



Project Narrative

October 1, 2019

Cassidy Welch
City of Mesa – Planning Division
55 North Center Street
Mesa, AZ 85201
cassidy.welch@mesaaz.gov

RE: DENNY'S – 5854 E. LONGBOW PKWY.

Proposed Project Summary

A new 4,412 SF, full-service Denny's restaurant to be located within the Longbow Business Park – Phase 2 Development at 5854 E. Longbow Parkway, Mesa, Arizona.

Consistency and Conformity to the General Plan

The Community Character designated by the General Plan for this project location is a Mixed Use Activity District with a Community-Scale sub-type. Additionally, this location is within the Falcon Field Sub-Area Plan.

The primary goal for a project in a Community-Scale District is to “provide high quality opportunities for commercial and entertainment activities consistent with the needs of today's consumer.”

A key characteristic for a project within the Falcon Field Sub-Area is “distinctive architecture” and “innovative design using high quality building form, materials and color.”

It is our belief that this project is consistent with and conforms to the Community Character envisioned by the General Plan. The following are project points which address the form and guidelines spelled out in the General Plan and the Planning Department.

Community-Scale District:

- The building height and lot coverage are within the stated guidelines.
- This project would be the only full-service restaurant within Longbow Business Park adding to the variety of choices to the consumer.
- The location and clientele would suggest an auto dominant project. However, the building's orientation on the site is pedestrian friendly by providing a close accessible pedestrian connection to Longbow Parkway. It also has walkability by providing an accessible walkway from the main entrance, through the parking fields and to other buildings within the Longbow Business Park.

PROJECT NARRATIVE

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- The parking fields meet the City's parking ordinance by providing parking rows with no more than 8 spaces along with landscaped parking islands. Thereby, breaking up the parking field to improve the visual appearance and reducing heat islands.

Falcon Field Sub-Area:

- The building utilizes three main finish materials: EIFS, wood grained fiber-cement siding and architectural masonry veneer. The colors and materials are consistent and very similar with the palette in the Longbow Design Guidelines. Some items match the palette choices exactly. Yet the project is still able to convey the familiar Denny's brand to the consumer.
- The main focal point of the building is the chevron, "V" shaped massing on the South elevation facing Longbow Parkway. It has the appearance of wings on an airplane or a soaring falcon. This unique geometric form contains angled scoring patterns and accent colors which articulate its innovative design.
- The main entry is articulated by high parapet walls and modern siding.
- Masonry pilasters and surrounds along with varying building heights, colors and finish materials ensure this building is far from being a "monotone box" but reflects a thoughtful and creative design.

Consistent with Existing Zoning Ordinance and other City of Mesa codes and regulations

The proposed restaurant is consistent with the existing LC-PAD-CUP (Limited Commercial, Planned Area Development, Council Use Permit) zoning district and will comply with the City of Mesa's Zoning Ordinance and all site regulations.

The Limited Commercial allows for indoor retail, entertainment and service-oriented businesses that serve the surrounding residential trade area within a one-to-ten-mile radius. Typical uses include, but are not limited to, restaurants and cafes.

The Planned Area Development overlay was established in 2002 (Z02-001) and modified in 2008 (Z08-063) and includes approved Design Guidelines.

The Council Use Permit was approved in 2017 to allow two freeway landmark monument signs (Z17-033).

Compatible with Adjacent Developments and Neighboring Zoning Districts

As described this project is consistent with and conforms to the guidelines for the Community Character and within the Longbow Business Park. It is also compatible with any neighboring zoning districts by having a common, recognizable character and a modest building scale. Thereby, avoiding large differences in these areas.

Within the same Longbow Business Park there will be a progression from this project which is has a low building height near Longbow Parkway. Then a transition to the Fat Cats Entertainment project which has a higher building height and is set off from the street. The positioning and distance between adjoining projects allow for a harmonious transition between the different building scales and character.

Exterior lighting, both building and site conforms to the City of Mesa standards. Proposed parking lot light poles are non-pivoting downlights with recessed LED lights, not to exceed 25'-0" in height, and not to exceed 15'-0" in height adjacent to a residence. The exterior lighting shall have little to no impact on

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adjacent properties. Signage, although under separate review/permit by others, is included with this submittal.

Denny's utilizes high technology filters on all cooking equipment as well as maintaining a rigorous filter cleaning regimen reducing potential cooking smoke/odor impact. There are no noise or vibration elements that would exceed the City of Mesa allowable decibel limitations.

Site and Landscape Design

The project's site will sit approximately 4 to 5 feet above Longbow Parkway which it borders along with a main entry driveway.

The existing main entry driveway has abundant desert landscaping and mature trees. This project continues that theme where the property borders Longbow Parkway and throughout the site. Desert landscaping and trees chosen from the plant palette in the Longbow Design Guidelines will enhance the existing streetscape. So will the desert plants that will intertwine with multiple 3-foot-high steel frames combined with steel mesh to screen the parking lot along with staggered 3-foot-high masonry screen walls.

All these site improvements will make for an attractive street frontage, interesting for pedestrians and provide for greater safety by allowing people inside the building on a higher grade to have oversight of the street.

The refuse enclosures are in the middle of the property, have excellent service access, are not visible from the street and conform to the latest City of Mesa detail standards.

Local residents will most likely access the site from Longbow Parkway, while visitors will most likely access the site from Recker Road after exiting the 202 freeway at the Recker Road exit. As shown on the site plan, circulation on the site is safe and easy to navigate, designed to promote flow.

Off-street parking space size and quantity, accessible spaces and bicycle parking conform to the City of Mesa Zoning Ordinance.

The site contains 24'-0" wide minimum, two-way drive aisles, making vehicular circulation "non-combative" with the largest of vehicles. Emergency vehicles can maneuver throughout the site by providing turning radii of 35'-0" inside and 55'-0" outside per City of Mesa Fire Department requirements.

There are no outdoor activities or outdoor storage planned for this site. This Denny's restaurant shall operate 24-hours a day, year-round with exception on holidays to be determined later. Security will be maintained at high levels consistent with a major national brand.

Summary

We believe the proposed restaurant use, building and site design are consistent, compatible and conforms to the City of Mesa 2040 General Plan, the community character within the Mixed Use Activity Community-Scale District and the Falcon Field Sub-Area Plan and all of the development standards of the City of Mesa Zoning Ordinance. Thereby, the proposed Denny's restaurant will be an attractive addition to the City of Mesa.

Sincerely,

Jeff Looker, AIA

President

GENERAL NOTES

- DIMENSIONS TO THE BUILDING ARE TO THE FACE OF FRAMING
- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT
- ALL SIGNAGE WILL BE A SEPARATE REVIEW AND PERMIT
- SMOKE, GAS AND ODOR EMISSIONS SHALL COMPLY WITH REGULATIONS 111 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS
- THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 8, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT

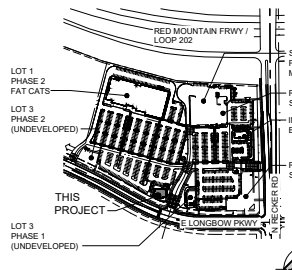
LEGAL DESCRIPTION

- LOT 2, OF LONGBOW BUSINESS PARK PHASE 2, ACCORDING TO THE PLAT RECORDED IN BOOK 1442 OF MAPS, PAGE 23, RECORDS OF MARICOPA COUNTY, ARIZONA.

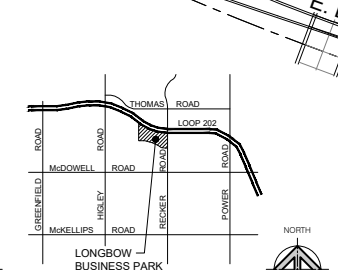
CITY OF MESA FIRE DEPARTMENT NOTES

- COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND, IFC CHAPTERS 33 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.
- THERE SHALL BE A 20 FEET WIDE FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THIS ROAD SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (74,000 LBS/24,000 LBS PER AXLE) WHEN ROADS ARE WET. THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 100' OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.
- APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1,500 GPM AT 2.5 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS. THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION. THE DEVELOPER/ CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS ALWAYS AVAILABLE WHEN THE WORK IS COMPLETE. THE DEVELOPER/ CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE, AND THE VALVES ARE OPEN.

CONTEXT PLAN
SCALE: N.T.S.



VICINITY MAP
SCALE: N.T.S.



LOT 3
(PHASE 2)

LOT 1
(PHASE 2)

DENNY'S
LOT 2
(PHASE 2)

