



Board of Adjustment

Staff Report

CASE NUMBER: BA15-004 (PLN2015-00032)
STAFF PLANNER: Angelica Guevara
LOCATION/ADDRESS: 318 E. Brown Rd.
OWNER: NWC Brown & Mesa LLC.
APPLICANT: Liliana Plinedo/Tectonic Engineering

REQUEST: *Requesting a Special Use Permit to allow a wireless communication facility to exceed the maximum height allowed in the LC zoning district.*

SUMMARY OF APPLICANT'S REQUEST

Requesting a Special Use Permit (SUP) to allow a wireless communication facility (WCF) to exceed the maximum height allowed in the LC zoning district. The applicant is proposing the construction of a 60-foot tall monopalm measured to the top of the palm fronds. The WCF is proposed within an existing retail development located west of Mesa Drive, north of Brown Road.

STAFF RECOMMENDATION

Staff recommends approval with the following conditions of case BA15-004:

- 1. Compliance with the site plans and elevations dated January 21, 2015, except as modified by the following conditions.*
- 2. The wireless communication facility shall utilize a monopalm design with a maximum height of sixty-feet (60') measured to the top of the palm canopy and 50' fifty-feet to the RAD center of the antenna array.*
- 3. The wireless communication facility shall utilize a Faux Date Palm design with a minimum of 65 palm fronds.*
- 4. The palm fronds shall be a minimum of eleven-feet (11') in length.*
- 5. The wireless communication pole shall resemble a palm tree trunk with date palm bark cladding material applied on the pole.*
- 6. The antenna array stand-off shall not exceed eighteen-inch (18") maximum from the pole.*
- 7. The antenna array for each sector shall not exceed an overall width of nine-feet (9').*
- 8. The antennas shall not exceed 1' wide x 7" deep x 8' in length with four antennas per sector.*
- 9. All antennas, mounting hardware, RRH, and other equipment near the antennas shall be painted to match the color of the faux palm fronds.*
- 10. The 20' x 24' lease area containing the equipment shelter and generator shall be screened by a 9' tall masonry wall with solid metal gate.*
- 11. Provide a nine-foot (9') tall CMU wall around the perimeter of the lease area to screen the equipment and generator.*
- 12. Replace the wood slats on the gate of the equipment enclosure with a durable opaque material that complies with Sec. 11-30-9.*
- 13. The operator of the monopalm shall respond to and complete all identified maintenance and repair of the facility within 30-days of receiving written notice of the problem.*
- 14. Provide a permanent, weather-proof identification sign, approximately 16-inches by 32-inches in size on the gate of the fence identifying the facility operator(s), operator's address, and 24-hour telephone number for reaching the operator or an agent authorized to provide 24/7 response to emergency situations.*

15. *Maintenance of the facility shall conform to the requirements of Zoning Ordinance Section 11-35-5.1.*
16. *No later than 90 days from the date the use is discontinued or the cessation of operations, the owner of the abandoned tower or the owner of the property on which the facilities are sited shall remove all equipment and improvements associated with the use and shall restore the site to its original condition as shown on the plans submitted with the original approved application. The owner or his agent shall provide written verification of the removal of the wireless communications facility within 30 days of the date the removal is completed.*
17. *Compliance with all requirements of the Development Services Division with regard to the issuance of building permits.*

SITE CONTEXT

CASE SITE:	Existing group commercial center – zoned LC
NORTH:	(across the crosscut canal) Existing multi-residence development – zoned RM-4
EAST:	(across Mesa Drive) Existing retail development – zoned LC
SOUTH:	(across Brown Road) Existing group commercial development – zoned LC
WEST:	Existing multi-residence development – zoned RM-4

STAFF ANALYSIS

The requested Special Use Permit (SUP) would allow the placement of 60-foot high monopalm at the northwest corner of the existing group commercial development behind the existing buildings. The development has 18 existing real palm trees which will help blend the faux monopalm into the landscape. The monopalm and associated ground-mounted equipment including emergency generator measuring 4' x 8' would be located within a 20' x 24' screened area. The applicant has proposed to surround the equipment shelter and generator with an 8' tall CMU wall; however the height of the equipment is approximately 9'. Due to the proximity of the enclosure to the adjacent residential to the west, staff has recommended a condition of approval requiring the wall around the equipment be raised to 9' high to provide adequate screening of that equipment.

The wireless communication facility has been proposed to address "both capacity deficiencies and a gap in coverage." Approval of a SUP for this monopalm requires finding that the wireless communication facility is compatible with and not detrimental to surrounding properties and is consistent with the General Plan and other recognized plans and policies approved by the City Council.

Wireless communication facilities that exceed the maximum height permitted, are an allowed use in the LC Zoning District subject to granting of a Special Use Permit. In addition, the Zoning Ordinance includes location, design, and operation requirements.

Location Preferences: The Zoning Ordinance provides a ranked listing of preferred locations for new wireless communication facilities. Top preference is given to placement on existing non-residential structures, such as buildings or utility facilities located more than 300 feet from residential zones; followed by co-location on existing wireless communication facilities. When such locations are not available, locations within industrial zones are preferred, followed by stealth applications in commercial zones, then stealth applications in residential zones.

The applicant evaluated existing verticality within the search radius, and has determined that there are no structures that can be used to address the specific coverage gap. In addition there were no existing non-

residential structures in the coverage area more than 300' from residential uses. In addition, the coverage area does not have any industrial districts within the coverage area. Staff has completed an informal review of verticality and zoning in the area, and concurs with the applicant's assessment.

Design Preferences: The Zoning Ordinance provides a ranked listing of preferred design approaches for new wireless communication facilities. Top preference is given architecturally integrated building mounted antennas, such as steeples, chimneys, and cupolas, followed by building mounted antennas concealed by faux-structures, then antennas directly mounted to building and visible, but artistically integrated into the structure. When building mounted locations are not available, freestanding structure designs such as sculptures and clock towers are preferred, followed by freestanding stealth trees, then freestanding monopoles.

The applicant has requested the use of a freestanding monopalm with a height of 50' feet to the RAD center of the antennas (60-feet to top of the palm fronds). A monopalm design was chosen by the applicant as the best method to blend into the surrounding environment, noting that 18 real palms exist within the group commercial development.

Location of Facilities: The Zoning Ordinance requires that within commercial districts, new freestanding antenna structures may be located within 1,000 feet of another freestanding facility, provided a stealth camouflaged design is used.

As noted above, the applicant has proposed a monopalm design and stated the existing WCF mounted on an existing light pole in the parking lot of the Hohokam Stadium located approximately 1,475' west is not located within the coverage objective and does not provide the needed coverage within Verizon's search ring.

Height of Facilities: Consistent with the Zoning Ordinance requirements, ground-mounted equipment will be screened by a CMU wall painted to match surrounding development.

The applicant's request proposes an 8' tall CMU wall to surround the equipment shelter and emergency generator; however the height of the equipment is 9'1" high. As previously stated, due to the proximity of the equipment shelter approximately 78' from the existing residential development to the west, staff has stipulated that the wall height be raised to 9'.

Required Separation and Setbacks: Alternative antenna structures, such as a monopalm, must be setback from residential uses a distance equal to the height of the structure plus one foot and setback from streets a distance equal to the height of the structure plus one foot.

The proposed WCF is located 265-feet from Brown Road, and is proposed approximately 78' from the residential property to the west meeting the required separation and setbacks.

Design Standards: The Zoning Ordinance provides several standards to help ensure antennas, antenna support structures, and related equipment are located, designed, and screened to blend with the existing natural or built surroundings. Specific to the use of a monopalm design, these standards help ensure that faux-trees actually camouflage the wireless facility by requiring that antennas and antenna support structures not extend beyond the outside edge of the faux-palm fronds.

Staff has concerns that the three-sector, three antennas per sector antenna array will not be sufficiently camouflaged by the faux-palm fronds as each sector will have an overall width of 9' wide and could be up to 30" from the pole. Staff has recommended a condition of approval to increase the number of palm fronds to 65' and for the length of the palm fronds to increase to 11' to ensure the palm fronds adequately screen the antennas.

Required Landscaping: The Zoning Ordinance requires wireless communication sites to include a landscape buffer of plant materials that effectively screens views of the base of support structures and equipment facilities from adjacent residential properties, public right-of-way, path, or trail. The standard buffer requirement is a continuous landscape strip with a minimum radius of 4 feet around the perimeter of the installation.

The WCF is proposed at the back of the buildings in an area that is screened from street view making the additional landscape material around the base of the equipment enclosure not needed

RECOMMENDED FINDINGS

1. There are no existing structures within the search area that can be used to co-locate a WCF to address the specific coverage gap.
2. The coverage area does not have any industrial districts within the coverage area.
3. The applicant is proposing a freestanding monopalm at a height of 50' feet to the RAD center of the antennas (60-feet to top of the palm fronds).
4. The monopalm design is the best option available to blend into the surrounding environment as there are approximately 18 existing mature palm trees within the group commercial development.
5. The nearest WCF is located approximately 1,475' west of the site.
6. The equipment shelter and generator will be screened by a nine-foot (9') tall CMU wall finished to match the adjacent building.
7. The proposed WCF is 265-feet from Brown Road, and 78' from the residential property to the west meeting the required separation and setbacks.
8. The three-sector, three antennas per sector antenna array will be sufficiently camouflaged by the 65 faux-palm fronds each measuring eleven-feet (11') in length.
9. Each antenna sector will have an overall width of nine-feet (9') wide and could be up to 30" from the pole.
10. The WCF is proposed at the back of the buildings in an area that is screened from street view making the additional landscape material around the base of the equipment enclosure not needed.

