		Lantana montevidensis Trailing Lantana 'Purple & New Gold'	1 Gallon 50/50 mix
		Convolvulus cneorum Bush Morning Glory	1 Gallon
		Acacia redolens desert Carpet	1 Gallon
		Decomposed Granite (Match color & size to adjacent property) 1/2" select Table Mesa Brown or equal 2" min thickness in all landscape areas Submit samples to Landscape Architect 13155-ST17	09-09-14

MULBERRY Marketplace

N.W.C. Signal Butte & Guadalupe Road
 Mesa, Arizona

CONCEPTUAL LANDSCAPE PLAN



Butler Design Group, Inc.
 architects & planners

LANDSCAPE PALETTE

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE
Ulmus parvifolia Evergreen Elm	24" Box and 36" Box low breaking stand.
Pinus eldarica Mondel Pine	15 Gallon stand.
Acacia farnesiana Sweet Acacia	24" Box stand.
Acacia salicina Willow Acacia	24" Box stand.
Quercus virginiana 'Heritage' Southern Live Oak	24" Box stand.
Caesalpinia mexicana Mexican Bird of Paradise	24" Box and 36" Box multi.
Phoenix dactylifera Date Palm	16' and 28' Trunk Feet straight trunk diamond cut, matching
Acacia stenophylla Shoestring Acacia	24" Box stand.
Pistacia Chinensis Sarah's Radiance Pistache tm	36" Box

SHRUBS / ACCENTS / VINES

Tecoma stans " Gold Star" Yellow Bells	5 Gallon
Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5 Gallon
Leucophyllum frutescens "compacta" Compact Texas Sage	5 Gallon
Eremophila maculata `Valentine` Valentine Bush	5 Gallon
Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Hesperaloe parviflora 'Brakelight' Red Yucca	5 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon
Dasyllirion quadrangulatum Mexican Tree Grass	5 Gallon
Euphorbia rigida Gopher Plant	5 Gallon
Macfadyena unguis-cati Cat Claw Vine	5 Gallon

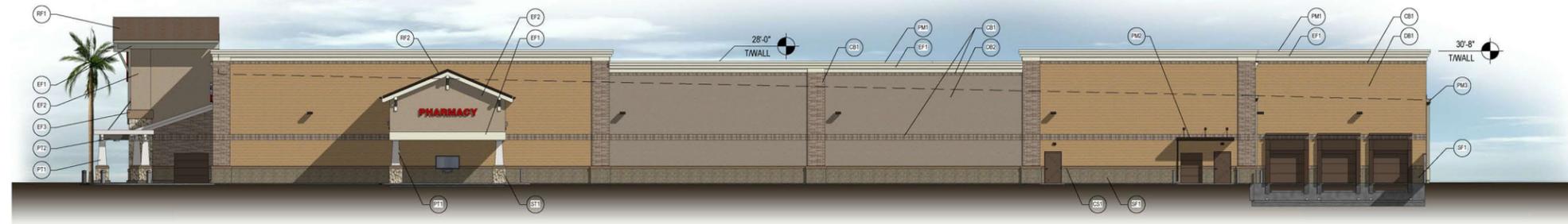
GROUNDCOVERS

Lantana montevidensis Trailing Lantana 'Purple & New Gold '	1 Gallon
Convolvulus cneorum Bush Morning Glory	1 Gallon
Acacia redolens desert Carpet	1 Gallon

Decomposed Granite (Match color & size to adjacent property)
1/2" select Table Mesa Brown or equal
2" min thickness in all landscape areas
Submit samples to Landscape Architect



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

MATERIALS LEGEND	
(CB1) CAST BRICK - QUIK-BRIK - AUTUMN BLEND	(AL1) ANODIZED ALUMINUM - DARK BRONZE
(CS1) CAST STONE - CORONADO - BROWNSTONE	(RF1) CONCRETE ROOF TILE - BORAL - MONTEREY SHAKE 600 - SILVER LAKE BLEND
(SF1) SPLIT-FACE CMU - ANGELUS BLOCK - SPLIT-FACE - HARVEST	(RF2) STANDING SEAM METAL - BERRIAGE - DARK BRONZE
(DB1) INTEGRALLY COLORED CMU - ANGELUS BLOCK - PRECISION - SHORELINE	(PT1) PAINT - SHERWIN WILLIAMS SW 6000
(DB2) INTEGRALLY COLORED CMU - ANGELUS BLOCK - PRECISION - COOL GRAY	(PT2) PAINT - SHERWIN WILLIAMS SW 7645
(ST1) STONE VENEER - CORONADO - CREEK ROCK - APACHE BROWN	(PM1) PREFINISHED METAL - BERRIAGE - PARCHMENT
(FC1) PAINTED FIBER-CEMENT SHAKE - COLOR TO MATCH SW 0042	(PM2) PREFINISHED METAL - BERRIAGE - DARK BRONZE
(EF1) EIFS - COLOR TO MATCH SW 7531	(PM3) PREFINISHED METAL - BERRIAGE - SIERRA TAN
(EF2) EIFS - COLOR TO MATCH SW 7549	
(EF3) EIFS - COLOR TO MATCH SW 7522	