LOT 3
(PHASE 1)
NOT A PART

1 ARCHITECTURAL SITE PLAN



SITE PLAN KEYED NOTES

- PROVIDE LANDSCAPE MATERIAL AND DESIGN CONSISTENT WITH THE EXISTING LANDSCAPING AT LONGBOW MARKETPLACE
- PROVIDE CONCRETE SIDEWALK
- PROVIDE ACCESSIBLE PATH OF TRAVEL
- PROVIDE PAINTED PARKING STRIPING, TYPICAL
- PROVIDE ASPHALTIC CONCRETE PAVING, TYPICAL
- PROVIDE 6" CONCRETE CURBS, TYPICAL
- PROVIDE GATED CONCRETE MASONRY UNIT REFUSE ENCLOSURE
- PROVIDE ACCESSIBLE PARKING STALL
- PROVIDE ACCESSIBLE CONCRETE RAMP
- EXISTING DRIVEWAY AND SHOPPING CENTER ENTRY TO REMAIN
- EXISTING PROPERTY LINE TO REMAIN
- EXISTING STREET IMPROVEMENTS TO REMAIN
- EXISTING STREIP ELECTRIC UTILITY EASEMENT
- PROVIDE GREASE INTERCEPTOR WITH TRAFFIC GRATES
- PROVIDE INTEGRAL BLACK CONCRETE APRON AT REFUSE ENCLOSURE
- PARKING STRIPING BY OTHERS
- PAVING AT PARKING STALLS AND DRIVEWAYS BY OTHERS
- EXISTING LANDSCAPING TO REMAIN
- EXISTING SITE LIGHTING TO REMAIN
- EXISTING FIRE HYDRANT TO REMAIN
- PROVIDE BICYCLE RACK FOR (4) BICYCLES
- PROVIDE REZER / MECHANICAL ROOM LOCATION
- INDICATES FIRE TRUCK TURNING RADIUS (55'-0" OUTSIDE RADIUS, 25'-0" INSIDE RADIUS)
- PROPOSED SERVICE ENTRY SECTION (SES) LOCATION
- PROVIDE POLE MOUNTED SITE LIGHTS ON CONCRETE BASE TO MATCH LONGBOW DESIGN STANDARDS
- PROPOSED LOCATION OF ELECTRIC TRANSFORMER BY ELECTRIC UTILITY COMPANY ON CONCRETE TIE BASE
- PAINTED STRIPING AT LOADING ZONE
- PROPOSED LOCATION OF GAS METER BY NATURAL GAS UTILITY COMPANY
- INDICATES 5'-0" VEHICLE OVERHANG CLEARANCE
- EXISTING RECIPROCAL ACCESS EASEMENT
- INDICATES TRAFFIC VISIBILITY TRIANGLE
- PARKING FLANTER (DIAMOND) DETAIL TO MATCH LONGBOW DESIGN GUIDELINES
- PROVIDE CO₂ STORAGE TANK AND STORAGE ENCLOSURE WITHIN SCREENED ENCLOSURE UNDER SEPARATE SUBMITTAL / PERMIT BY OTHERS
- PROVIDE 3'-0" HIGH 4" CMU SCREEN WALL
- PROVIDE 3'-0" HIGH LANDSCAPE SCREEN, STEEL ANGLE FRAME WITH WELDED WIRE FABRIC, LANDSCAPE VINES AND SHRUBS TIED TO MESH
- INDICATES MINIMUM FOUNDATION BASE DIMENSION

PROJECT DATA

PROPERTY OWNER:
LONGBOW GAS LLC
C/O KITCHELL DEVELOPMENT CO.
1707 E HIGHLAND AVE STE 100
PHOENIX, AZ 85016
PHONE: (602) 631-6309
CONTACT: VIOLET THORNTON

DEVELOPER:
STINE ENTERPRISES, LLC
10851 N. BLACK CANYON HWY, SUITE 850
PHOENIX, ARIZONA 85029
PHONE: (602) 848-6509
CONTACT: STEVE STINE

ARCHITECT:
LOOKER & CAPPELLO ARCHITECTS, INC.
2070 E. SOUTHERN AVENUE
TEMPE, ARIZONA 85282
PHONE: (480) 730-1778
CONTACT: JEFF LOOKER

DESCRIPTION: NEW DENNY'S RESTAURANT WITH SITE IMPROVEMENTS LOCATED ON LOT 2 AT LONGBOW BUSINESS PARK PHASE 2.

ADDRESS: 5854 E. LONGBOW PKWY., MESA, AZ 85215

ASSESSORS PARCEL NUMBER (APN): 141-41-031

ZONING: EXISTING LC-PAD-CLP (LIMITED COMMERCIAL WITH A PLANNED AREA DEVELOPMENT OVERLAY AND COUNCIL USE PERMIT)

SITE AREA:
GRASS AREA = 99,203 SF OR 2.277 ± ACRES
NET AREA = 82,669 SF OR 1.898 ± ACRES

LOT COVERAGE:
4,412 SF (BUILDING AREA) / 82,669 SF (NET SITE AREA) = 5% (0.53)

LANDSCAPE COVERAGE:
21,889 SF (LANDSCAPED AREA) / 82,669 SF (NET SITE AREA) = 27% (2.65)

SETBACKS:
BUILDING: WEST: 15', NORTH: 15', EAST: 15', SOUTH: 30'
LANDSCAPE: WEST: 15', NORTH: 15', EAST: 15', SOUTH: 30'

BUILDING DATA:
BUILDING AREA: 4,412 SF
CONSTRUCTION TYPE: VB
SPRINKLERED: YES
OCCUPANCY: A-2 ASSEMBLY (RESTAURANT)
BUILDING HEIGHT: 30'-0" MAXIMUM
NUMBER OF STOREYS: 1
OCCUPANT LOAD: 208

PARKING REQUIRED:
VEHICLE: 56 SPACES REQUIRED (4,152 G.S.F. INDOOR AREA / 75 = 56 SPACES)
TO INCLUDE FOUR (4) ACCESSIBLE SPACES
70 SPACES ALLOWED (56 X 1.25 = 70 SPACES)

BIKE:
10 SPACES REQUIRED (1 FOR EVERY 10 VEHICLE SPACES PROVIDED;
MAZD 11-32-81.A: 98 / 10 = 10 SPACES)

PARKING PROVIDED:
VEHICLE: 56 SPACES PROVIDED
BIKE: INCLUDING FOUR (4) VAN ACCESSIBLE SPACES
10 SPACES PROVIDED

CITY OF MESA

PRE-SUBMITTAL: PRS19-00517
DESIGN REVIEW: DR19-00678
PLANNING & ZONING: ZON19-00684

Looker & Cappello ARCHITECTS INC
2070 E. SOUTHERN AVE.
TEMPE, ARIZONA 85282
PHONE: (480) 730-1778
FAX: (480) 968-6571

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Denny's

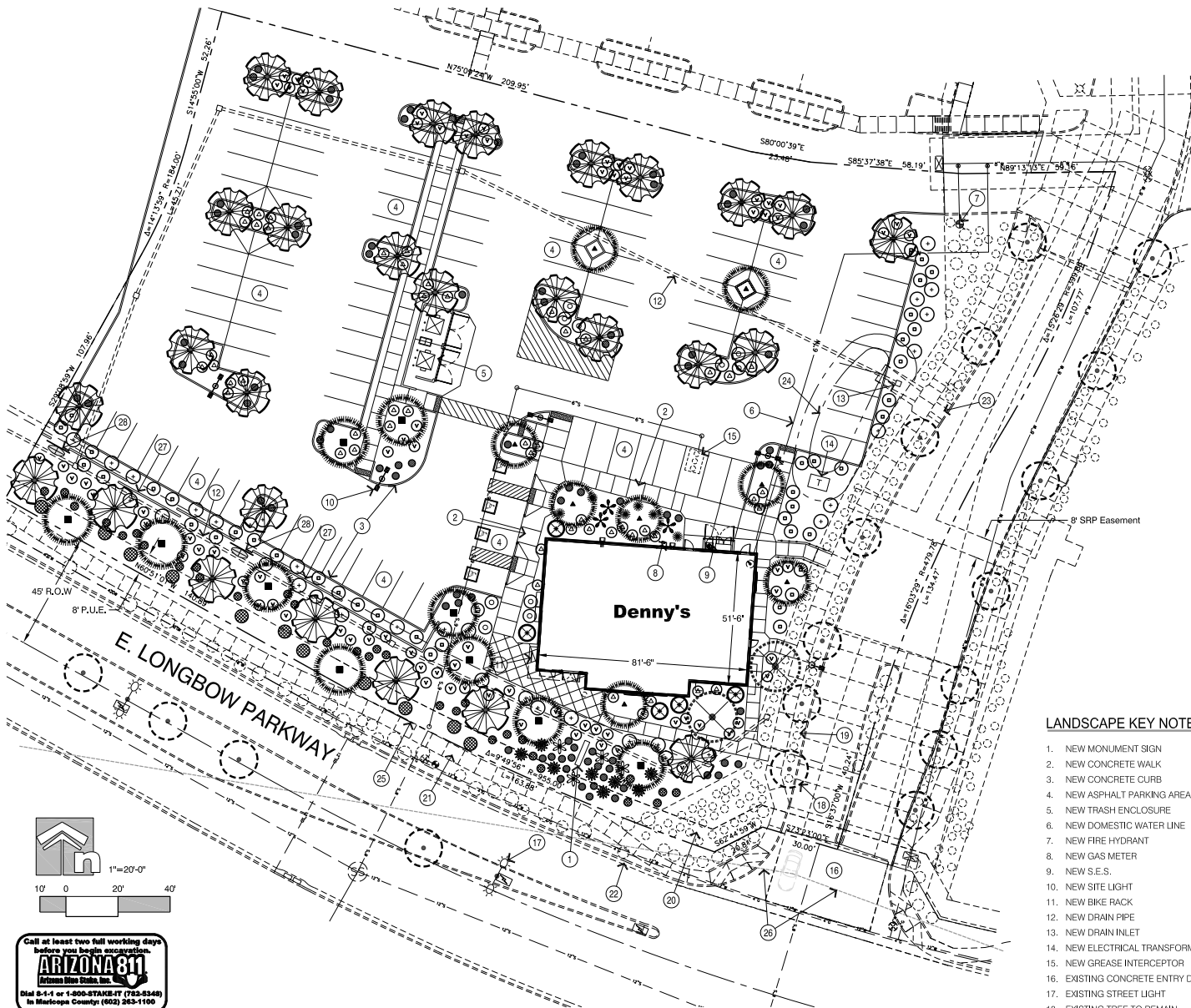
DENNY'S
AT LONGBOW BUSINESS PARK PHASE 2
5854 E. LONGBOW PKWY.
N. RECKER RD. & E. LONGBOW PKWY.
MESA, AZ 85215