ORDINANCE REQUIREMENTS:

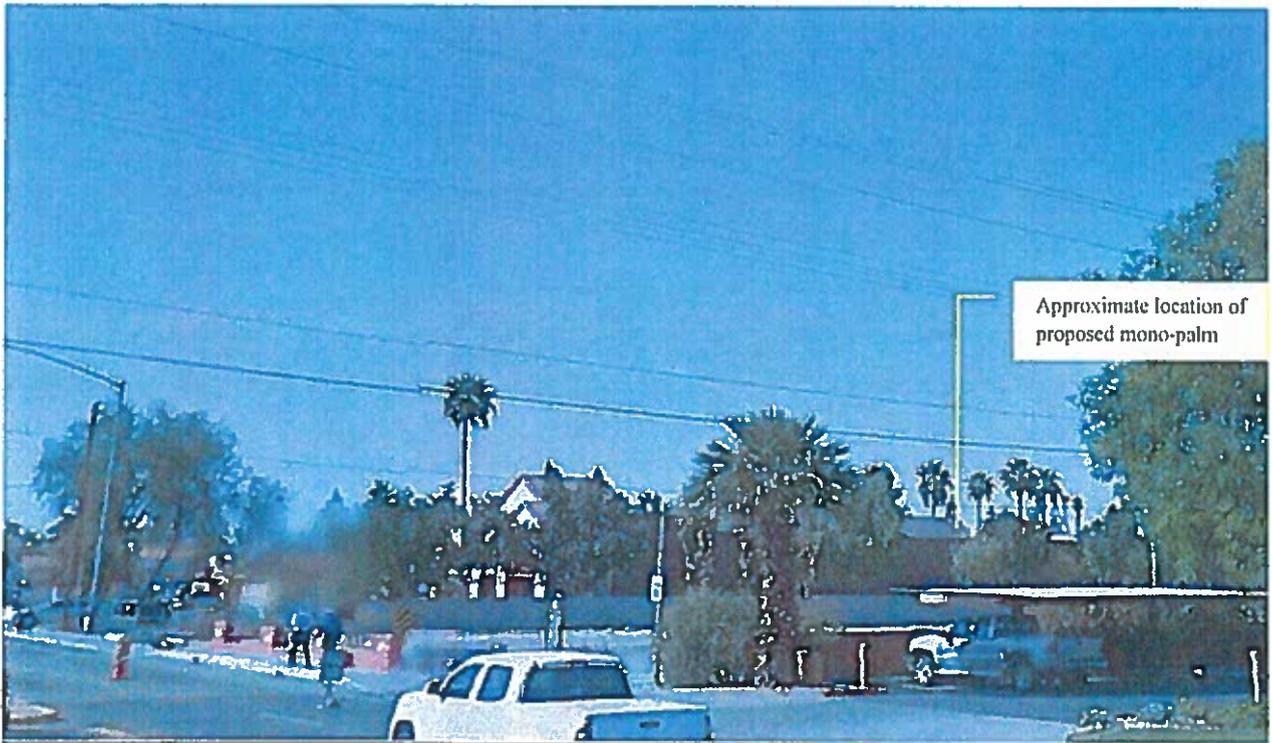
See Appendix "A" for:

Zoning Ordinance, Section 11-35-5 – Location, Design, and Operation Requirements

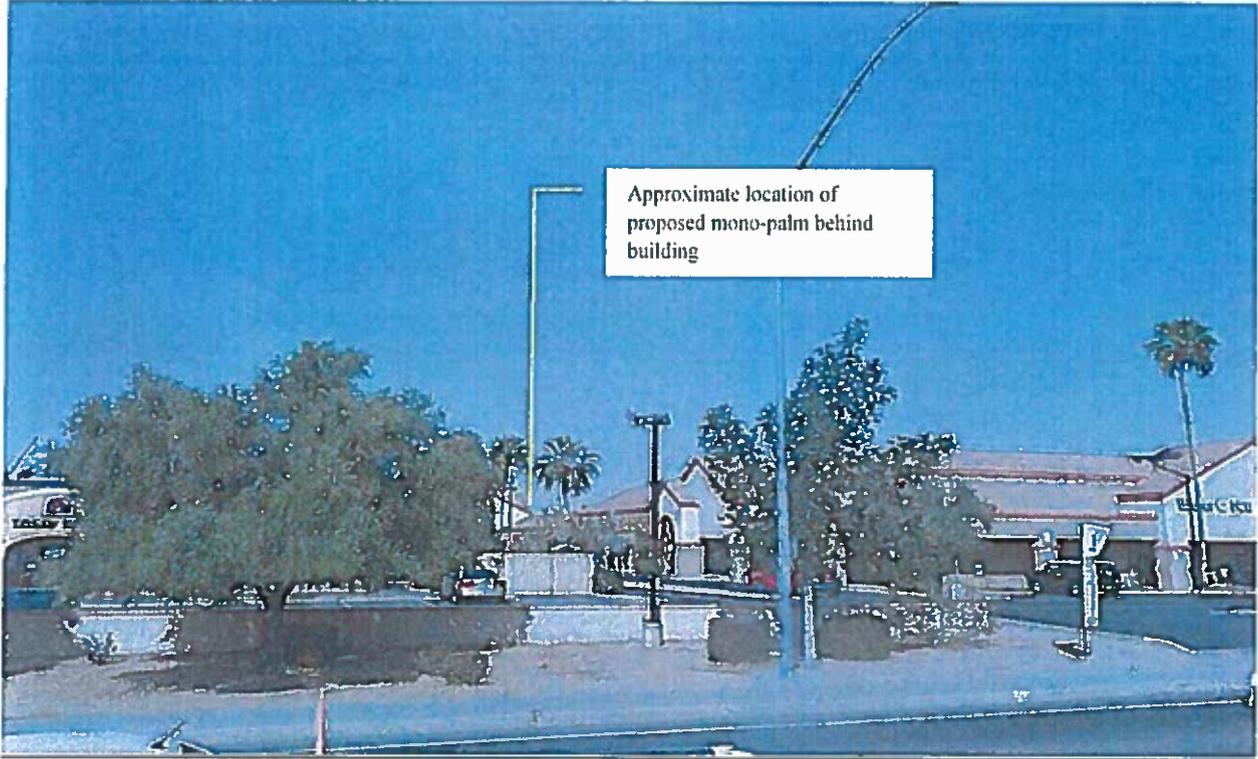
Zoning Ordinance, Section 11-70-5 – Special Use Permit:



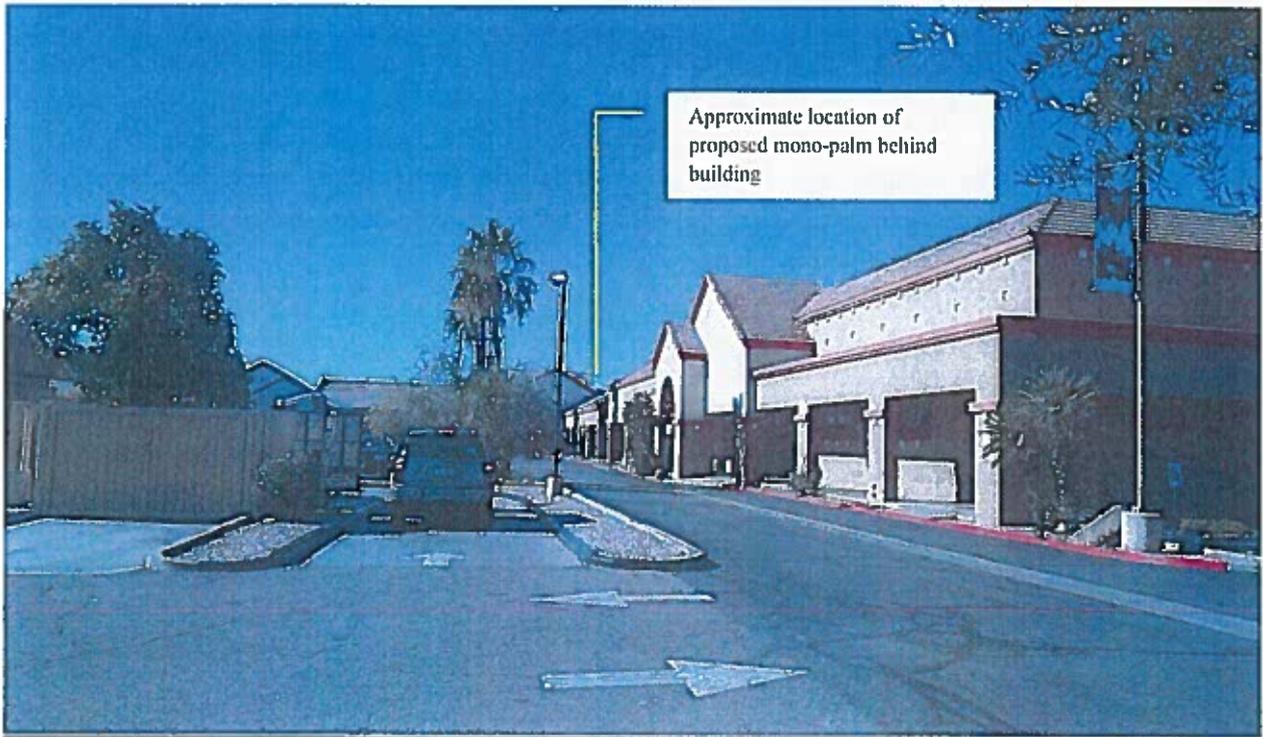
W. view toward site from Mesa Dr.



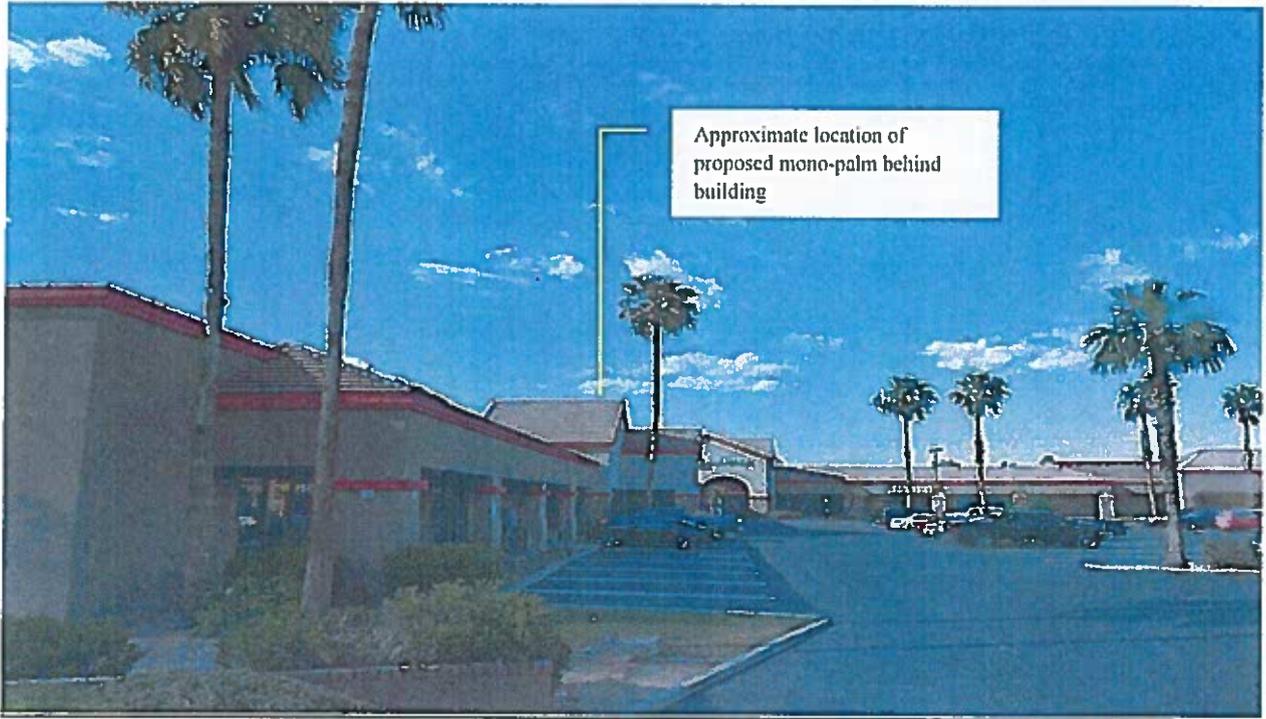
S.W. view toward site from Mesa Dr.