SOUTH ELEVATION



September 8, 2014

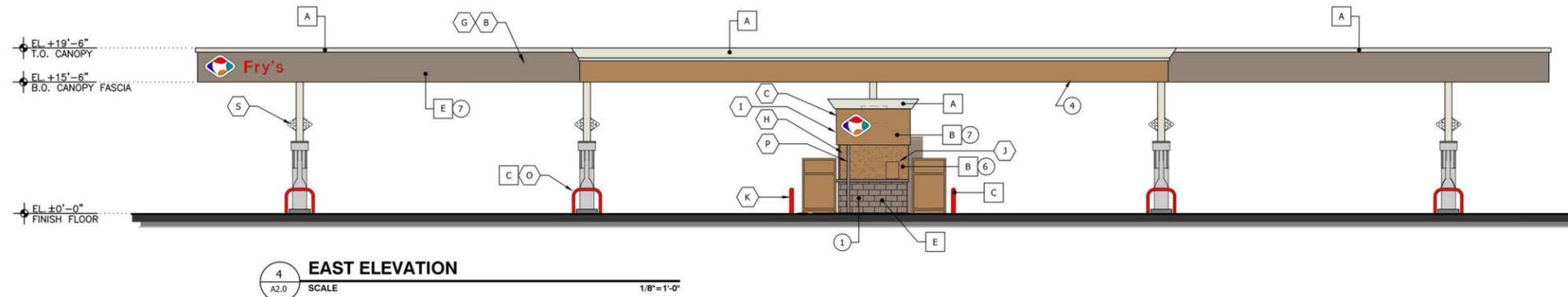
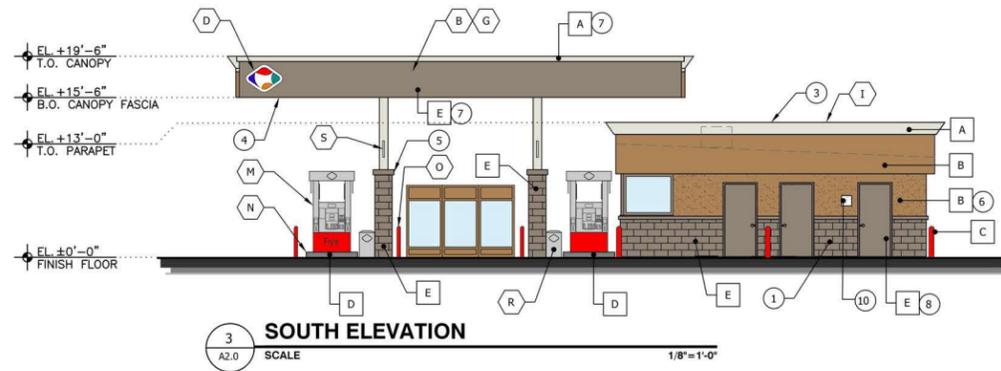
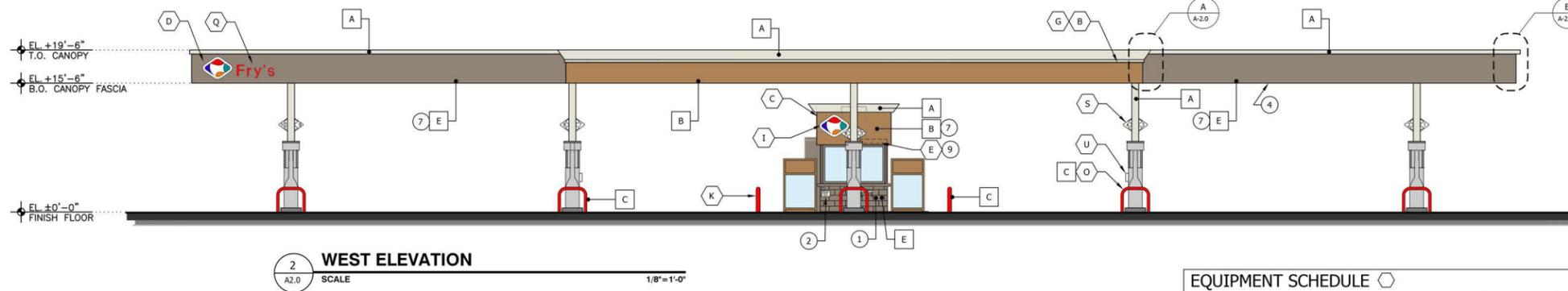
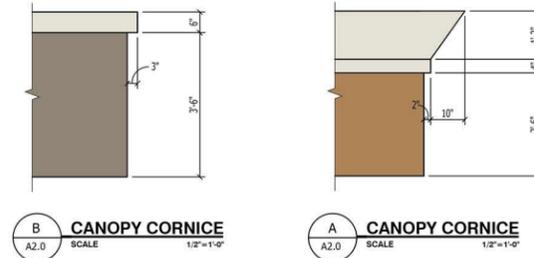
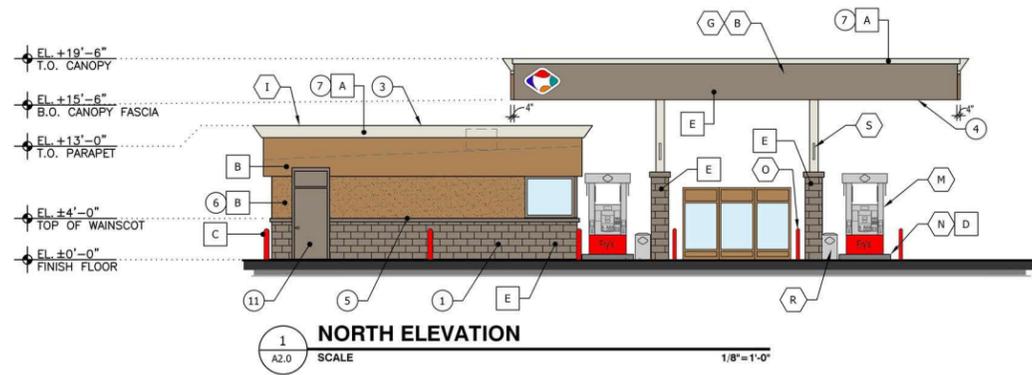
Fry's Store FRY686

Mesa, AZ
514505.03



NWC Guadalupe and Signal Butte - Mesa, AZ





GENERAL NOTES:

- A. CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
- C. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
- D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.

KEYED NOTES:

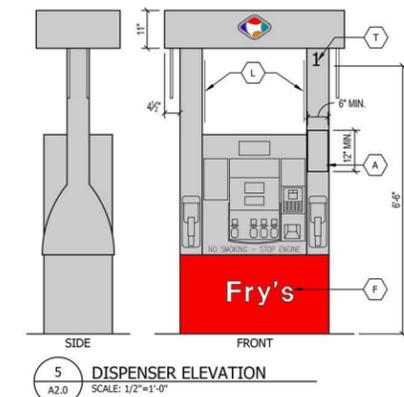
1. CMU CAST PANEL AND SILL CAP MATCH.
2. EMERGENCY STOP SWITCH.
3. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
4. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
5. 4" CAPSTONE.
6. EIFS FINISH.
7. TEXTCOTE FINISH OVER (ACM) PANEL.
8. H.M. DOOR AND FRAME.
9. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.M. DETAIL 50 5.1.
10. PROVIDE 4" MIN. NO SMOKING SIGN AGE PER C.O.M. NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
11. FIRE RISER ENCLOSURE.