ARCHITECTURAL SITE PLAN

◆ REVISIONS ◆

CITY OF MESA
20134 JEFF A. LOOKER
Exp. 6/30/2021

◆ ISSUE DATE ◆
OCTOBER 1, 2019
PROJECT #: LC1100
AS1.1



PLANT LIST			
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE QUAN.	REMARKS
	CERCIDIUM PRAECOX SONORAN PALO VERDE	24" BOX 28	10' HL., 4" Sp., 2" Cal.
	CHILOPSIS LINEARIS 'Lots Adams' DESERT WILLOW	24" BOX 8	10' HL., 4" Sp., 2" Cal.
	ACACIA SALICINA WILLOW ACACIA	36" BOX 2	11' HL., 6" Sp., 2 3/4" Cal.
	PROSOPIS VELUTINA NATIVE VELVET MESQUITE	36" BOX 10	10' HL., 6" Sp., 2 3/4" Cal.
	LEUCOPHYLLUM F. 'WHITE CLOUD' WHITE CLOUD SAGE	5 GAL. 5	
	LEUCOPHYLLUM LANGMANIAE 'Rio Bravo' RIO BRAVO SAGE	5 GAL. 44	
	SENNA NEMOPHYLLA GREEN CASSIA	5 GAL. 31	
	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	5 GAL. 81	
	LANTANA MONTEVIDENSIS 'NEW GOLD' 'NEW GOLD' LANTANA	5 GAL. 82	
	CALLIANDRA CALIFORNICA BAJA RED FAIRY DUSTER	5 GAL. 31	
	TECOMA STANS 'ORANGE JUBILEE' ORANGE BELLS	5 GAL. 11	
	LEUCOPHYLLUM ZYGOPHYLLUM BLUE RANGER	5 GAL. 50	
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL. 6	
	ACACIA REDOLENS 'DESERT CARPET' DESERT CARPET ACACIA	5 GAL. 11	
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL. 3	
	AGAVE MURPHEYI MURPHY'S AGAVE	5 GAL. 4	
	AGAVE COLORATA MESCAL CENIZA	5 GAL. 8	
	MERREMIA ALREA YELLOW MORNING GLORY VINE	15 GAL. 2	Weave branches into wire mesh

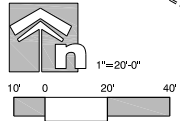
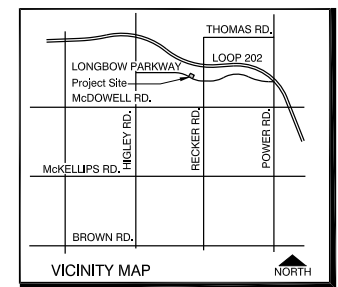
DECOMPOSED GRANITE - 1/2" & MINUS, 2" DEPTH IN ALL AREAS OF PLANTING.
MATCH EXISTING ADJACENT DECOMPOSED GRANITE COLOR.

NOTE:
ALL TREES TO BE PLANTED A MINIMUM OF 5' AWAY FROM ALL UTILITY LINES.
(As measured from the outside of the pipe to the exterior of the tree trunk)

LANDSCAPE KEY NOTES

1. NEW MONUMENT SIGN
2. NEW CONCRETE WALK
3. NEW CONCRETE CURB
4. NEW ASPHALT PARKING AREA
5. NEW TRASH ENCLOSURE
6. NEW DOMESTIC WATER LINE
7. NEW FIRE HYDRANT
8. NEW GAS METER
9. NEW S.E.S.
10. NEW SITE LIGHT
11. NEW BIKE RACK
12. NEW DRAIN PIPE
13. NEW DRAIN INLET
14. NEW ELECTRICAL TRANSFORMER
15. NEW GREASE INTERCEPTOR
16. EXISTING CONCRETE ENTRY DRIVE
17. EXISTING STREET LIGHT
18. EXISTING TREE TO REMAIN
19. EXISTING SHRUBS TO REMAIN
20. EXISTING LANDSCAPE AREA
21. EXISTING CONCRETE WALK
22. EXISTING CONCRETE CURB AND GUTTER
23. EXISTING STREET SCUPPER
24. EXISTING RETENTION BASIN REMOVED
25. RIGHT-OF-WAY LINE
26. SIGHT VISIBILITY LINE
27. NEW 3' HT. MASONRY SCREEN WALL
28. NEW 3' HT. METAL FRAME/WIRE MESH PANEL SCREEN (See Arch. Plan for Detail)

EXISTING TREES AND SHRUBS TO REMAIN



NOTE: TREE HEIGHTS AND CALIPERS WILL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATION'S FOR EACH PARTICULAR TYPE AND SIZE. OBTAIN SEPARATE ENGINEERING PERMIT FOR LANDSCAPING IN R.O.W FROM THE PUBLIC WORKS SERVICES DEPT. ALL LANDSCAPE MATERIAL INSTALLED SHALL BE MAINTAINED BY OWNER OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLANS. ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'. TREES SHALL BE PLANTED AT LEAST 18 FEET AWAY FROM ANY STREET LIGHT POLE OR LIGHTING CONTROL CABINET (LCC). SHRUBS SHALL BE PLANTED AT LEAST 7 FEET AWAY FROM ANY STREET LIGHT POLE OR LLC. SEE SECTION 9.2.37 IN THE CITY OF MESA ENGINEERING PROCEDURE MANUAL.

LANDSCAPE AREA	REQUIRED	FRONTAGE	REQUIRED LANDSCAPE		PROVIDED LANDSCAPE		
			TREES	SHRUBS	TREES	SHRUBS	
ARTERIAL STREET (Longbow Parkway)	1 TREE 6 SHRUBS PER	25 L.F. OF FRONTAGE	305 L.F.	13	74	14	74
PARKING ISLANDS	1 TREE 3 SHRUBS PER	15' PARKING ISLAND		25	75	25	75
FOUNDATION BASE	1 TREE PER	50 L.F. OF BLDG. PLANTER (278 L.F.)		6	-	6	-



Recker Road & Longbow Parkway
Mesa, Arizona

PROJECT 2019-21
DATE SEPTEMBER 3, 2019
REVISION SEPTEMBER 26, 2019

Preliminary Landscape Plan

L1
of 1



13 & 26 Watt No Shade LED Gooseneck Luminaire designed to match the architecture of Main Street storefronts and building perimeters. LED Gooseneck No Shade with 24" Goose Arm Style 1.

Color: Black

Weight: 10.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.3A
208V	0.3A
240V	0.3A
277V	0.15A
Input Watts	15.2W
Efficiency	86%

LED Info

Watts	13W
Color Temp	4000K (Neutral)
Color Accuracy	86 CRI
L70 Lifespan	100,000
Lumens	664
Efficacy	43.7 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LED:

Single multi-chip, 13W high-output, long-life LED

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

Fixture:

The GN1LED13NB comes with the GOOSE1B Arm

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate

Gaskets:

High-temperature Silicone

Mounting:

Heavy-duty mounting arm with "O" ring seal and stainless steel screw

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Electrical

Surge Protection:

4kV

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 100-240VAC 0.3 - 0.15A, 277VAC 0.15A, THD ≤20%, PF 97.5%.

THD:

14.8% at 480V

Other

Patents:

The design of the Gooseneck is protected by patents pending in US, Canada, China and Taiwan

Technical Specifications (continued)

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

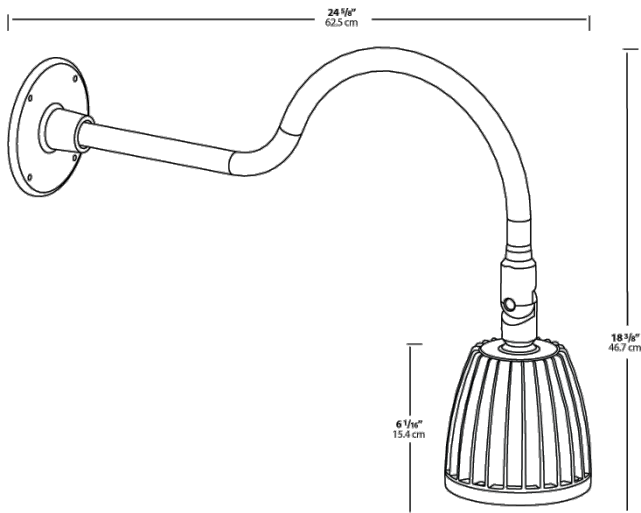
Equivalency:

Equivalent to 75W Incandescent, 50W Metal Halide or 18W CFL

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Wattage	Color Temp	Reflector	Shade	ShadeSize	Finish
GN1LED	13	N				B
	13 = 13W 26 = 26W	Y = 3000K (Warm) N = 4000K (Neutral)	Blank = Flood R = Rectangular S = Spot	Blank = No Shade	Blank = No Shade Size	B = Black W = White A = Bronze S = Silver G = Hunter Green YL = Yellow LB = Light Blue BL = Royal Blue BWN = Brown I = Ivory R = Red

DESCRIPTION

TRACE*LITE's Nyte Forms series of LED luminaires is a versatile family of unique lighting fixtures that can be utilized to satisfy multiple application requirements, including wallpacks, floodlights, pole mounted area lights or inverted for use as a wall washer. All Nyte Forms luminaires are equipped with state of the art LED light engines that offer standard 0-10V dimming with excellent efficacies and lumen outputs. The superior thermal management maximizes the reliability and longevity that SSL systems can provide. The TLED-NFM series has an efficacy of 98 LPW with a delivered output of 4080 lumens. This allows the Nyte Forms series to be included on the DesignLights Consortium™ Qualified Products List (check QPL for specific models), meeting or exceeding the efficacy requirements for various rebate programs across the country. State of the art technology combined with application versatility and design consistency makes our new Nyte Forms family of luminaires the logical choice for any project. Unit is now available with emergency battery backup providing emergency lighting at full lumen output.