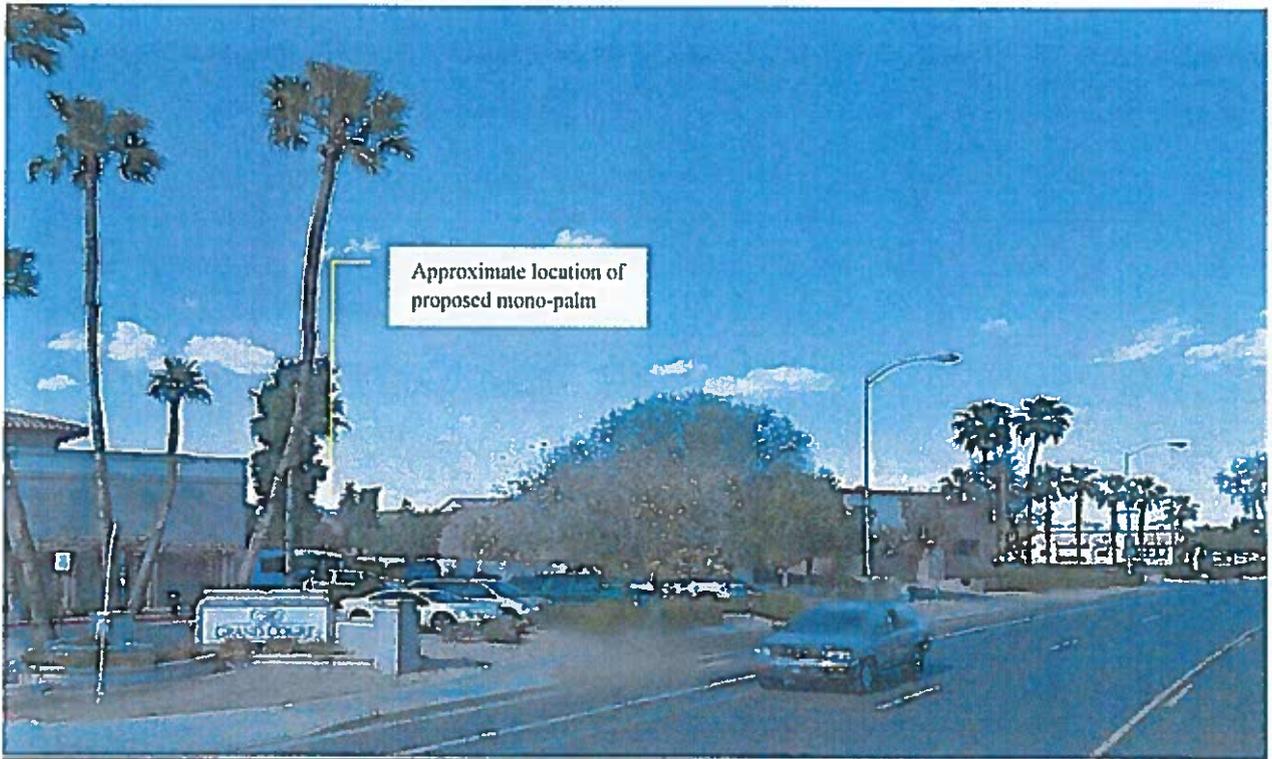
W. view toward site from Mesa Dr.



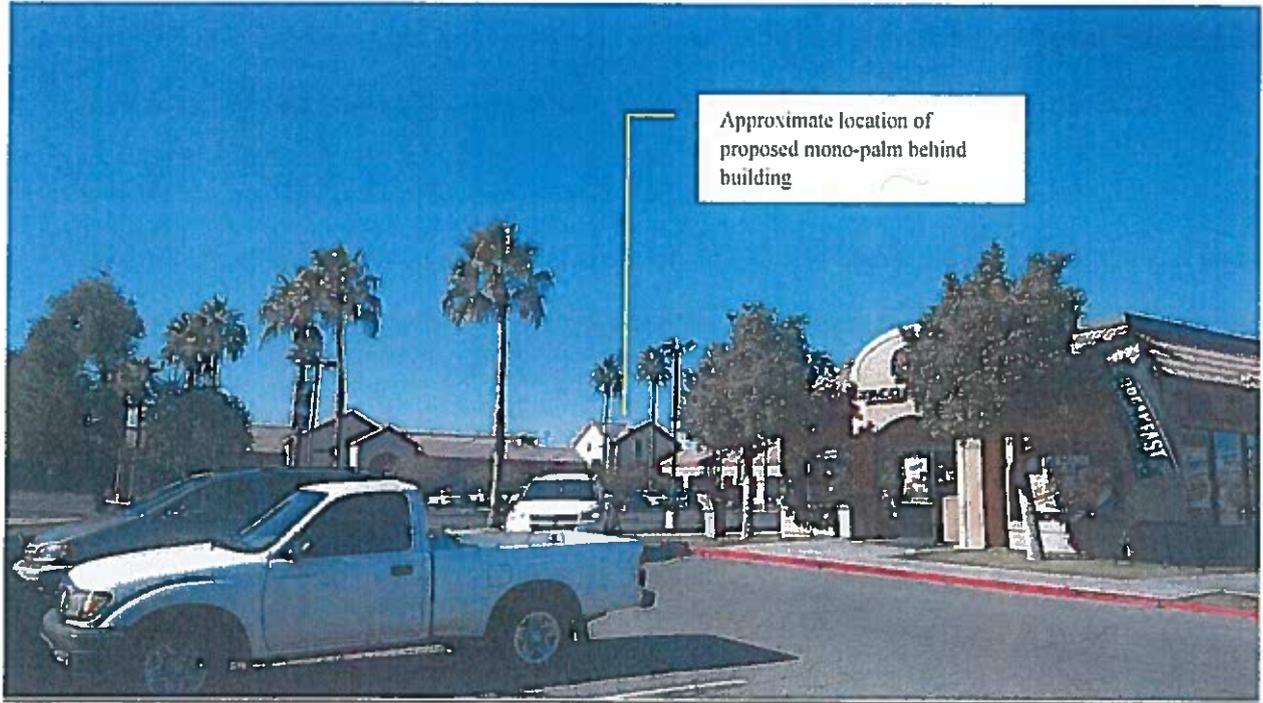
W. view toward site from within the shopping center



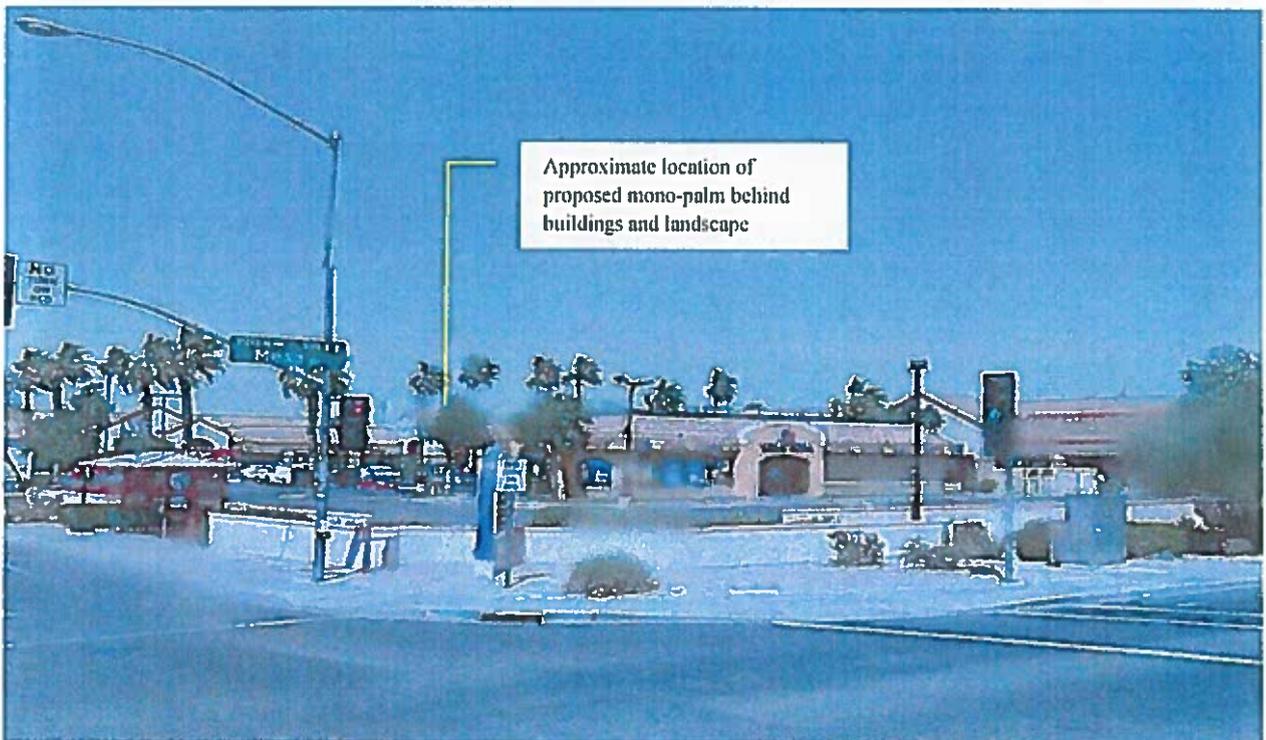
N. view of site from Brown Rd.