FINISH LEGEND:

- A MATCH SHERWIN WILLIAMS 7531
- B MATCH ANGELUS BLOCK PRECISION - SHORELINE
- C SHERWIN WILLIAMS 4081 "SAFETY RED"
- D SHERWIN WILLIAMS 4107 "GRAPHITE"
- E MATCH ANGELUS BLOCK PRECISION - COOL GREY

EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" H X 6" W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	LOGO - NON-ILLUMINATED (28" H X 37 1/2" W)		DUALITE		OWNER	SIGN INSTALLER
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
F	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
G	CANOPY FASCIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
H	KIOSK - PREFABRICATED	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
I	KIOSK FASCIA	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
J	ELECTRICAL DISCONNECTS				GENERAL CONTRACTOR	GENERAL CONTRACTOR
K	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
L	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
M	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
N	ISLAND FORMS - G.C. TO PAINT	GRAPHITE SW4107	OPW		OWNER	GENERAL CONTRACTOR
O	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
P	3"x2" DOWNSPOUT - PAINT TO MATCH WALL		SAGEBRUSH		KIOSK FABRICATOR	KIOSK FABRICATOR
Q	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
R	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
S	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
T	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
U	FIRE EXTINGUISHER				OWNER	GENERAL CONTRACTOR





SHOPS | FRY'S

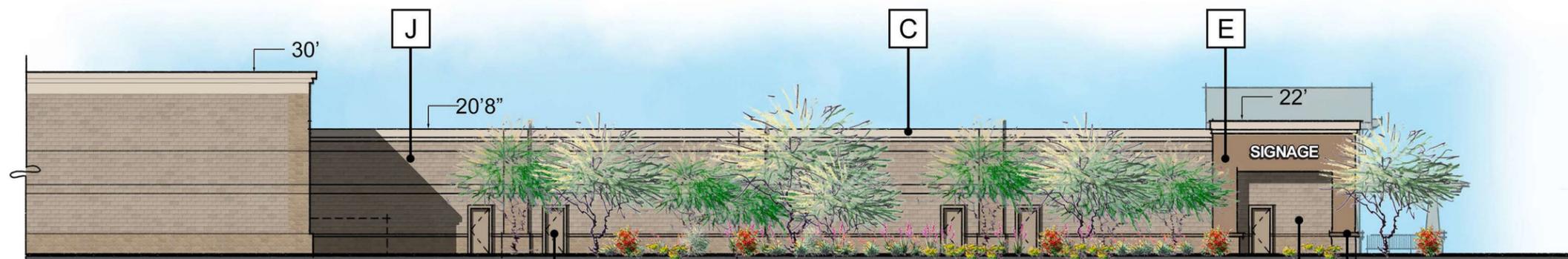
FRY'S EAST ELEVATION



SHOPS SOUTH ELEVATION

SHOPS EAST ELEVATION

FRY'S



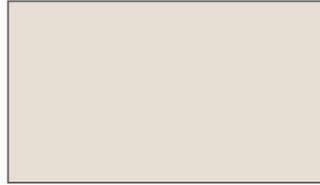
SHOPS WEST ELEVATION

FRY'S

MULBERRY *Marketplace*

N.W.C. Signal Butte & Guadalupe
Mesa, Arizona

Materials Palette

A PT1
 SW 6000
 SNOWFALL
 BY SHERWIN WILLIAMS

G
 HARDIE SHINGLE
 OR EQUAL

SF1
 CMU
 ANGELUS BLOCK
 SPLITFACE
 HARVEST

RF2
 STANDING
 SEAM METAL
 BERRIDGE
 DARK BRONZE

B FC1
 SW 0042
 RUSKIN ROOM GREEN
 BY SHERWIN WILLIAMS

H
 STONE VENEER
 CORONADO
 CREEK ROCK
 APACHE BROWN

DB1
 CMU
 ANGELUS BLOCK
 PRECISION
 SHORELINE

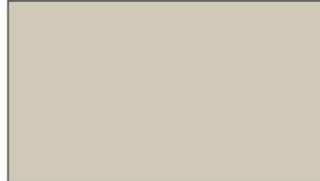
PM1
 PREFINISHED
 METAL
 BERRIDGE
 PARCHMENT

C EF1
 SW 7531
 CANVAS TAN
 BY SHERWIN WILLIAMS

I
 CMU BLOCK TYPE A
 SUPERLITE
 FOUNDER FINISH
 COLOR-DESERT

DB2
 CMU
 ANGELUS BLOCK
 PRECISION
 COOL GREY

PM2
 PREFINISHED
 METAL
 BERRIDGE
 DARK BRONZE

D EF2
 SW 7549
 STUDIO TAUPE
 BY SHERWIN WILLIAMS

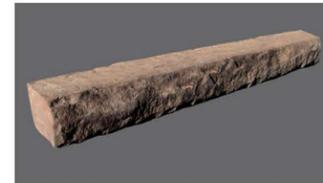
J
 CMU BLOCK TYPE B
 SUPERLITE
 SMOOTH FACE
 COLOR-BONE

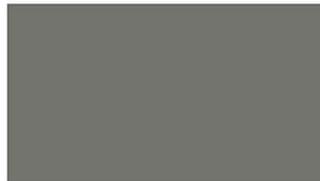
CB1
 CAST BRICK
 QUIK BRIK
 AUTUMN BLEND

PM3
 PREFINISHED
 METAL
 BERRIDGE
 SIERRA TAN

E EF3
 SW 7522
 MEADOWLARK
 BY SHERWIN WILLIAMS

K
 CMU BLOCK TYPE C
 SUPERLITE
 SPLITFACE
 HARVEST BROWN

CS1
 CAST STONE
 CORONADO
 BROWNSTOWN

F PT2
 SW 7645
 THUNDER GREY
 BY SHERWIN WILLIAMS

L RF1
 RAMADA CONCRETE
 ROOF TILE
 CORAL ROOFING
 MONTEREY SHAKE 600
 SILVER LAKE BLEND

AL1
 ANODIZED
 ALUMINUM
 DARK BRONZE



- 8" x 2" x 16" SMOOTH FACE CMU CAP
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU ACCENT BANDS
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SPLITFACE CMU ACCENT BANDS
COLOR: BONE (TYP)
TEXTURE ON RESIDENTIAL SIDE
FINISH BOTH SIDES
- 8" x 8" x 16" SMOOTH FACE CMU
COLOR: BONE (TYP)
- FINISHED GRADE AT PROPERTY LINE
(OR HIGH WATER LINE AT RETENTION)