SPECIFICATIONS

Construction:

The TLED-NFM has a precision designed aluminum housing with stainless steel hardware, tempered glass lens, silicone gaskets and a UV resistant, thermoset polyester powder coated bronze finish. The TLED-NFM is completely sealed with silicone gaskets and is UL Listed for Wet Locations. The quick mount plate with built in bubble level allows for fast and easy installation. There is a knock-out in the top of the TLED-NFM housing to allow for the field installation of a photocontrol sensor. Thermal management is integral to the die-cast aluminum housing, with both the driver and the LED module each mounted directly to the housing in positions specifically designed to maximize heat dissipation and therefore increase the longevity reliability and performance of the TLED-NFM luminaire.

Optics:

The TLED-NFM series wallpack delivers exceptional light quality, with a standard correlated color temperature of 5000K with a CRI of ≥65 and optional CCTs of either 3000K or 4000K. The TLED-NFM LED light engine is fit with precision optical reflectors to distribute light forward and to the sides, producing an ideal wallpack distribution that maximizes fixture spacing while still delivering light where it is needed in the most efficient way possible. Producing 4080 delivered lumens, the TLED-NFM has an L70 of 100,000 hours.

Electrical:

The TLED-NFM includes 0-10V dimming as a standard option with LEDs powered by constant current, high efficiency Class 2 LED driver with active power factor correction (0.90 typical), a wet location rating, all around protection against over-voltage, over-temperature, short circuit conditions, and lightning. The TLED-NFM driver has a standard voltage sensing input of 120~277VAC 50/60Hz, 347VAC and 480VAC inputs are also available. It features a Class A EMI rating and complies with UL8750 safety regulations and with ANSI/IEEE C62.41 Class A Operation. The TLED-NFM is suitable for operation in -31°F to 122°F (-35°C to 50°C) ambient conditions.

Thermal Management:

The LED module and driver are mounted directly to the purpose designed housing which functions as a dedicated, LEDLITE[®]/*ogic* thermal heat sink. The heat sink is unique and has been sized to maximize the thermal dissipation of the wallpack housing. This configuration optimizes the heat removal for the LEDs and the driver, which makes possible the high efficacy, lumen output and longevity of the TLED-NFM.

Environmentally Friendly Design:

TLED-NFM luminaires consume very little energy and provide long life in comparison to traditional lamp technologies. The TLED-NFM consumes only 42 watts, but the light output can be conservatively compared to a 150W HID luminaire of similar design. The TLED-NFM provides a significant reduction in KW load and carbon emissions.

Installation:

The TLED-NFM series features a back plate design that can be easily mounted to any vertical surface, and is readily wired to a recessed J-box. An optional yoke mount, 2" slipfitter mount or 6" pole mount arm are also available for floodlighting and area lighting applications. Suitable for inverted mounting. Optional tamper-resistant hardware is available for applications where there is a high rate of vandalism, theft or in high traffic public spaces.

Emergency Battery Backup (Option: BB):

This option provides emergency powered illumination at full lumen output when the power goes out. Unit is complete with switchable AC operation for use as dusk to dawn with external photocontrol or use of a normally open switch. Following the return of normal utility power, the charging circuit will bring the battery pack to full recharge in 24 hours. A test switch is provided for testing and monitoring of unit performance. The BB option is rated for operation between -4°F and 104°F (-20°C and 40°C).

Note: 0-10V dimming is not available when BB option is selected.

Between -4°F and 14°F (-20°C and -10°C) battery backup runtime may be reduced by approximately 15%.

Model: _____ Date: _____
 Accessories: _____
 Job Name: **DENNY'S** Type: **EL-02M**

Available While Supplies Last



Specs at a Glance	
Wattage (Nominal)	41.6W
Ingress Protection	UL Listed for Wet Locations
Lumens (5000K)	4080
Efficacy (5000K)	98
CCT	3000K, 4000K, 5000K
Input Voltage	120~277 Voltage Sensing, 347VAC, 480VAC
Optics	Type II Very Short
CRI	≥70
Warranty	10 Years
Ambient Temp	-31°F to 122°F (-35°C to 50°C)

Photocontrol (Accessory: PC):

Optional field installed photocontrol provides dusk-to-dawn security. Input voltage must be specified to match the input voltage that will power the fixture.

Testing & Compliance:

The reliability and performance of the TLED-NFM is evaluated in accordance with the parameters outlined and reported by LM-79 and LM-80 documents. Photometric data is tested to IESNA LM-79-08 standard by an independent testing laboratory. Lumen maintenance, or L70, a measure of long term reliability, is determined for the light source, which consists of the LED and PSB sub-assembly as installed in the luminaire, using LM-80 in-situ thermal and reliability data as provided by the LED manufacturer in accordance with DOE/EPA standards. Certain models are DesignLights Consortium™ qualified. Consult QPL for listed models.

Listing:

The TLED-NFM is UL certified under UL1598 specifications and is UL Listed for Wet Locations in all mounting configurations.

Warranty:

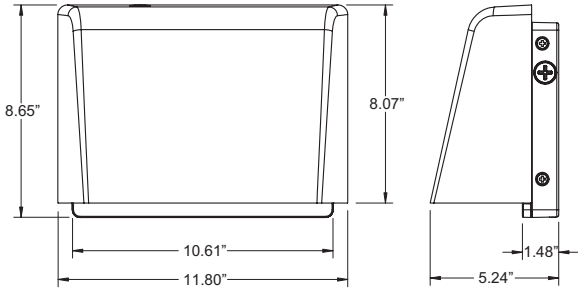
Up to 5 year warranty; see TRACE*LITE Terms and Conditions for details.

Fixture Performance

Part Number	Total System Watts	Initial Lumens	Lumens Per Watt (LPW)	L70 Hours @ 25°C	BUG Ratings
TLED-NFM-42	42W	4080	98	100,000	B2-U0-G0

NOTE: Lumen maintenance and life (part of LM-80 data) are per published information from primary LED suppliers and is based on design operation at their specified thermal management and electrical design parameters.

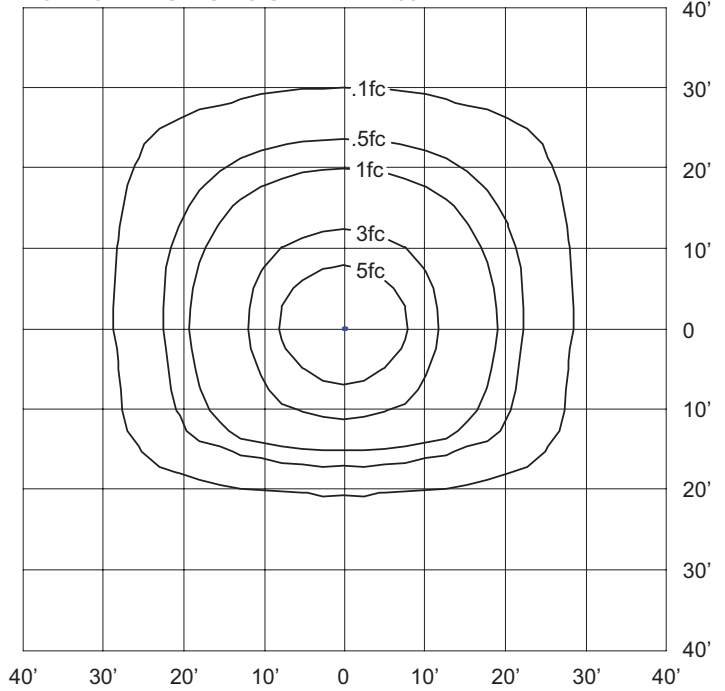
Dimensions



Approximate Weight: 10 lbs.

Sample Photometrics

TLED-NFM-42-VS-5K
 IES: TYPE II VERY SHORT FULL CUTOFF
 MOUNTING HEIGHT: **15 FEET**
 TILT: ZERO
 HORIZONTAL SPACING CRITERIA: 1.38



Ordering Information

Example: TLED-NFM-42-VS-4K

Series	Nominal Wattage	Input Voltage	CCT Temperature	Finish	Options (Factory Installed)
TLED-NFM	42 = 42 Watt	VS = 120-277VAC Voltage Sensing	3K = 3000K 4K = 4000K 5K ¹ = 5000K	BLANK = Bronze (Std.) BL = Black WH = White	BB ^{2,3} = Battery Backup
Notes					Accessories⁵ (Field Installed)
¹ DLC qualified model					PCU ⁴ = 120-277VAC Photocontrol
² 347VAC or 480VAC not available with BB option					SFE = 2" Slipfitter Mount
³ 0-10V dimming not available with BB option					EXM6-E = 6" Pole Mount Arm
⁴ Not available on units with BB option. Remote or external photocells are compatible. Consult factory for details.					SWE = Yoke Mount
⁵ Order as separate line item					

Specifications are subject to change without notice. Installation must be performed in accordance with Barron Lighting Group installation instructions.

10810301 REV9 02/19



2070 E. SOUTHERN AVE.
 TEMPE, ARIZONA 85282
 480-730-1776
 FAX: 480-968-6571



at **LONGBOW BUSINESS PARK Phase 2**
 West of NWC of N. RECKER RD. & E. LONGBOW PKWY.