N.E. view toward site from Brown Rd.



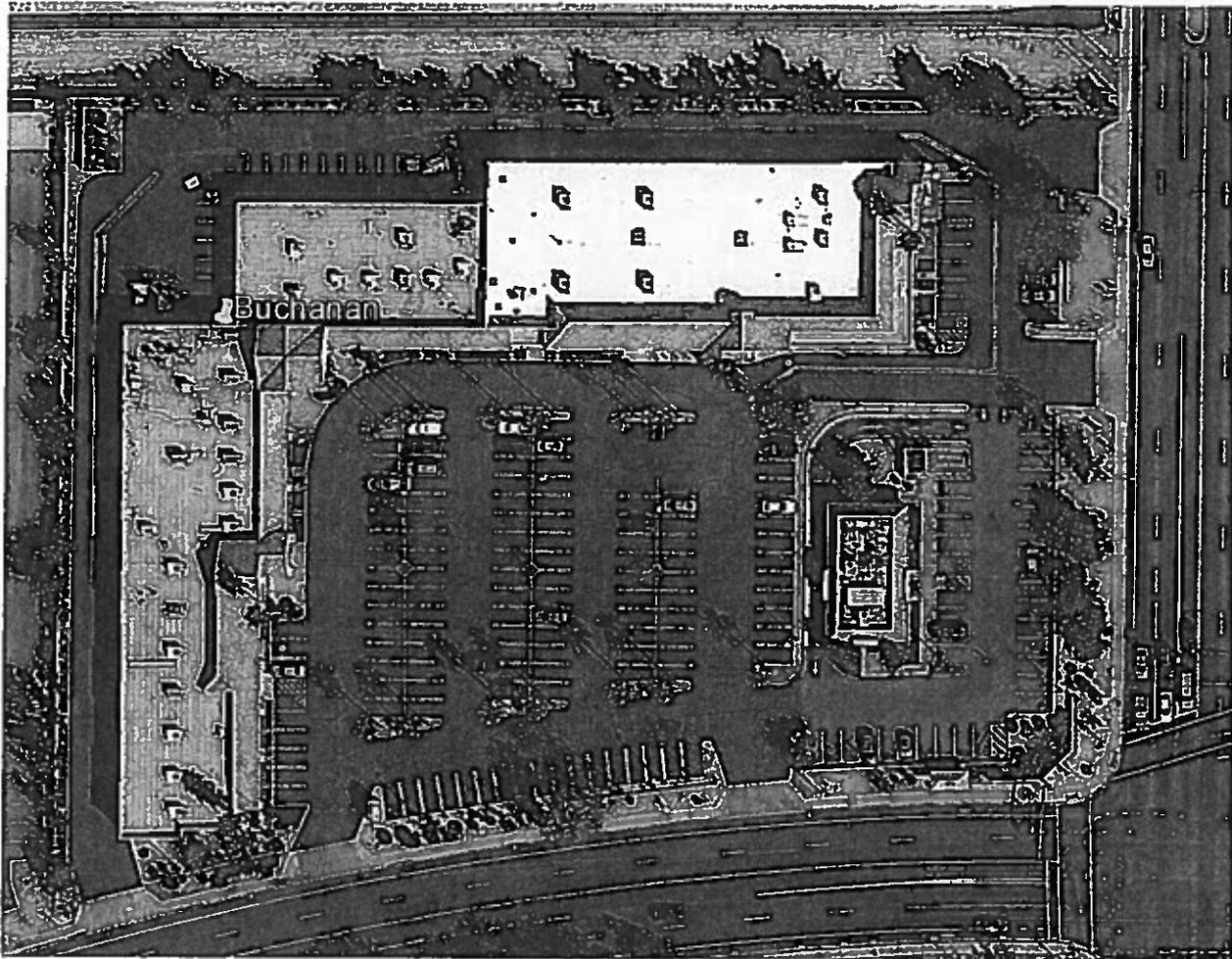
N.W. view toward site from Taco Bell



N.W. view toward site from Mesa Dr. and Brown Rd.

Other Information

- 1) The proposed facility will have an equipment cabinet with air conditioning units included, but there is no information at this time in regards to the noise that might be generated by this equipment.
- 2) Below is an aerial and several photographs taken of the surrounding area of the proposed site.



- 2) Verizon Wireless will take several measures to ensure screening and camouflaging the proposed facility from the surrounding areas. In conformance to Chapter 35 Section 11-35-5.

The proposed equipment cabinet, generator and mono-palm will be screened by an 8' high masonry wall that will match in color/material and extend from the existing adjacent building. The proposed antennas will be painted to match the color and will not extend beyond the outside edge of the faux palm branches. The mono-palm will be tucked within a 20' x 24' land space behind the existing building and will be setback approximately 265' to the south, 406' to the east, 101' from to the north, and 78' from to the west.

There are existing palm trees and landscaping within the property of this proposal that will serve as camouflage for the structure and screen from view along Brown Road and Mesa Drive. Along the west side of the lot facing residential there are several existing trees that provide screening from the living community. The north side of the lot faces Tempe Canal and is lined with trees that will serve for screening from public view in that direction. Therefore the proposed mono-palm is compatible with and not detrimental to adjacent properties or the neighborhood.

- 3) The proposed facility will be camouflaged by surrounding palm trees and landscaping from Brown Road and Mesa Drive. During the pre-application meeting, a visual impact and/or photo overlays were not required for this submittal.

- 4) The proposed location and design of this facility are preferred by the City of Mesa according to the ordinance Chapter 35, Section 11-35-5, Part A & B. The location choice is in a Limited Commercial district and will be of stealth design. This proposal sits as number 5 in Part. A. for which a camouflaged, stealth or building mounted facility in a Limited and General Commercial District is preferred. The higher ranked Location Preferences were not feasible due to the following listed in order of ranking

1. There were no existing non-residential structures in the necessary coverage area more than 300' from residential that were capable and/or available in order to achieve the engineering aspects of the project without having to majorly modify the structure.
2. There were no existing signal, power, light or similar kinds of poles located in the necessary coverage area more than 300' from residential that were capable and/or available.
3. There were no co-locatable existing wireless telecommunication facilities in the necessary coverage area.
4. The coverage area is not located in or near a limited, general and heavy industrial district.

- 5) The proposed facility is being proposed as a new free standing tower due to the lack of co-locatable facilities within Verizon's service objectives.

Description of Proposed Facility

1) Verizon Wireless would like to propose a new 60' monopole, to be designed as a faux palm along with a 7' x 10' equipment cabinet, and a 4'x 8' generator all within a 20' x 24' area on the northwest corner of the property at 318 E. Brown Rd. The mono-palm will consist of (3) sectors, with (4) 8' antennas each sector for a total of (12) antennas, (4) Remote Radio Heads (RRHs) each sector for a total of (12) RRHs, (2) junction boxes and (2) hybrid fiber cables. The following are details of the proposed mono-palm configuration:

- Structure is proposed at a height of 60'
- The antennas will be mounted to the structure by T-Arm mounts at a height of 50'
- The antenna types will be panel antennas approximately 8' in length, 12" in width, and 7" in depth
- The RRHs will be mounted behind the antennas at the same centerline of 50'
- The junction boxes will be mounted at the same centerline of 50'
- The hybrid fiber cables will connect the junction boxes on the tower to the equipment cabinet and be concealed within the proposed mono-palm structure

The area in which this facility is being proposed will be approximately 20' x 24' which will take up 2 existing parking spaces. The current zoning for the property is Limited Commercial for which the land uses are General Offices/Retail/Services. In accordance to Chapter 32: Section 11-32-3, City of Mesa requires 1 parking space per 375 square feet of building space. Below are the calculations used to show that the property will meet parking requirement with the proposed facility.