A 8'-0" Wall
SPLITFACE ON RESIDENTIAL SIDE

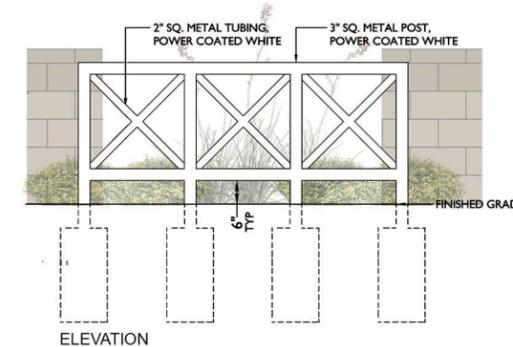


KEY PLAN

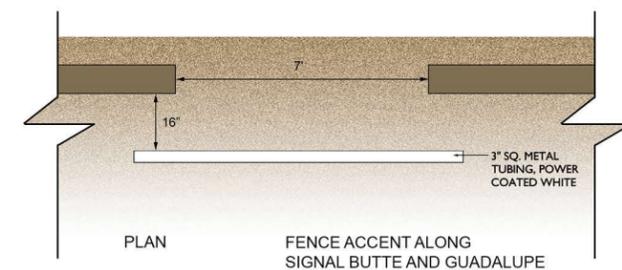


- 8" x 2" x 16" SMOOTH FACE CMU CAP
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU ACCENT BANDS
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SPLITFACE CMU ACCENT BANDS
COLOR: BONE (TYP)
TEXTURE ON RESIDENTIAL SIDE
FINISH BOTH SIDES
- 8" x 8" x 16" SMOOTH FACE CMU
COLOR: BONE (TYP)
- FINISHED GRADE AT PROPERTY LINE
(OR HIGH WATER LINE AT RETENTION)

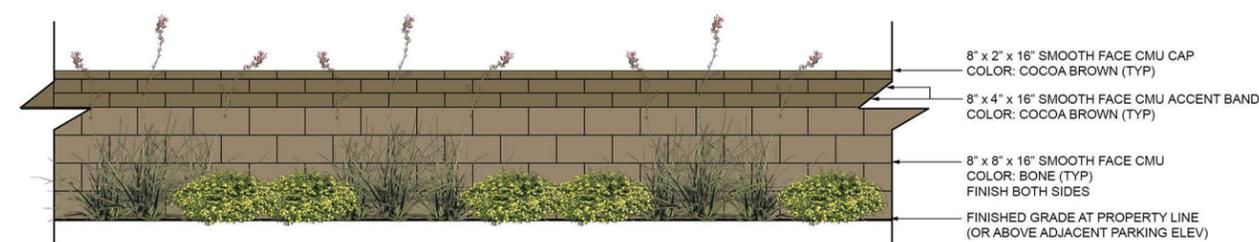
B 6'-0" Wall
SPLITFACE ON RESIDENTIAL SIDE



D SCREEN WALL / PATIO RAILING

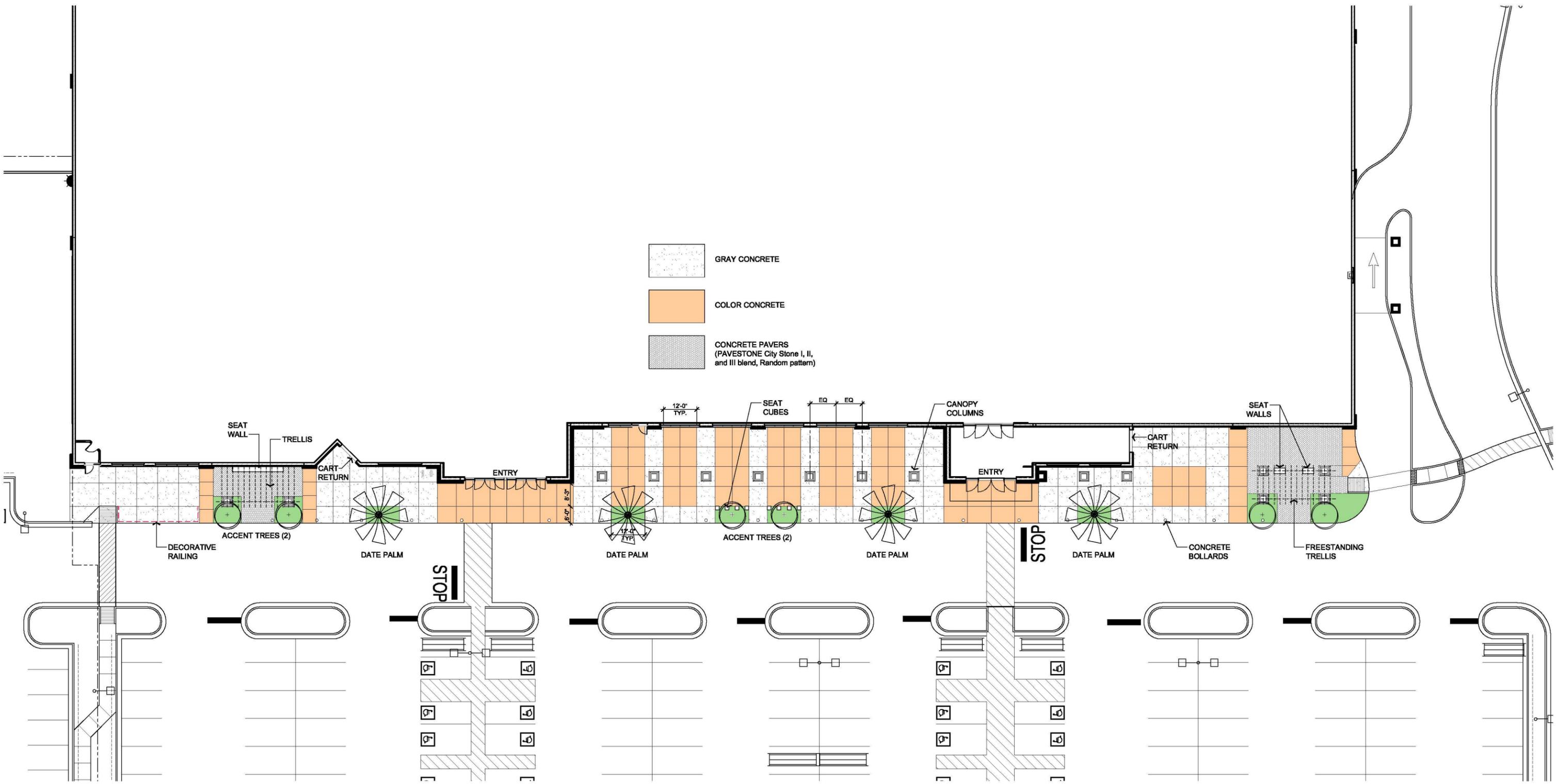


FENCE ACCENT ALONG
SIGNAL BUTTE AND GUADALUPE



- 8" x 2" x 16" SMOOTH FACE CMU CAP
COLOR: COCOA BROWN (TYP)
- 8" x 4" x 16" SMOOTH FACE CMU ACCENT BANDS
COLOR: COCOA BROWN (TYP)
- 8" x 8" x 16" SMOOTH FACE CMU
COLOR: BONE (TYP)
FINISH BOTH SIDES
- FINISHED GRADE AT PROPERTY LINE
(OR ABOVE ADJACENT PARKING ELEV)