COLOR & MATERIAL SELECTIONS



Sherwin Williams Paint
"STUDIO TAUPE"
 SW 7549

MARK: EP-01; MAIN FIELD COLOR



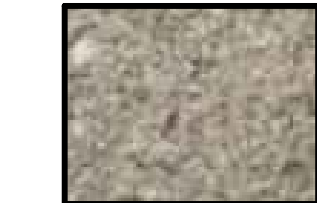
Sherwin Williams Paint to match
 Martha Stewart
"BARN"
 MSL 026

MARK: EP-03; ACCENT BAND



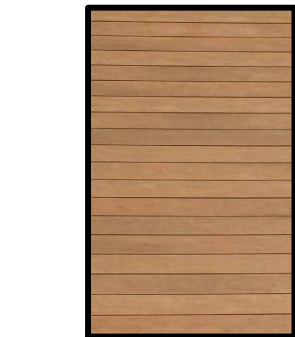
Sherwin Williams Paint
"ENDURING BRONZE"
 SW 7055

MARK: EP-04; CORNICE, CAP FLASHING



Superlite Textured Masonry Units
"PEBBLE BEACH"
 MESASTONE®

MARK: SV-01; WAINSCOT



Nichiha Fiber Cement Siding
"CEDAR"
 VINTAGEWOOD

MARK: SV-04; WALL SIDING



Sherwin Williams Paint
"PEARLY WHITE"
 SW 7009

MARK: EP-06; V PORTAL MAIN COLOR



Sherwin Williams Paint
**"DENNY'S V
 PORTAL RED"**
 PMS 485

MARK: EP-07; "V" ELEMENT



Color to match Western States Metals
**"SILVER
 ALUMINUM"**

MARK: ARCHITECTURAL FINISH BY SIGNAGE VENDOR



Kawneer, Storefront Framing
"DARK BRONZE"
 #40, ANODIZED

MARK: SF-01; STOREFRONT FRAMES



at Longbow Marketplace
N. Recker Rd & E. Longbow Pkwy.
Mesa, AZ 85215

CODE:

Signage allowed:

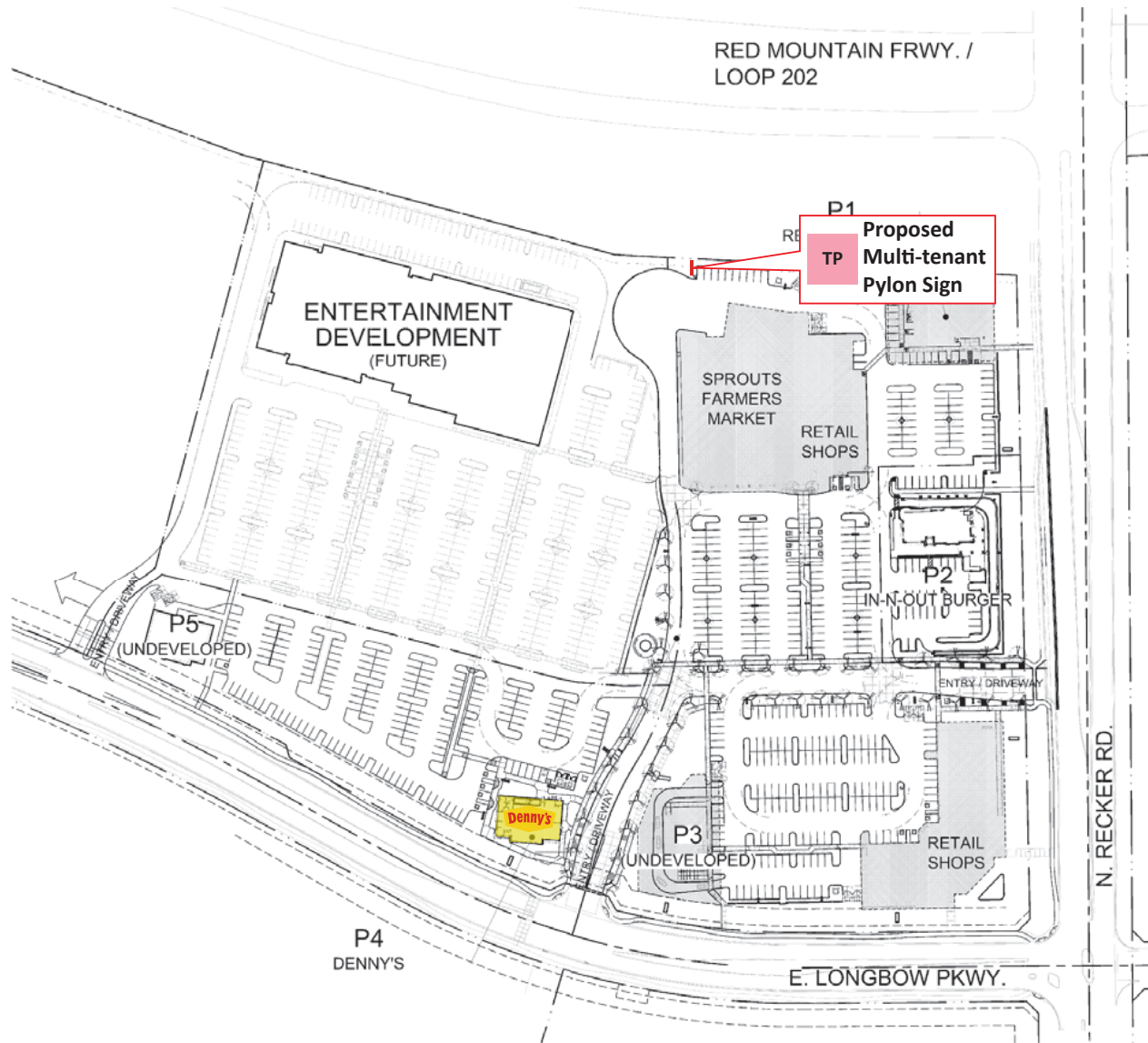
South Elevation allowed 246 Sq. Ft.

East Elevation allowed 90 Sq. Ft.

North Elevation allowed 80 Sq. Ft.



The attached package is for conceptual visualization
and is not to be used for scaled elevations or true signage placement.
Subject to change based on modified elevations, municipality code
and sign permit allocations. Site survey required for actual dimensions.



Development Site Plan



PROJECT INFORMATION

Client
DENNY'S
City & State
Mesa, AZ
Drawing #
DENNYS.Mesa.3.27.19
Scale
AS NOTED
Designer
GP
Project Manager
D. Toohey

REVISIONS

3-28-19 rev side view on elevs-gp
6-25-19 rev all elevs-gp
6-27-19 rev all elevs again-gp

CLIENT APPROVAL

APPROVED
 APPROVED AS NOTED
 REVISE & RESUBMIT
NAME:
DATE:



FRANCHISE SIGNS INTERNATIONAL

Main Office
1101-A W. Melinda Lane
Phoenix, Arizona 85027
PHONE: 623 792 3061
FAX: 623 792 3063

PAGE SIZE: 11x17

Development Plan

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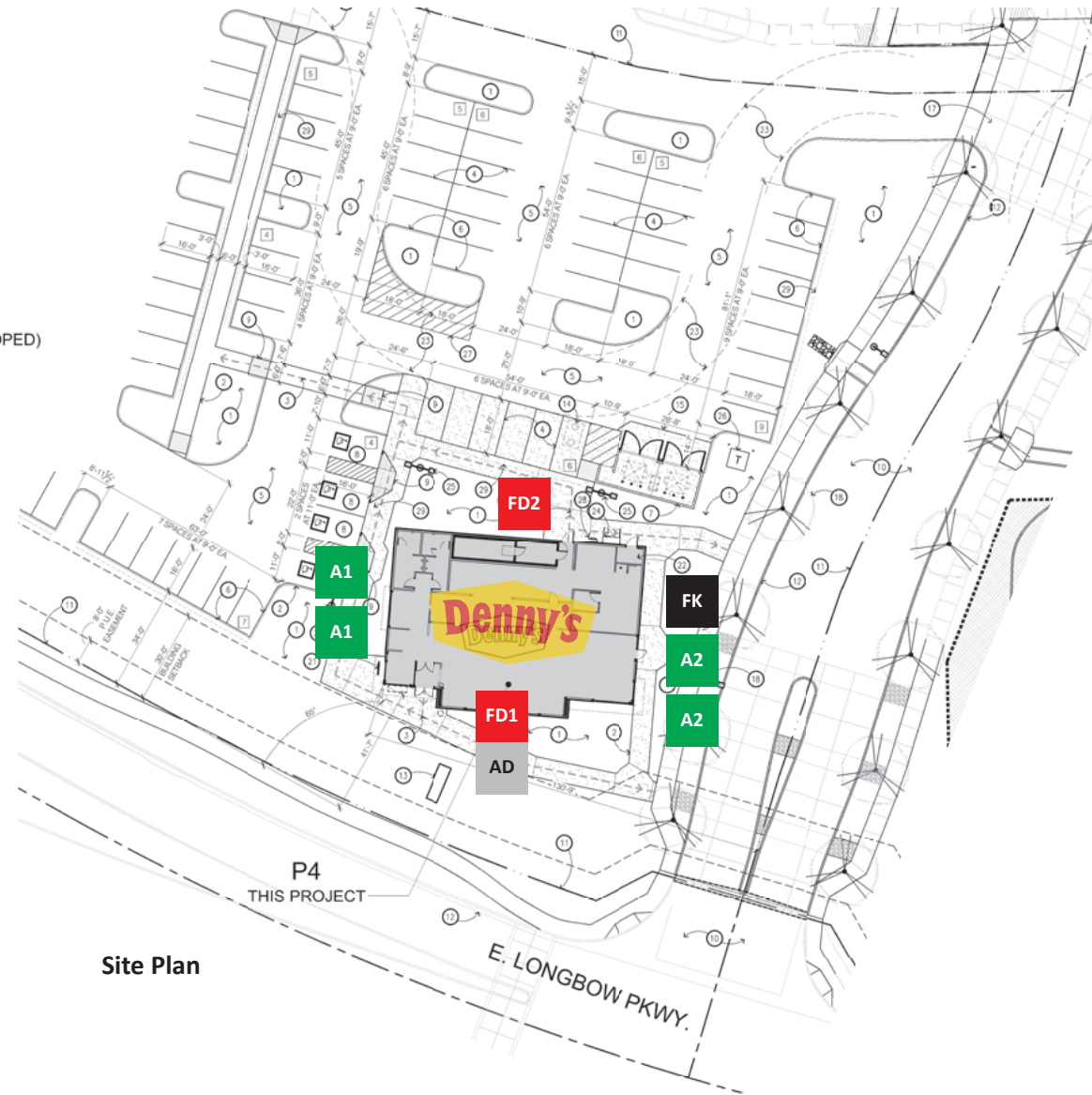
PAGE SIZE: 11x17