Existing Gross Building Area = 44,197 square feet

Existing Parking Spaces = 156

Proposed Parking Space Removal/Use = 2

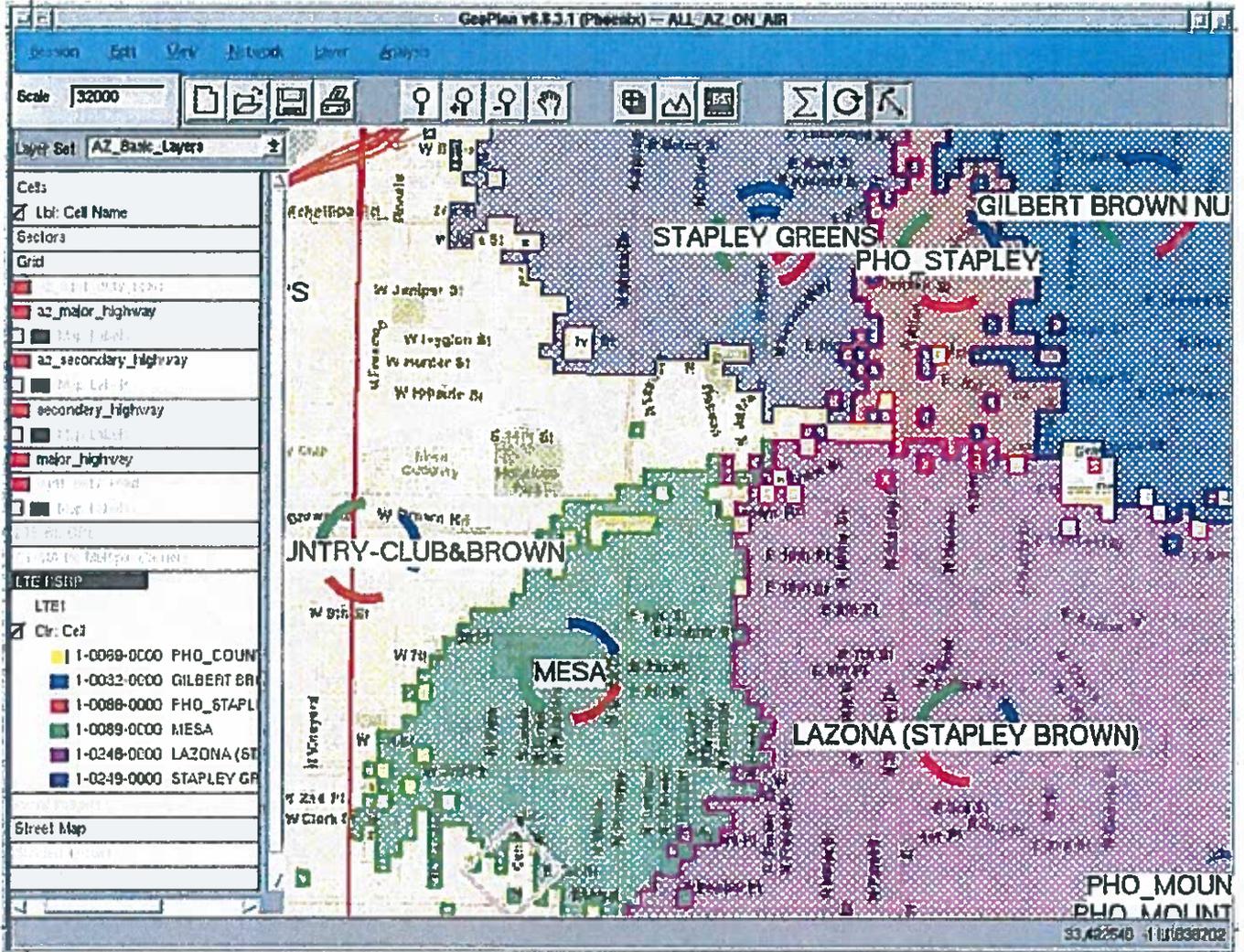
Actual Final Parking Spaces = 154

$$\frac{44,197 \text{ ft}^2}{1 \text{ space per } 375 \text{ ft}^2} = 117.86(118) \text{ parking spaces required}$$

154 actual parking spaces > 118 required parking spaces

Therefore, the proposed use of a communications facility at this location will not have a significant impact on the City required parking spaces for the current land use.

EXISTING VERIZON WIRELESS 4G LTE 700MHz COVERAGE



AERIAL VIEW OF VERIZON WIRELESS EXISTING 4G LTE 700MHz COMMUNICATION FACILITIES PROPOSED FACILITY BUCHANAN CIRCLED IN RED



January 26, 2015

City of Mesa
55 N. Center Street
Mesa, AZ 85202

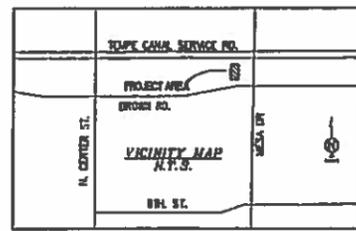
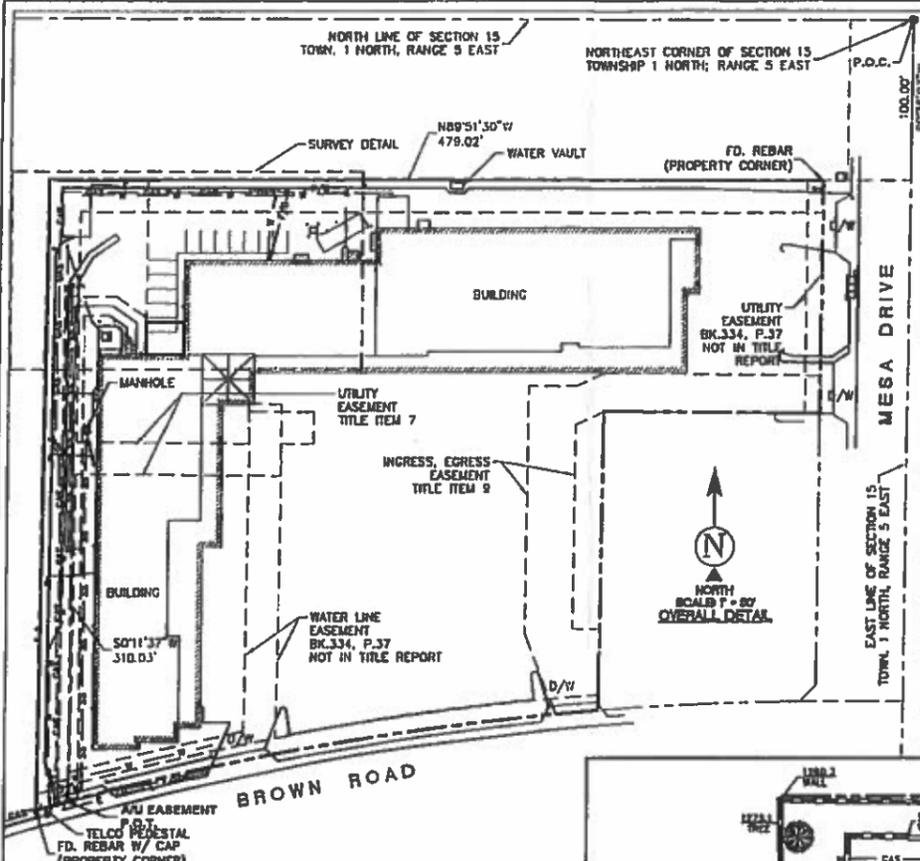
Attn: Zoning Administrator / Board of Adjustment

Subject: Special Use Permit Justification & Compatibility Statement
PHO BUCHANAN: New Build Cell Facility for Verizon Wireless
318 E. Brown Rd.
Mesa, AZ 85201

Verizon Wireless is proposing to construct a new Wireless Communications Facility at 318 E. Brown Rd in order to provide customers necessary 4G LTE coverage and capacity in the area of Brown Road and Mesa Drive. The proposal of this new cellular facility includes the construction of a 60' mono-palm design, installation of a 7'x10' equipment cabinet and a 48kW (4'x8') standalone generator within a 20'x24' compound. This narrative will provide information about the proposed facility and what steps will be taken to assure the request conforms to the Mesa City Code and General Plan. It will also explain how the proposed use will be compatible and cause little impact to the surrounding areas.

Map and Inventory of Existing Sites

The attached inventory and maps show the coverage and sites in the area within a 1-2 mile radius; from W Pepper Place to the South, the 87/ N Country Club Drive to the West, W Bates Street to the North and N Gilbert Road to the East. The first map is an aerial shot of Verizon's existing sites. The second attachment is the coverage area currently provided by those existing sites and it can be seen in this map that there is a gap of coverage. This area experiences many dropped calls and lack of support for Verizon's customers. Therefore, the second map represents the coverage that the proposed facility, PHO BUCHANAN, is to provide. It is observed that the facility will indeed fill the gap of coverage between the existing facilities. This request is necessary in order to maintain customer confidence in coverage, reliability and continue Verizon Wireless's record of exceptional service.



DIRECTIONS TO SITE
 FROM THE VERIZON WIRELESS OFFICE IN TEMPE, AZ HEAD EAST ON W. GEMINI DR. TOWARD S. MAPLE AVE.; TURN RIGHT ONTO S. MAPLE AVE.; TURN LEFT ONTO E. GUADALUPE RD.; TURN LEFT ONTO S. RURAL RD.; TURN RIGHT TO MERGE ONTO US-60 E. TOWARD GLOBE.; TAKE EXIT 180 FOR MESA DR.; TURN LEFT ONTO S. MESA DR.; TURN LEFT ONTO E. BROWN RD.

ACCESS & UTILITY (A/U) EASEMENT LEGAL DESCRIPTION
 A PORTION OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15 AND PROCEEDING SOUTH 00°36'03" WEST ALONG THE EAST LINE OF SAID SECTION 15, A DISTANCE OF 100.00 FEET; THENCE NORTH 89°31'30" WEST, A DISTANCE OF 479.02 FEET; THENCE SOUTH 00°11'37" WEST, A DISTANCE OF 109.52 FEET; THENCE NORTH 89°48'23" WEST, A DISTANCE OF 6.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°11'37" EAST, A DISTANCE OF 19.88 FEET; THENCE NORTH 55°19'26" WEST, A DISTANCE OF 18.20 FEET; THENCE NORTH 89°48'23" WEST, A DISTANCE OF 23.55 FEET; THENCE SOUTH 00°11'37" WEST, A DISTANCE OF 310.03 FEET TO THE POINT OF TERMINATION.

SCHEDULE "B" NOTE
 REFERENCE IS MADE TO THE TITLE REPORT ORDER #00033-021408, ISSUED BY U.S. TITLE SOLUTIONS, DATED AUGUST 28, 2014. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. SCHEDULE "B" EXCEPTION ITEMS 1-6 AND 10 ARE NOT SURVEY MATTERS AND HAVE NOT BEEN PLOTTED.

① EASEMENT BY CENTER STREET INVESTMENT COMPANY, AN ARIZONA LIMITED PARTNERSHIP TO THE CITY OF MESA, ARIZONA, DATED 12/29/1986 RECORDED 1/2/1987 IN INSTRUMENT NO. 87-001046. NOTES: INGRESS AND EGRESS AND PARKING EASEMENT (BLANKET IN NATURE)

8. EASEMENT BY CENTER STREET INVESTMENT CO. TO TACO BELL CORPORATION, DATED 4/8/1987 RECORDED 8/10/1987 IN INSTRUMENT NO. 87-219541. NOTES: INGRESS AND EGRESS AND PARKING EASEMENT (BLANKET IN NATURE)

② EASEMENT BY NYC BROWN & MESA LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP TO TACO BELL CORP., A CALIFORNIA CORPORATION, DATED 5/25/1989 RECORDED 5/30/1989 IN INSTRUMENT NO. 89-245632. NOTES: AMENUS EASEMENT RECORDED IN INSTRUMENT NO. 87-219541 (PLOTTED)

11. MEMORANDUM OF LEASE BETWEEN NYC BROWN & MESA LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP AND WALGREEN ARIZONA DRUG CO., AN ARIZONA CORPORATION DATED 6/5/1989 RECORDED 6/12/1989 IN INSTRUMENT NO. 89-267438. (NO DOCUMENT RECEIVED)

12. MEMORANDUM OF LEASE BETWEEN NYC BROWN & MESA LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP AND WALGREEN ARIZONA DRUG CO., AN ARIZONA CORPORATION DATED 6/5/1989 RECORDED 6/12/1989 IN INSTRUMENT NO. 89-267438. (NO DOCUMENT RECEIVED)

13. SIGN AGREEMENT BETWEEN THE CITY OF MESA AND NYC BROWN & MESA LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP DATED 8/4/2013 RECORDED 8/20/2013 IN INSTRUMENT NO. 20130564723. (NOT PLOTTABLE)

NOTE: THE SURVEYORS OPINION IS THAT NO SCHEDULE "B" ITEMS PROVIDED BY SAID REPORT AFFECT THE PROPOSED VERIZON WIRELESS PREMISES SHOWN HEREON.