C 42" Wall
36" Parking Screen Walls Sim



- GRAY CONCRETE
- COLOR CONCRETE
- CONCRETE PAVERS
(PAVESTONE City Stone I, II, and III blend, Random pattern)

HARDSCAPE PLAN
1/16" = 1'-0"

09-09-14
13155-Site-hardscape

MULBERRY *Marketplace*

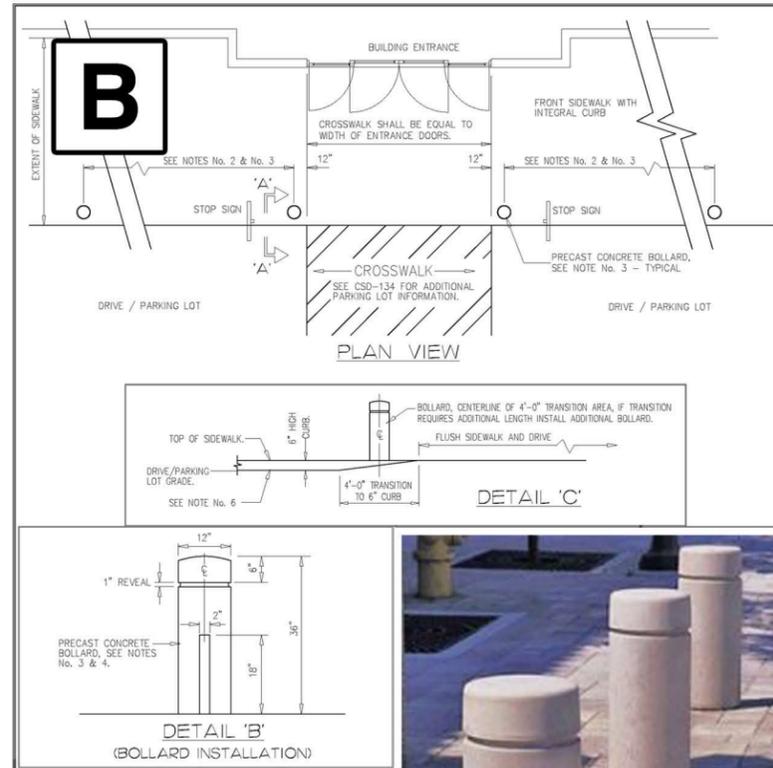
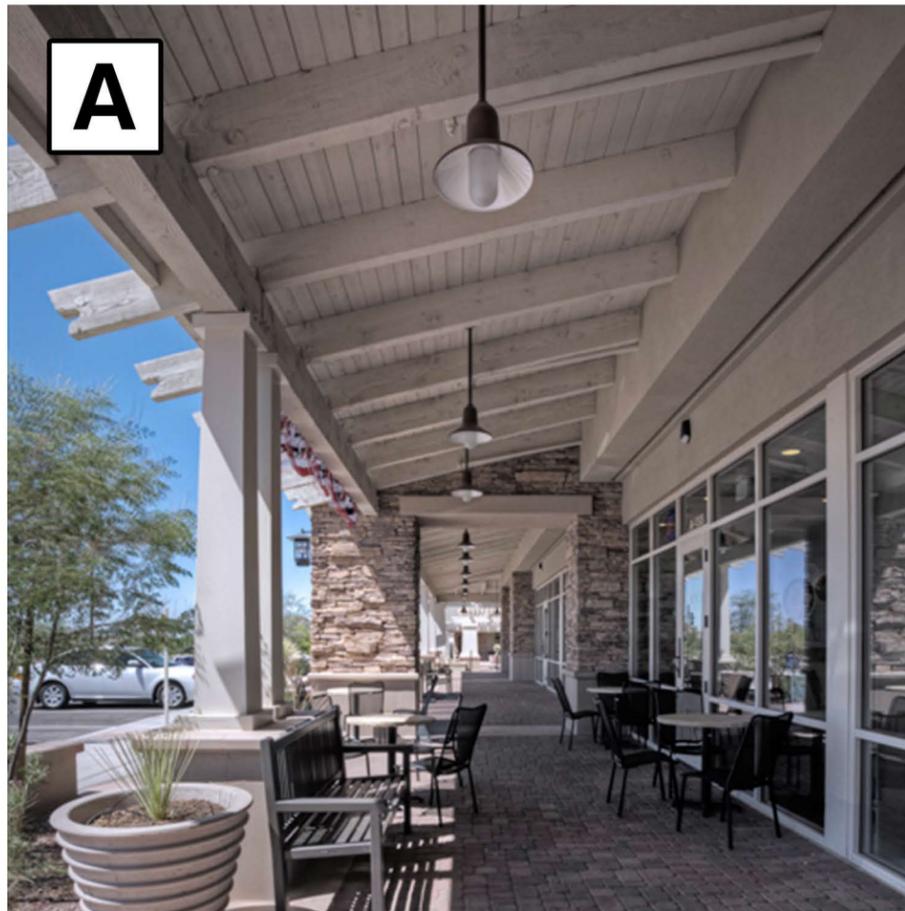
N.W.C. Signal Butte & Guadalupe Road
Mesa, Arizona

Major Tenant Architectural Details



MULBERRY STEEL FENCE
DETAIL (PATIO HANDRAIL)