Site Plan

PAGE

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P5
 (UNDEVELOPED)

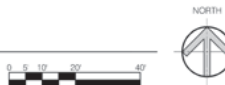


Site Plan

Sign Labels

- FD = French Diamond Sign
- TP = Tenant Panel/graphics
- FK = Fork
- A = Awning
- AD = America's Diner Letters

1 PROPOSED SITE PLAN
 1" = 20'-0"



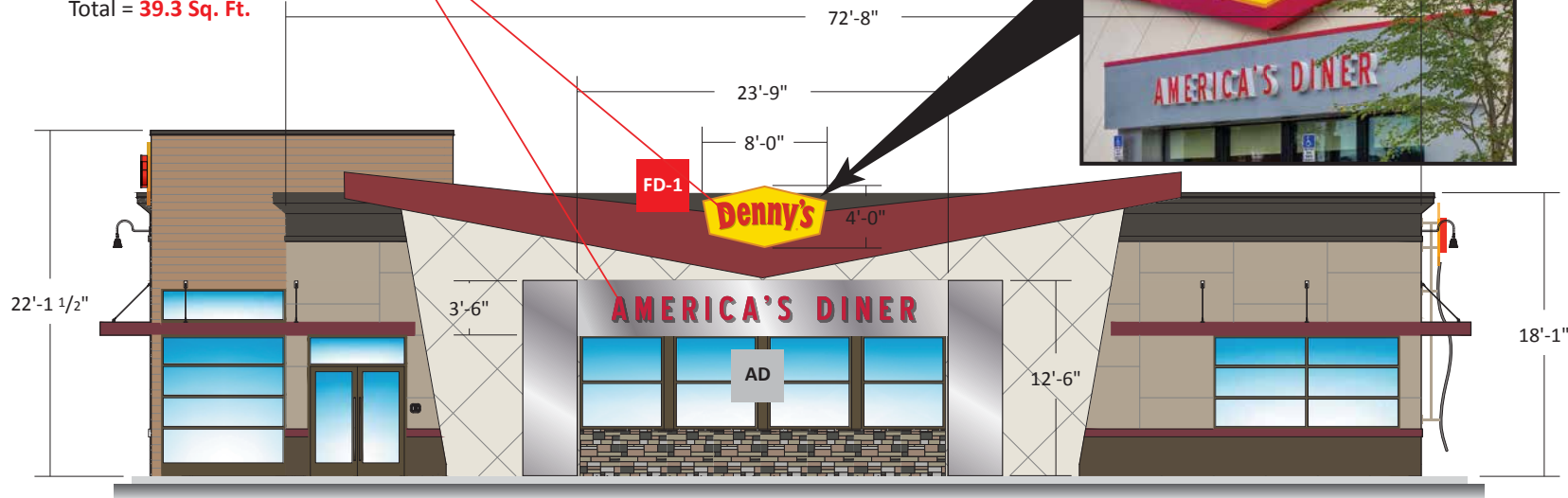
N. Recker Rd & E. Longbow Pkwy., Mesa, AZ 85215

Letters: 20" x 6'-3 3/8" = 10.4 Sq. Ft.

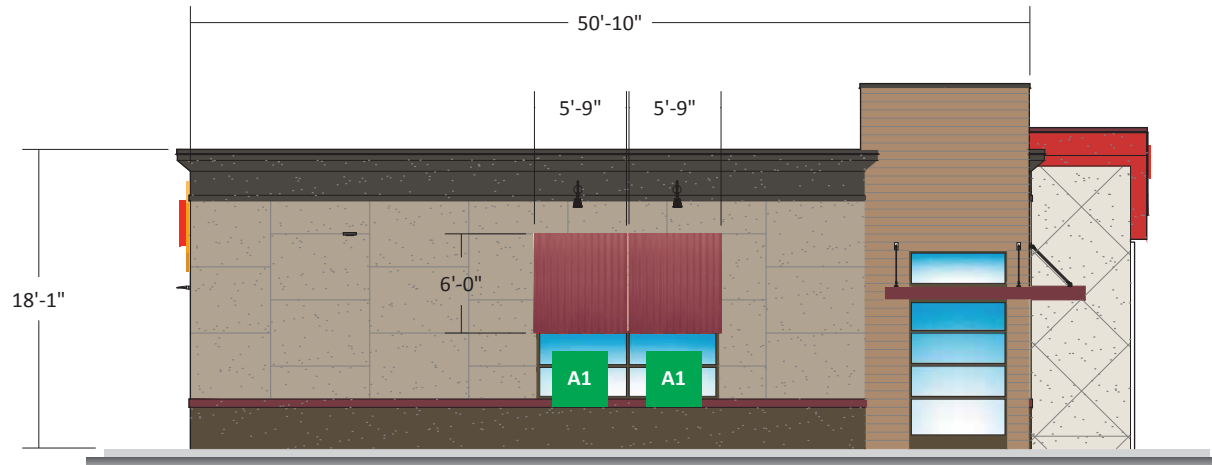
Letters: 18" x 19'-4" = 28.9 Sq. Ft.

Total = 39.3 Sq. Ft.

All building signs are channel letters on backer panels



FRONT MAIN ENTRANCE
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



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INTERNATIONAL

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PAGE SIZE: 11x17

Elevations

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FRANCHISE SIGNS INTERNATIONAL

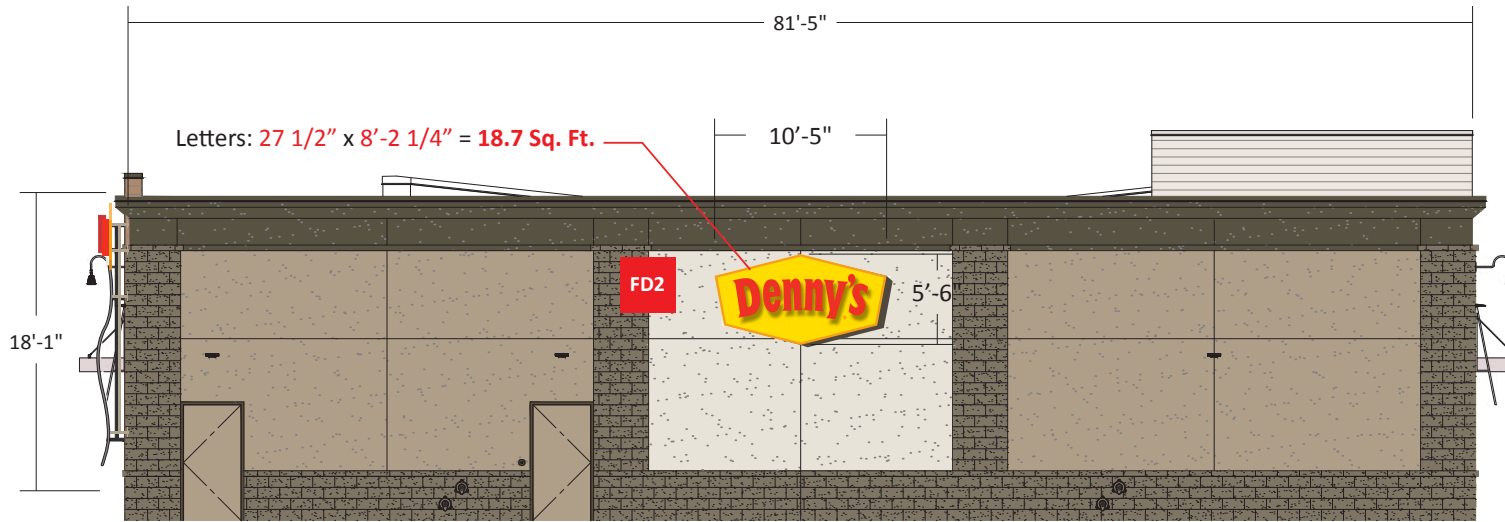
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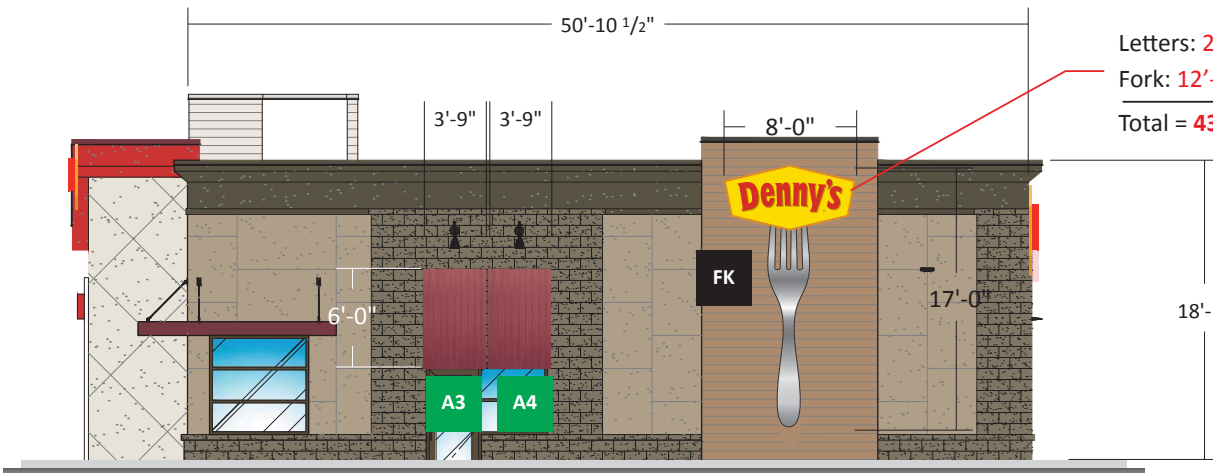
Elevations