LESSOR'S LEGAL DESCRIPTION
 THAT PARCEL OF LAND SITUATE IN THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15; THENCE SOUTH 89°32'27" WEST ALONG THE NORTH LINE OF SAID SECTION 15, A DISTANCE OF 40.00 FEET; THENCE SOUTH, A DISTANCE OF 100.00 FEET; THENCE SOUTH 89°32'27" WEST, A DISTANCE OF 15.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°32'27" WEST, A DISTANCE OF 483.35 FEET; THENCE SOUTH, A DISTANCE OF 394.74 FEET TO A POINT ON A CURVE WHICH IS CONCAVE SOUTHERLY AND WHOSE RADIUS POINT BEARS SOUTH 18°12'02" EAST, A DISTANCE OF 1845.00 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°05'18", A DISTANCE OF 357.83 FEET; THENCE NORTH, A DISTANCE OF 187.11 FEET; THENCE EAST, A DISTANCE OF 135.00 FEET; THENCE NORTH, PARALLEL TO AND 95.00 FEET WEST OF THE EAST LINE OF SAID SECTION 15, TOWNSHIP 1 NORTH, RANGE 5 EAST, A DISTANCE OF 145.80 FEET TO THE TRUE POINT OF BEGINNING.

LEASE AREA LEGAL DESCRIPTION
 A PORTION OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15 AND PROCEEDING SOUTH 00°36'03" WEST ALONG THE EAST LINE OF SAID SECTION 15, A DISTANCE OF 100.00 FEET; THENCE NORTH 89°31'30" WEST, A DISTANCE OF 479.02 FEET; THENCE SOUTH 00°11'37" WEST, A DISTANCE OF 89.52 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°48'23" EAST, A DISTANCE OF 24.00 FEET; THENCE SOUTH 00°11'37" WEST, A DISTANCE OF 20.00 FEET; THENCE NORTH 89°48'23" WEST, A DISTANCE OF 24.00 FEET; THENCE NORTH 00°11'37" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 480 SQUARE FEET, MORE OR LESS
 RESERVING NONEXCLUSIVE RIGHT OF USE ACROSS LESSOR'S PROPERTY FOR NECESSARY APPURTENANCES TO CONSTRUCT, OPERATE, AND MAINTAIN A COMMUNICATION FACILITY FOR ITEMS SUCH AS, BUT NOT LIMITED TO INGRESS, EGRESS, PARKING, VEHICULAR MANEUVERING, EQUIPMENT, AND UTILITIES.

UTILITY NOTES
 SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

BENCHMARK
 PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS "GEOID 12A" MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE "SMARTNET" REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD83.

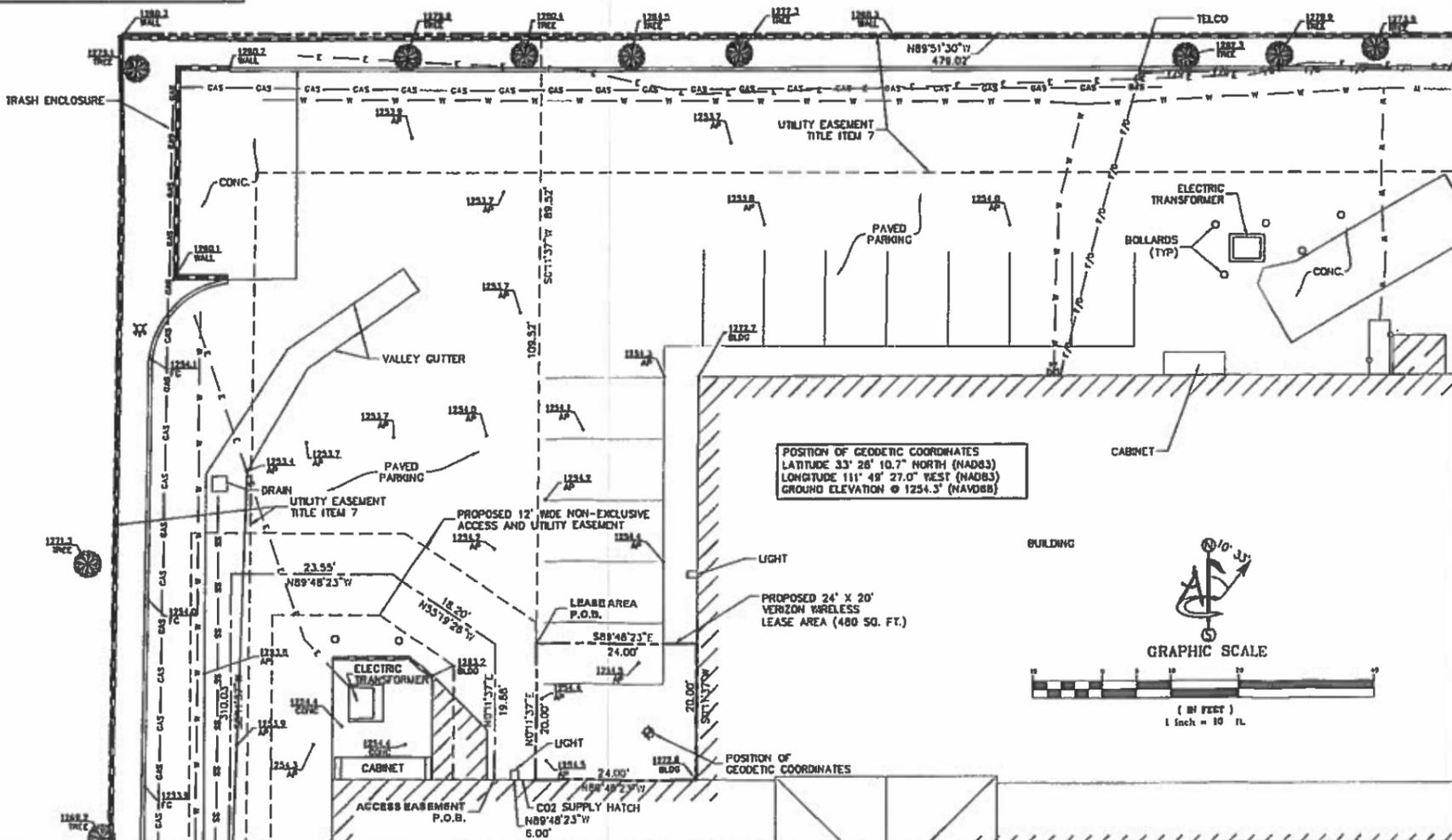
BASIS OF BEARING
 BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

SURVEY DATE
 09/24/2014

SURVEYOR'S NOTES
 SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

FLOOD ZONE
 THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #04013C2265L, DATED OCTOBER 18, 2013.

LEGEND				
AP	ASPHALT	—	C&U WALLS	
BLOC	TOP OF BUILDING	—	CURB LINES	
CONC	CONCRETE MASONRY UNIT	—	WATER LINES	
EDGE	EDGE OF CONCRETE	—	SEWER LINES	
D/W	ACCESS DRIVEWAY	—	GAS LINES	
FC	FACE OF CURB	—	ELECTRIC LINES	
WALL	TOP OF WALL	—	TELEPHONE LINES	
⊗	FIRE HYDRANT	—	FIBER OPTIC LINES	
⊙	TREES	---	SUBJECT PROPERTY LINE	
⊙	POSITION OF GEODETIC COORDINATES	---	EASEMENT LINES	
P.O.B	POINT OF BEGINNING	---	LEASE AREA LIMITS	
P.O.C	POINT OF COMMENCEMENT	---	P.O.T	POINT OF TERMINUS



PROJECT INFORMATION:
 PHO-BUCHANAN
 318 EAST BROWN ROAD
 MESA, ARIZONA 85203

ORIGINAL ISSUE DATE:
 09/25/2014

REV.	DATE	DESCRIPTION	BY
0	9/25/14	INITIAL SUBMITTAL	CK
1	10/27/14	PER COMMENTS	RC
2	01/19/2015	COMMENTS	MF

PLANS PREPARED BY:
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 Richmond, VA 23294
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CONSULTANT:
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 TEMPE, ARIZONA 85282 (480)658-4072

DRAWN BY: CK **CHK.:** MF **APV.:** MF



SHEET TITLE:
 SITE SURVEY

SHEET NUMBER:
 LS-1



128 W GEMINI DR
TEMPE, AZ 85283



TECTONIC ENGINEERING & SURVEYING CONSULTANTS P.C.
4041 South MacArthur Drive, Suite 302
Tempe, AZ 85282
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WORK ORDER NUMBER: 0022.BUCHANAN
DRAWN BY: TBS

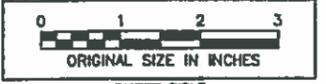
NO.	DATE	ISSUE
0	10/14/14	PRELIMINARY
1	10/29/14	PER COMMENTS
2	1/15/15	85% ZDs
3	1/21/15	100% ZDs