EAST ELEVATION



Trellis Character



MULBERRY

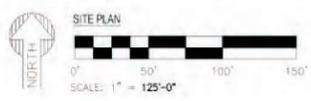
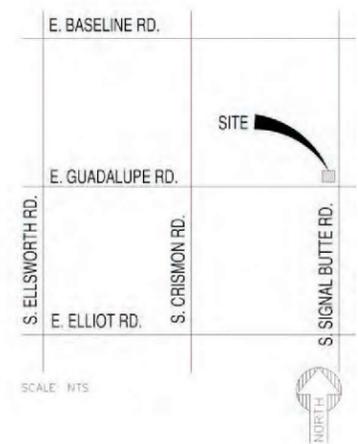
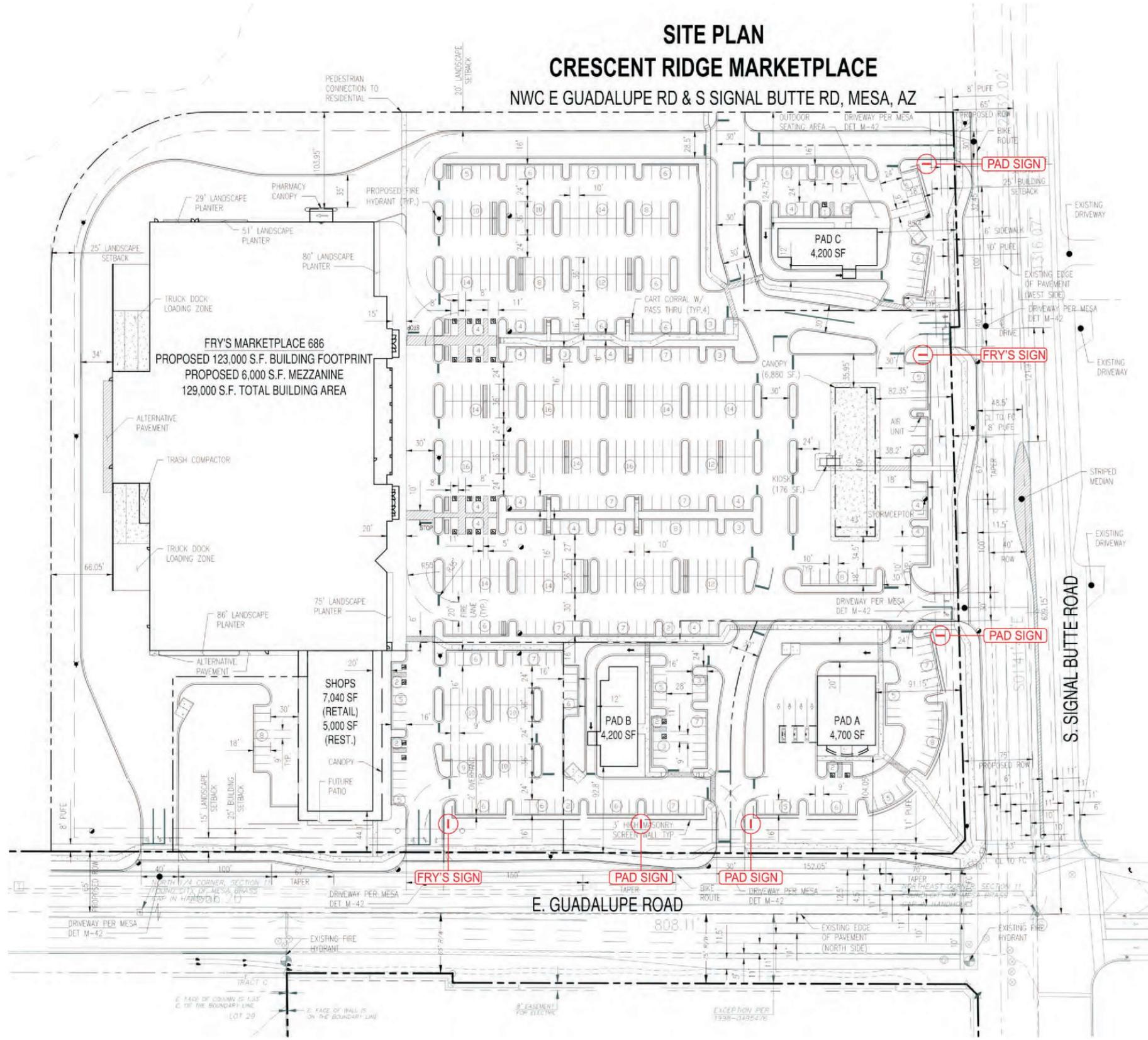
Marketplace



Site Signage Design

SITE PLAN CRESCENT RIDGE MARKETPLACE

NWC E GUADALUPE RD & S SIGNAL BUTTE RD, MESA, AZ



BOOTZ & DUKE Signs
 4028 W. Whitton Ave. - Phoenix, AZ - 85019
 P: (602) 272-9356 F: (602) 272-4608
 www.bootzandduke.com

Customer: Fry's #686	Design # K-2161-14
Address: Guadalupe Rd. & Signal Butte Rd. - Mesa, AZ	Date: June 24, 2014
Salesman: Andy Gibson	Revision: [0]- Date
Designer: Kenney Welker	Page: 1 of 1

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NOTE: ALL SIGNS MANUFACTURED BY BOOTZ AND DUKE SIGNS ARE 120 VOLT ANY OTHER VOLTAGE REQUIREMENTS MUST BE IN WRITING.

SCOPE OF WORK:

SCALE: 3/8" = 1'-0"

MANUFACTURE AND INSTALL TWO(2) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
- 3/16" WHITE ACRYLIC WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL TO BACK UP ROUTED PANELS
- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

ILLUMINATION:

- CWHO FLUORESCENT LAMPS SPACED AS NECESSARY FOR AMPLE ILLUMINATION WITH BALLASTS MOUNTED INTERNALLY
- DAKTRONICS FUELITE DISPLAYS FL-3000-16-R/G-DI

INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE	
FRY'S	31.78
FUEL	21.66
TENANT PANELS	25.00
TOTAL	78.44