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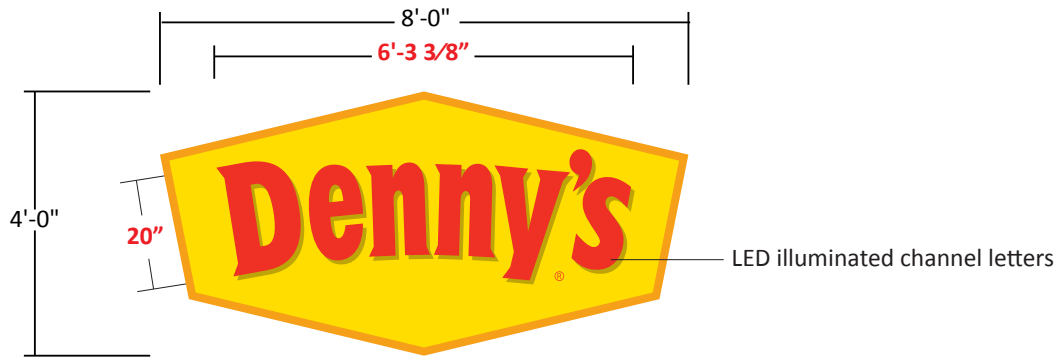


REAR ELEVATION
 SCALE: 1/8" = 1'-0"



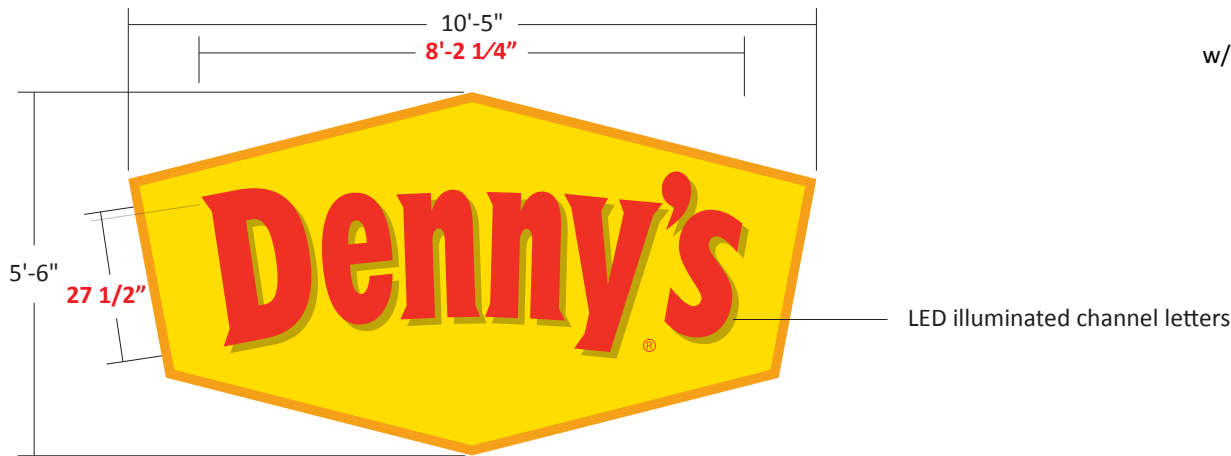
RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

N. Recker Rd & E. Longbow Pkwy., Mesa, AZ 85215



FD1 Lighted Channel Letters on Architectural back panel
 Scale: 1/2" = 1'-0" Letters: 20" x 6'-3 3/8" = **10.4 Sq. Ft.**

French Diamond is an architectural feature



FD2 Lighted Channel Letters on Architectural back panel
 Scale: 1/2" = 1'-0" Letters: 27 1/2" x 8'-2 1/4" = **18.7 Sq. Ft.**

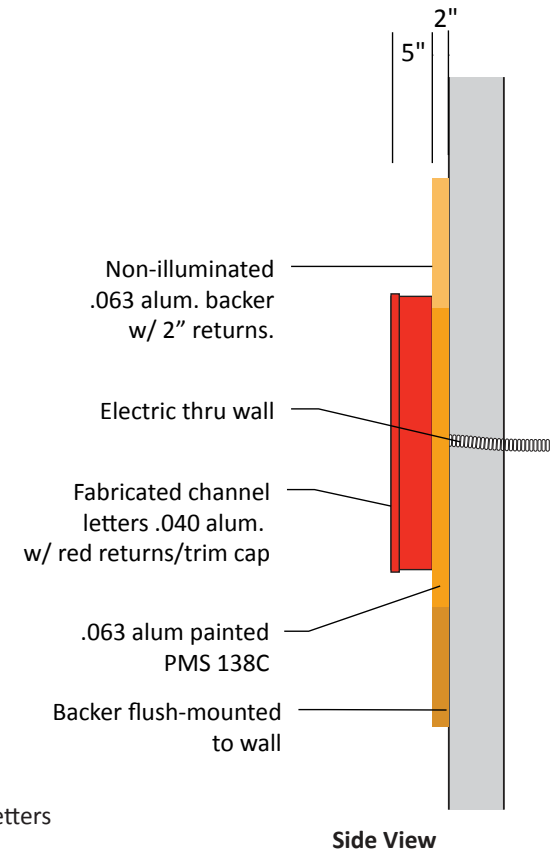
French Diamond is an architectural feature

Sign Specifications

Manufacture single face, non-illuminated, pan aluminum backer with illuminated channel letters. Letters mounted flush to architectural backer panel & panel flush mounted to wall.

Letters are internally illuminated by red LEDs.

Power supply is remotely located behind building fascia.



Non-illuminated
 .063 alum. backer
 w/ 2" returns.

Electric thru wall

Fabricated channel
 letters .040 alum.
 w/ red returns/trim cap

.063 alum painted
 PMS 138C

Backer flush-mounted
 to wall

Side View

COLOR LEGEND	
	2793 RED PLEX - letter faces
	PMS 109C YELLOW - background
	PMS 485C RED - trim cap, returns & ®
	PMS 138C ORANGE - border, return



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Client
 DENNY'S
 City & State
 Mesa, AZ
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 DENNYS.Mesa.3.27.19
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 GP
 Project Manager
 D. Toohey

REVISIONS

6-27-19 rev all elevs again-gp

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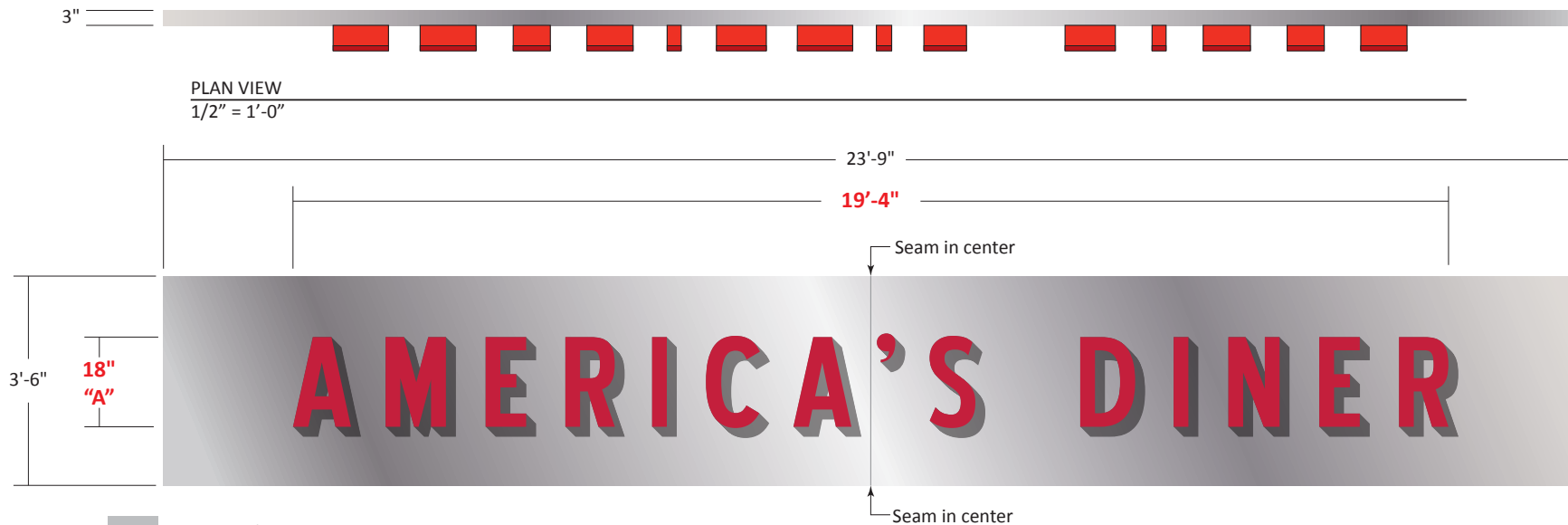


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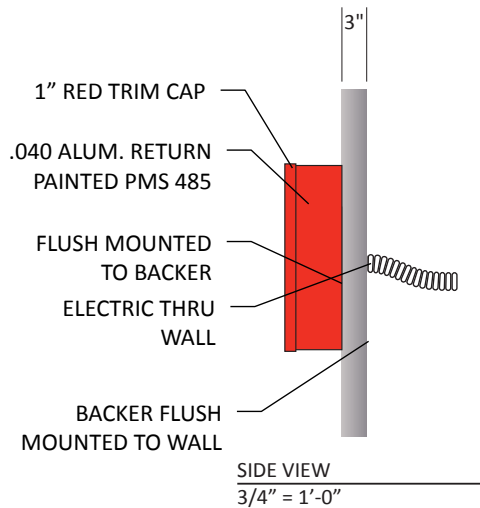
PAGE SIZE: 11x17

Channel Letters



AD AMERICA'S DINER SIGN
1/2" = 1'-0"

Letters: 18" x 19'-4" = 28.9 Sq. Ft.