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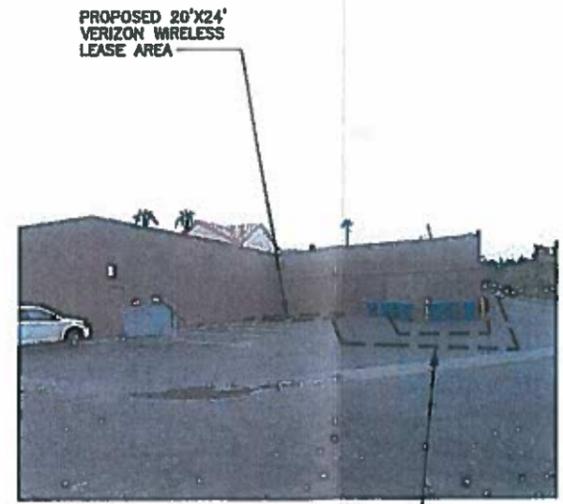
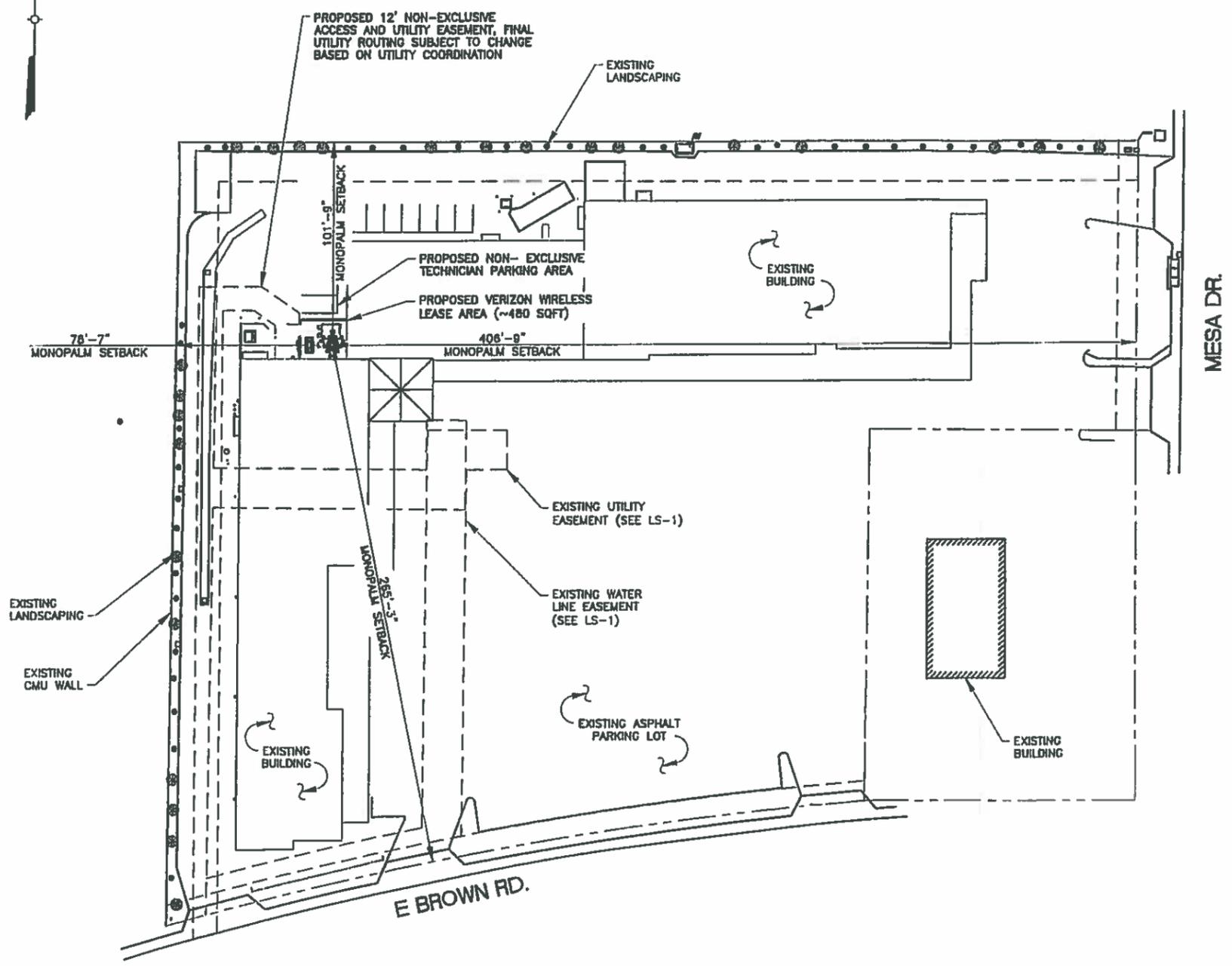


SITE INFORMATION
PHO BUCHANAN
318 E BROWN RD.
MESA, AZ 85203
MARICOPA COUNTY
VZW PROJ# 20141075607

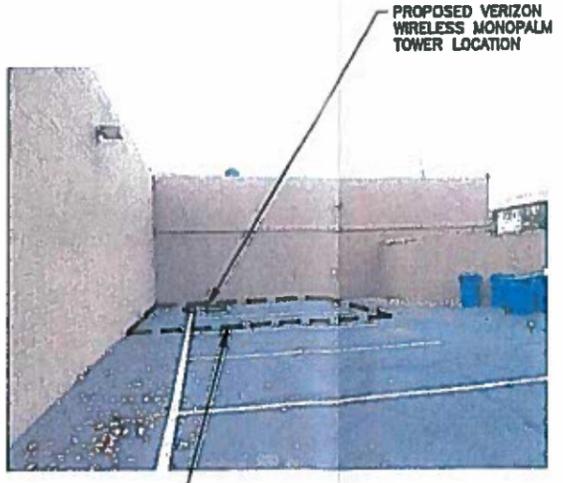


SHEET TITLE: SITE PLAN
SHEET NUMBER: Z-1

CITY OF MESA PARKING REQUIREMENTS
SITE IS ZONED LC-LIMITED COMMERCIAL.
GROSS FLOOR AREA = ~44,197 SF.
OF SPACES REQUIRED FOR ZONE LC = 1/375 SF.
OF SPACES REQUIRED = 118
ACTUAL # OF SPACES BEFORE DEVELOPMENT = 156
ACTUAL # OF SPACES AFTER DEVELOPMENT = 154



VIEW OF PROPOSED LEASE AREA (LOOKING SOUTHEAST)



VIEW OF PROPOSED LEASE AREA (LOOKING SOUTHEAST)

1 SITE PLAN
Z-1 SCALE: 1"=20'-0"

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VERIZON WIRELESS PROJECT # 20141075607



128 W GEMINI DR
TEMPE, AZ 85263

TECTONIC
TECTONIC Engineering & Surveying Consultants P.C.
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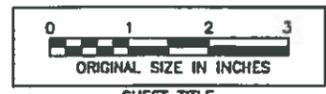
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MARICOPA COUNTY
VZW PROJ# 20141075607

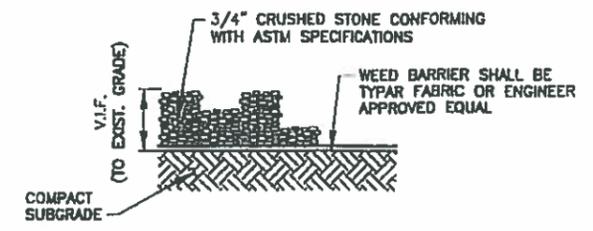


ORIGINAL SIZE IN INCHES

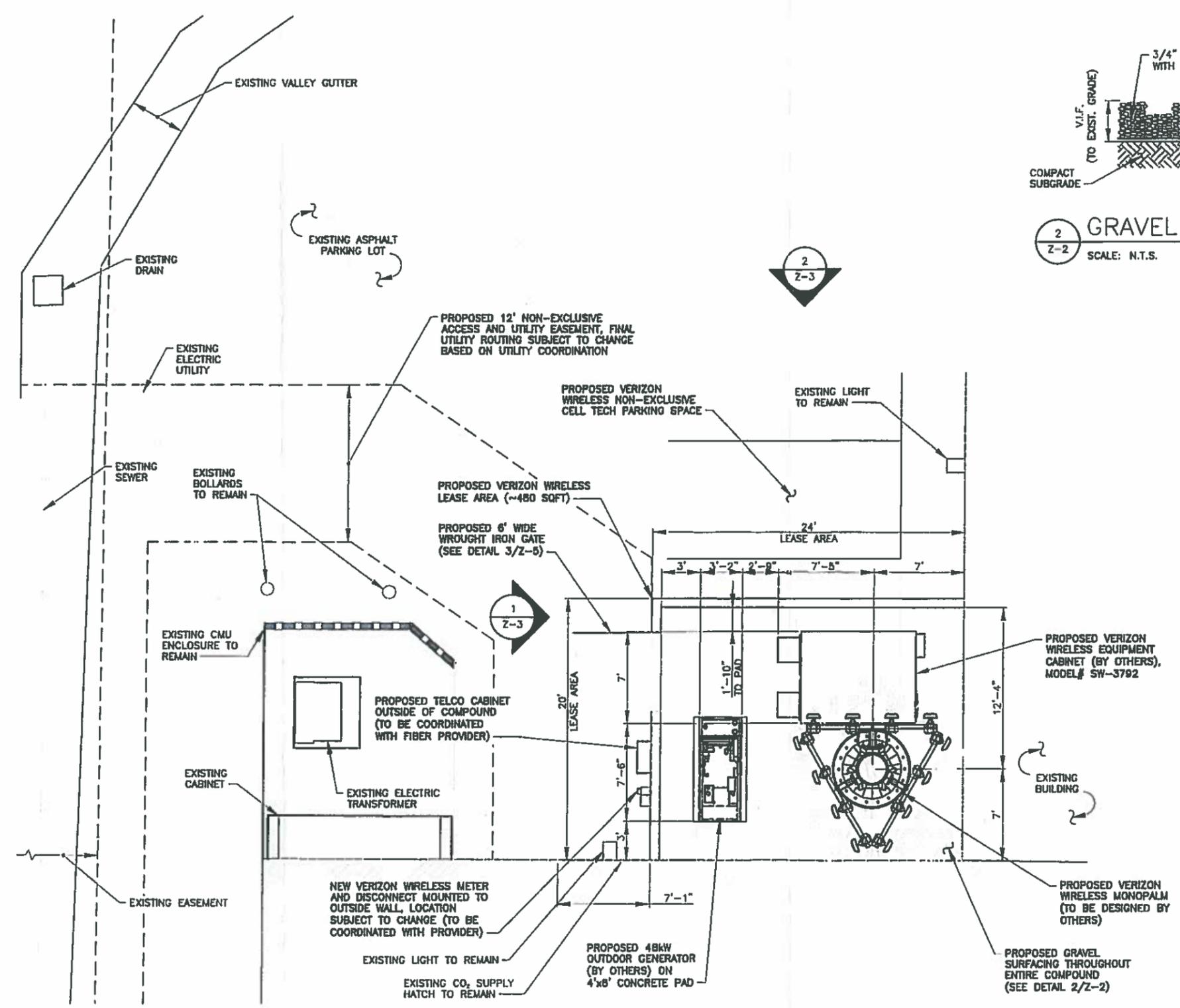
SHEET TITLE
VERIZON WIRELESS
SITE PLAN

SHEET NUMBER

Z-2



2 GRAVEL SURFACING DETAIL
SCALE: N.T.S.



1 ENLARGED SITE PLAN
SCALE: 1/4"=1'-0"



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VERIZON WIRELESS PROJECT # 20141075607
VERIZON WIRELESS SITE: PHO BUCHANAN

MONOPALM DESIGN NOTE

CITY OF MESA REQUIRES A MINIMUM OF 55 PALM FRONDS. DIAMETER OF MONOPOLE SUPPORT NOT TO EXCEED 4".