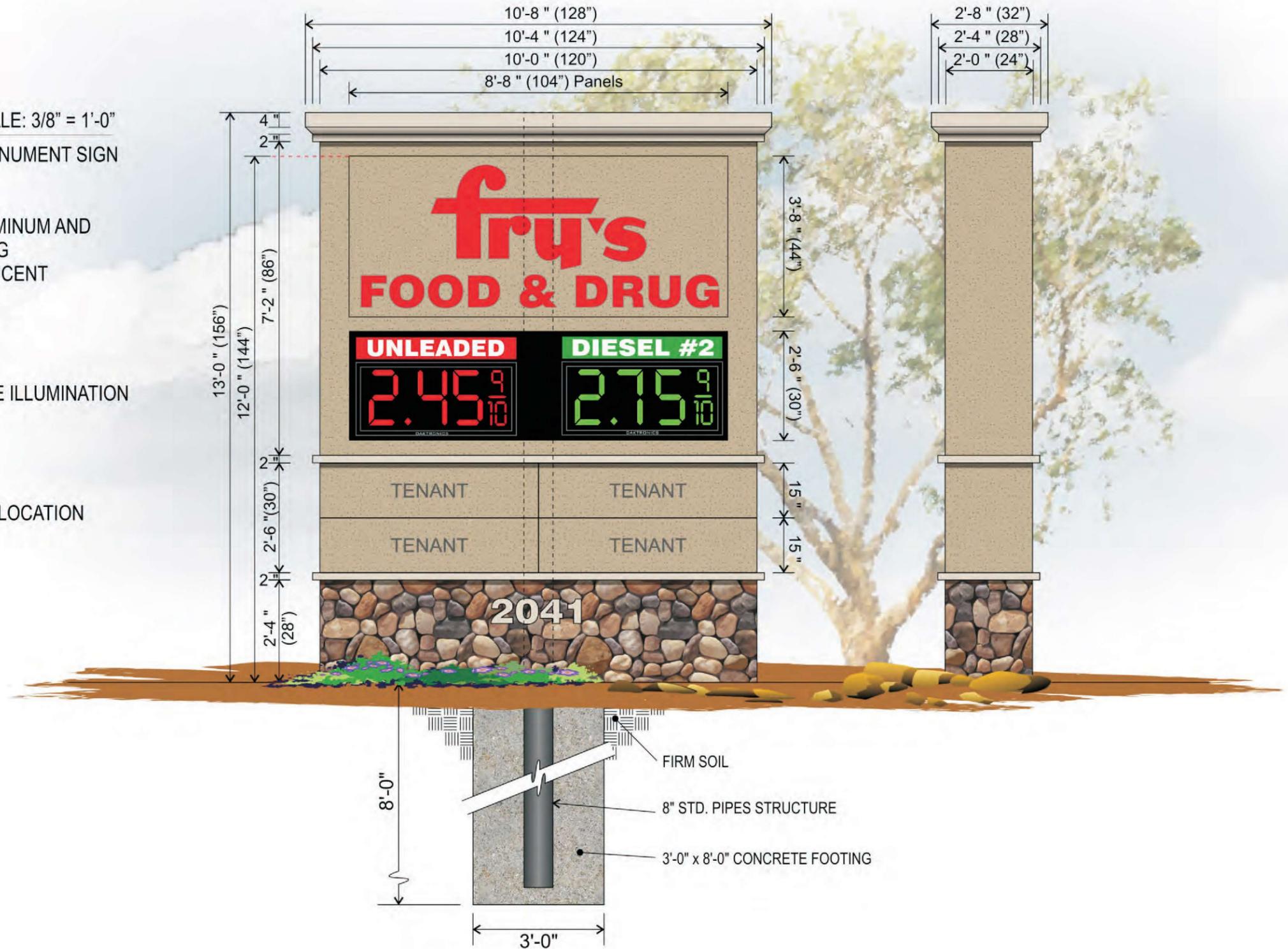
All Signs Shall Be Installed In Accordance With N.E.C. Article 600

Engineering Specifications

All Signs Fabricated as per A.S.A. Specifications & 2012 I.B.C.

Electrical Specifications

All Signs Fabricated as per 2011 N.E.C. Specifications




BOOTZ & DUKE Signs
 4028 W. Whitton Ave. - Phoenix, AZ - 85019
 P: (602) 272-9356 F: (602) 272-4608
 www.bootzandduke.com

Customer: Fry's #686	Design # K-2161-14
Address: Guadalupe Rd. & Signal Butte Rd. - Mesa, AZ	Date: June 24, 2014
Salesman: Andy Gibson	Revision: [0]~ Date
Designer: Kenney Welker	Page: 1 of 1

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NOTE: ALL SIGNS MANUFACTURED BY BOOTZ AND DUKE SIGNS ARE 120 VOLT ANY OTHER VOLTAGE REQUIREMENTS MUST BE IN WRITING.

SCOPE OF WORK:

SCALE: 3/8" = 1'-0"

MANUFACTURE AND INSTALL FOUR(4) INTERNALLY ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- ALUMINUM ANGLE FRAMED STRUCTURE SKINNED WITH .090" ALUMINUM AND .125" ROUTED PANELS TEXTURE AND PAINTED TO MATCH BUILDING
- 3/16" WHITE ACRYLIC WITH FIRST SURFACE APPLIED 3M TRANSLUCENT VINYL TO BACK UP ROUTED PANELS
- 1/4" ROUTED ALUMINUM ADDRESS NUMBERS PAINTED SATIN RED

ILLUMINATION:

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INSTALLATION:

- ON ASA APPROVED PIPE AND FOOTING AT CUSTOMER SPECIFIED LOCATION

PAINT COLORS	
	CANVAS TAN SW 7531
	STUDIO TAUPE SW 7549
	CREEK ROCK - APACHE BROWN

SQUARE FOOTAGE
TENANT PANELS 34.67

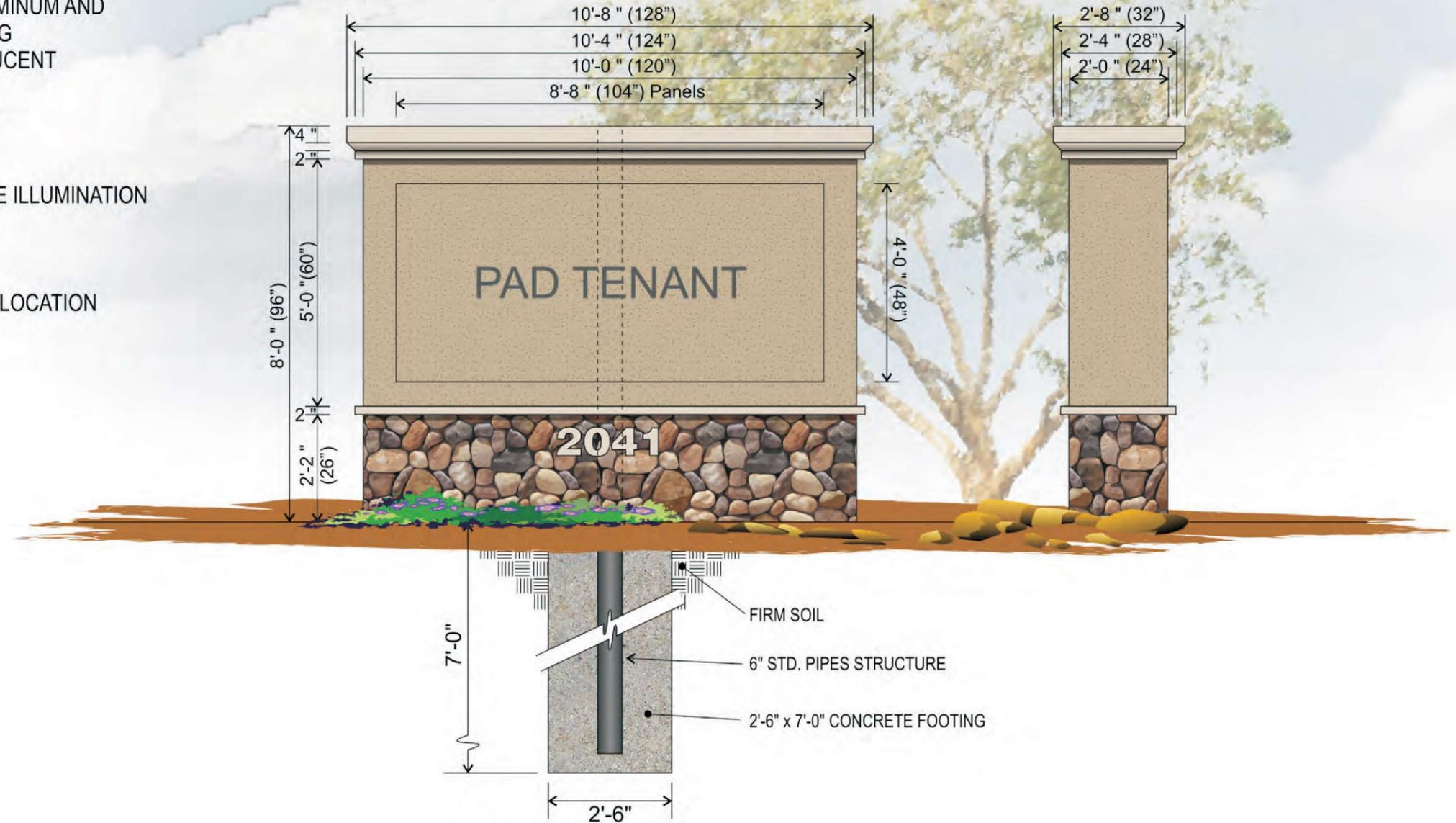
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PAD B OPTION

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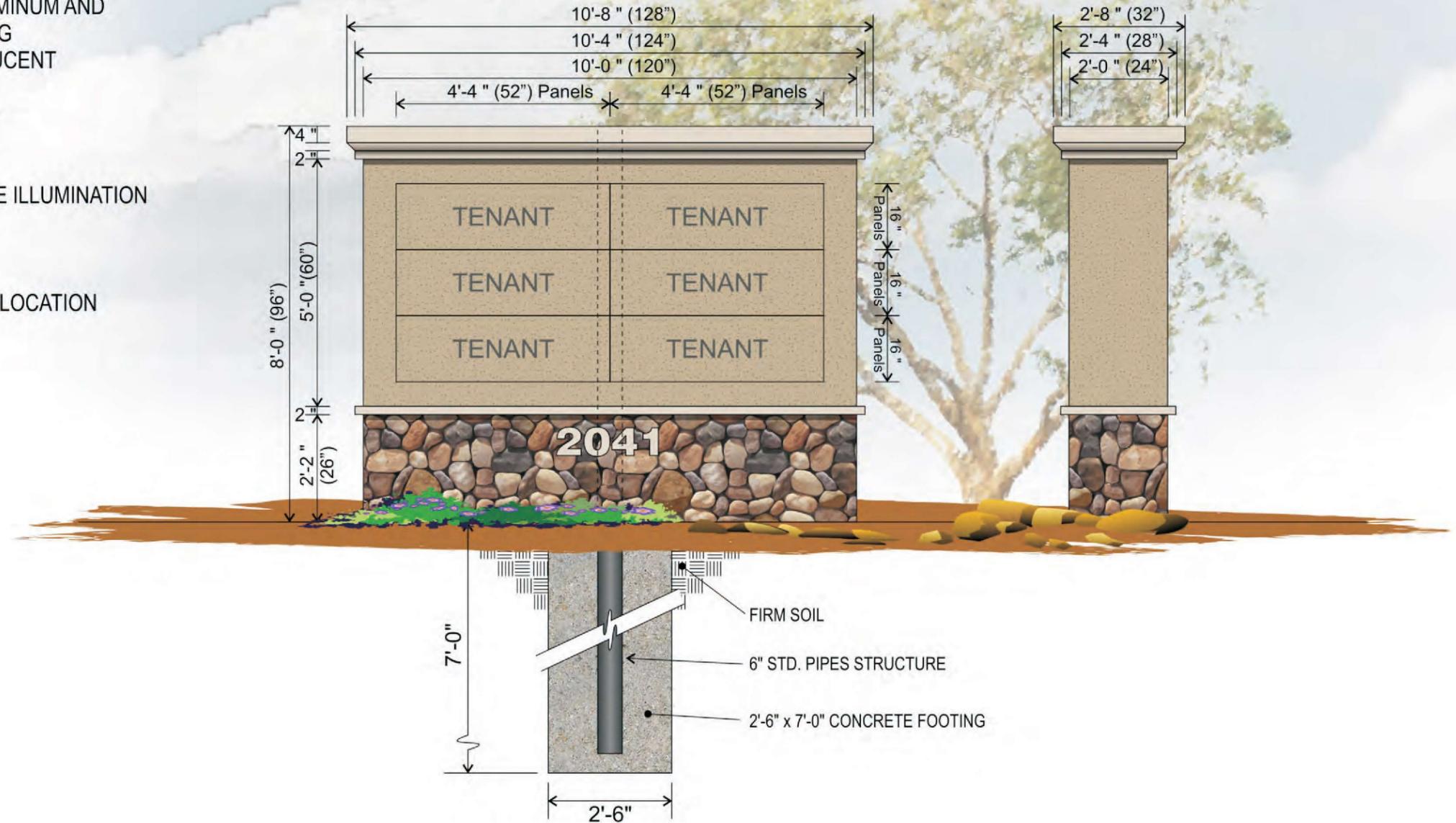
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