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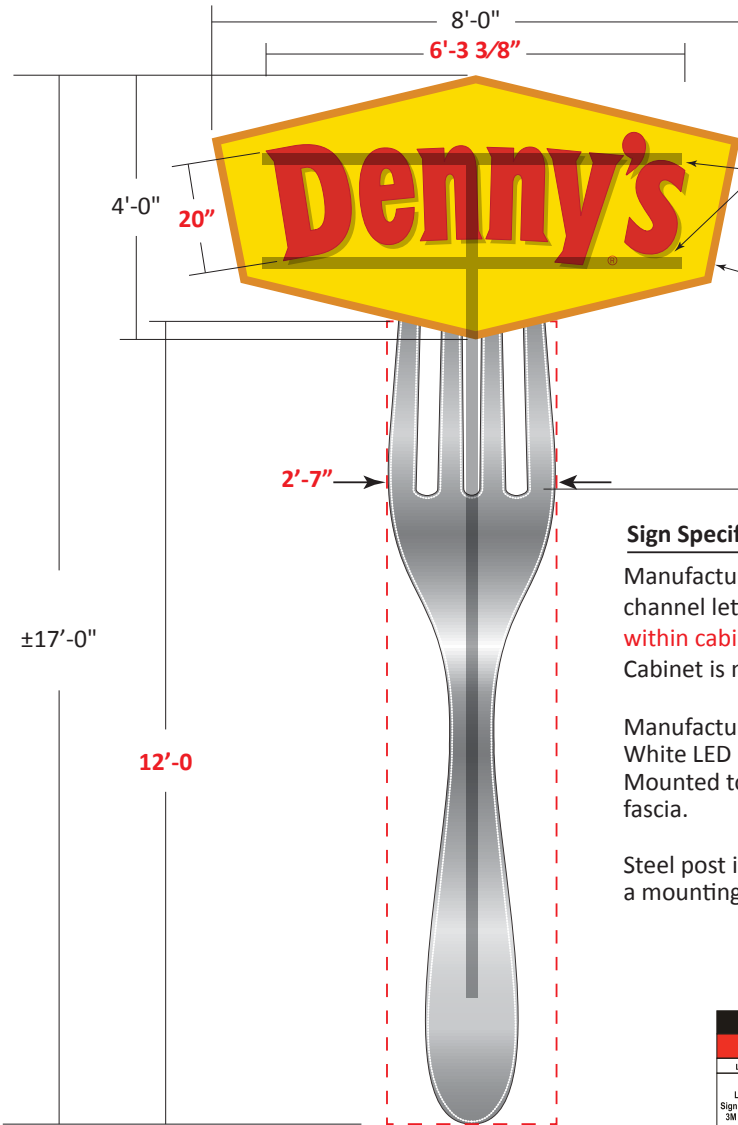
PAGE SIZE: 11x17

Channel Letters

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N. Recker Rd & E. Longbow Pkwy., Mesa, AZ 85215



Support post forms double "T" behind cabinet. Engineering to confirm adequate support.

Pan aluminum FD backer with LED illuminated channel letters flush mounted to face.

Halo-illuminated aluminum fork
WHITE LED outline lighting

Sign Specifications

Manufacture single face aluminum backer w/ LED illuminated channel letters. **Power supplies for fork LED & Cabinet are located within cabinet.**

Cabinet is mounted onto steel support post.

Manufacture custom fabricated aluminum fork 2" deep. White LED halo illumination (GE). Mounted to steel post with welded brackets. Paint post to match fascia.

Steel post is attached to building fascia via support tubes welded to a mounting plate that is bolted to fascia.

COLOR LEGEND

LOGO TYPE	CAST SHADOW	DROP SHADOW	BG YELLOW	BORDER ORANGE	LETTER OUTLINE	CABINET	FORK
PMS#: 485 Lacry#: L8-9145 Sign Tech#: 3232 3M Vinyl#: VT8987	PMS#: 1907C Lacry#: L8-9708 Sign Tech#: 1-378	PMS#: 131C Lacry#: L8-9709 Sign Tech#: CC3-121	PMS#: 109C Lacry#: L8-9705 Sign Tech#: 2037 3M Vinyl#: VT8947	PMS#: 138C Lacry#: L8-9706 Sign Tech#: CX3-126 3M Vinyl#: VT8946	PMS#: White 3M Vinyl#: Trans White	PMS#: 138C SW#: 6895 "Laughing Orange"	Metallic Silver

6" Deep cabinet

* Building features could alter this dimension.

2" Sq. (.125" wall) Vertical sign support tube is fastened to building via horizontal support tubes/mounting plates

2" Sq. Horizontal support tubes. Paint to match fascia. Blocking behind wall required for installation. **Sub-contractor to consult w/ GC about proper anchoring method.**

±24"*

* Building features could alter this dimension.

2" Deep fork

Side View

Scale: 1/2" = 1'-0"



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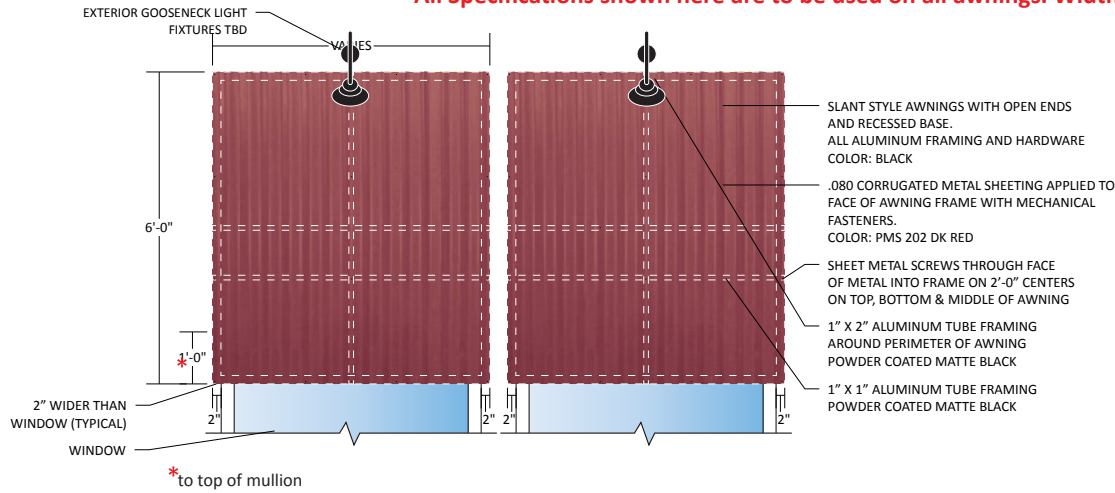
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Fork Sign

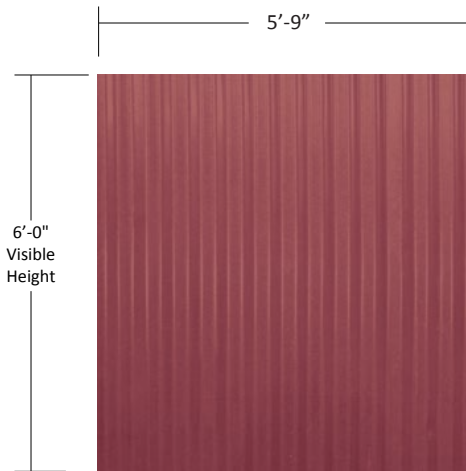
PAGE

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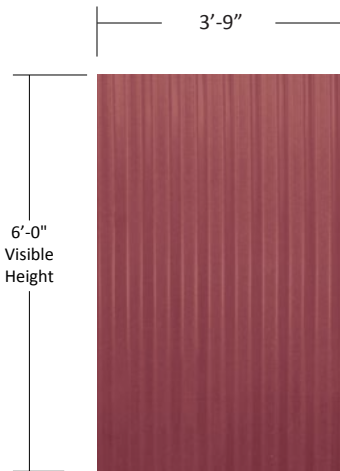
All Specifications shown here are to be used on all awnings. Widths will vary.



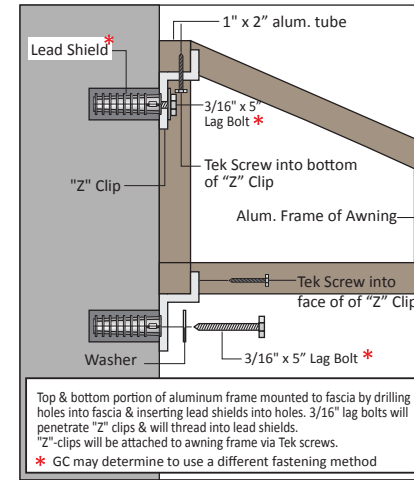
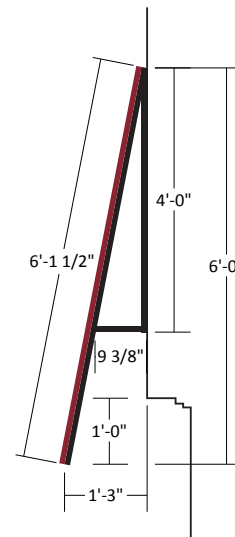
Typical Awning Detail
Scale: 3/8" = 1'-0"



A1 (Qty. 2)



A2 (Qty. 2)



Mounting Detail for Awnings w/ Aluminum Frames
Scale: NTS

(4) Slant Style Awnings

Scale: 1/2" = 1'-0"

SCOPE OF WORK FOR AWNINGS

- Fabricate new frames & awning covers
- Install new frames with new covers

- CK Denny's program Sign Tech Arlon - awning fabric
- Martha Stewart MSLO26 Barn - awning fabric
- Black paint (matte) - aluminum frame



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Mesa, AZ
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GP
Project Manager
D. Toohey

REVISIONS

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PAGE SIZE: 11x17

Awnings

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TP D/F Pylon (side A shown here)
 Scale: 1/8" = 1'-0"



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Tenant Panel