HYBRIFLEX ROUTING

HYBRIFLEX TO BE ROUTED UNDERGROUND FROM MONOPALM TO SHELTER

STRUCTURAL NOTE

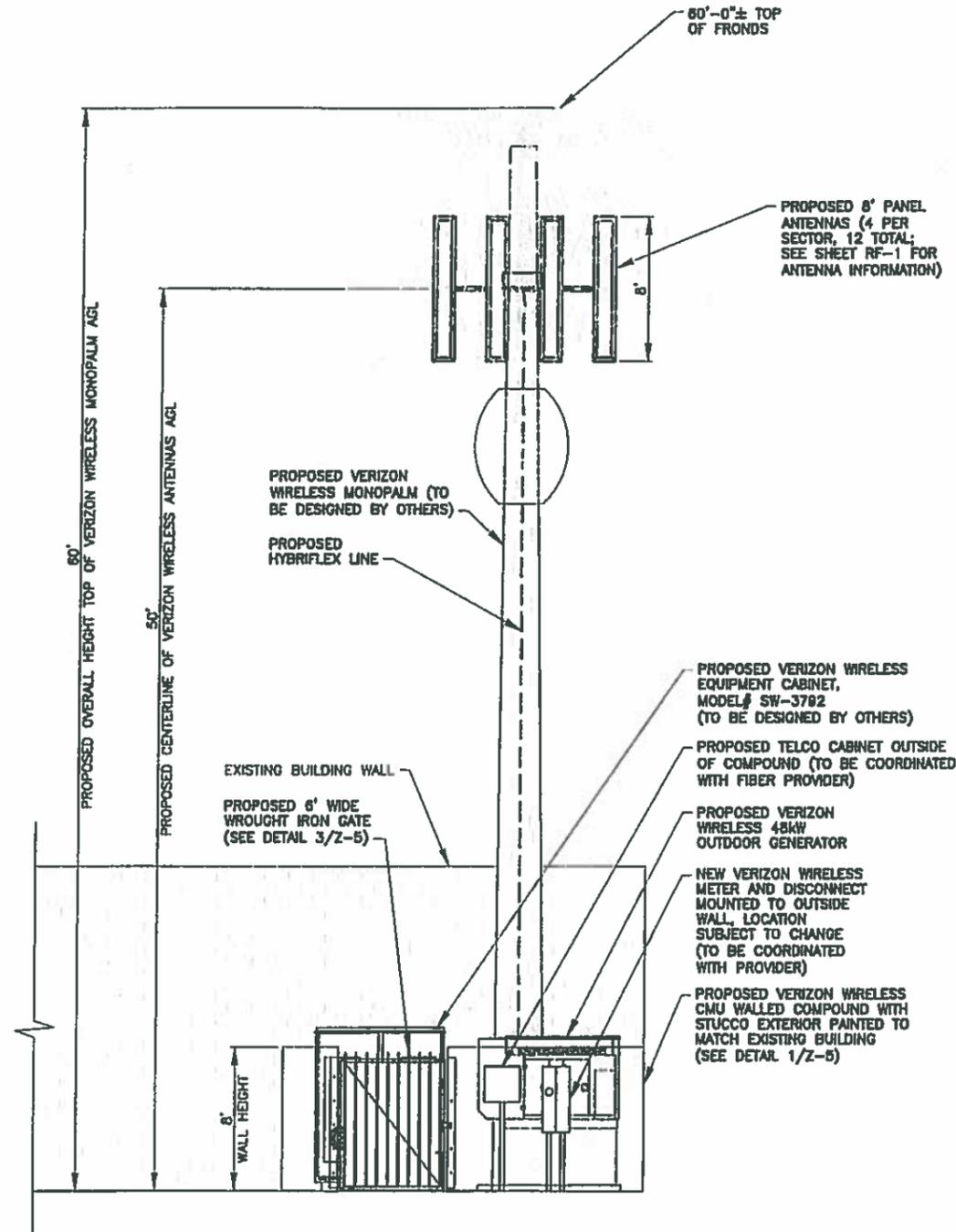
THIS VIEW DEPICTS THE PROPOSED VERIZON WIRELESS TOWER. IT DOES NOT INFER THAT TECTONIC HAS EVALUATED ITS STRUCTURAL ADEQUACY FOR THE LOADS IMPOSED. THIS TOWER WILL NEED TO BE EVALUATED BY A PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.

STRUCTURAL NOTE

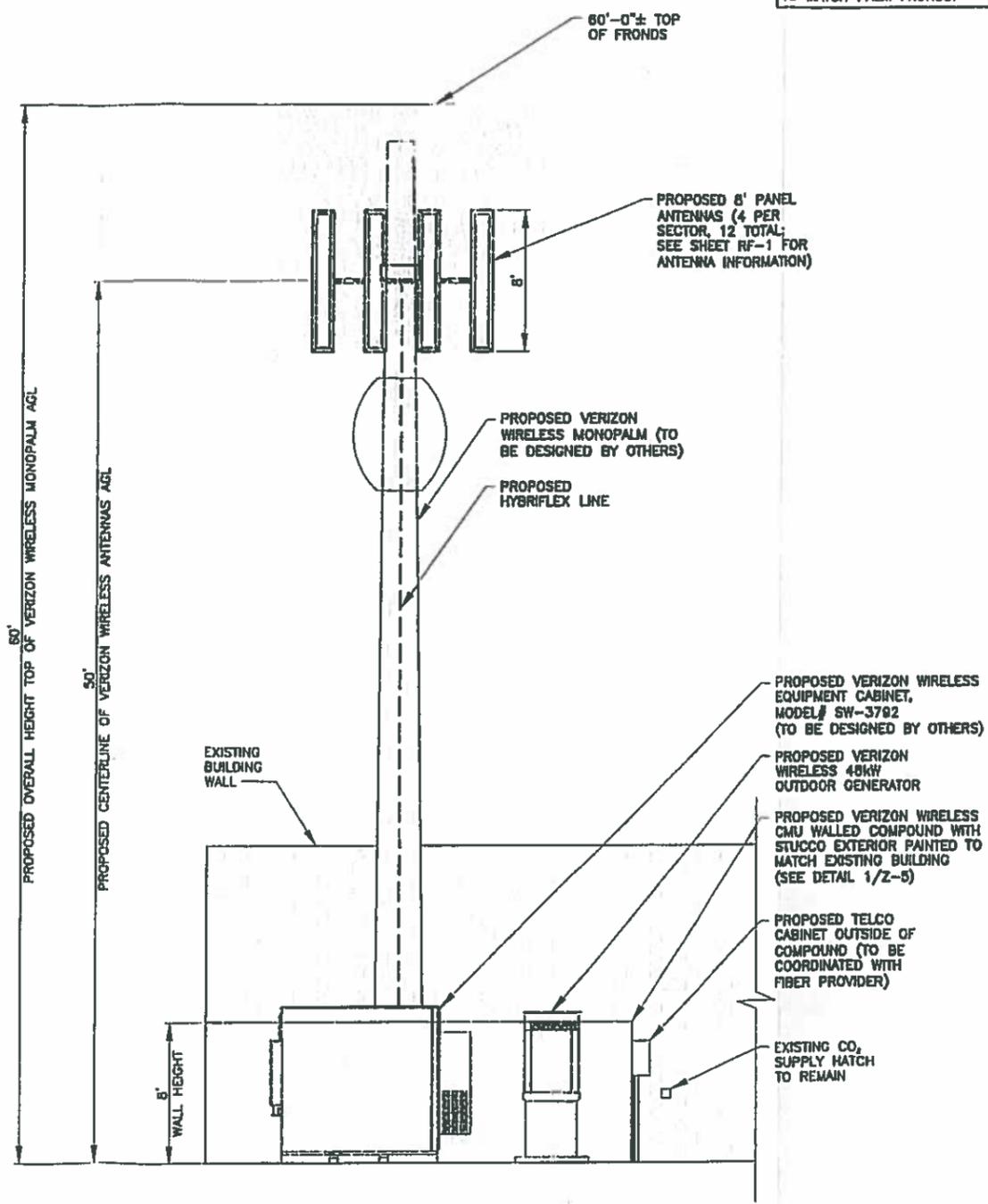
THIS VIEW DEPICTS THE PROPOSED VERIZON WIRELESS TOWER. IT DOES NOT INFER THAT TECTONIC HAS EVALUATED ITS STRUCTURAL ADEQUACY FOR THE LOADS IMPOSED. THIS TOWER WILL NEED TO BE EVALUATED BY A PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.

NOTE

PROPOSED ANTENNAS AND MOUNTED EQUIPMENT PAINTED TO MATCH PALM FRONDS.



1 PROPOSED WEST ELEVATION
Z-3 SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION
Z-3 SCALE: 1/4"=1'-0"

verizon wireless
128 W GEMINI DR
TEMPE, AZ 85283

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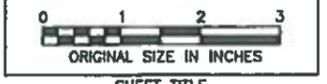
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PHO BUCHANAN
318 E BROWN RD.
MESA, AZ 85203

MARICOPA COUNTY
VZW PROJ# 20141075607



SHEET TITLE

ELEVATIONS

SHEET NUMBER

Z-3

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VERIZON WIRELESS PROJECT # 20141075607

verizon wireless
 126 W GEMMA DR
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PLANNING
 SURVEYING
 CONSTRUCTION
 MANAGEMENT

WORK ORDER NUMBER: 6022.BUCHANAN
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Professional Engineer
 CERTIFICATE NO. 53298
 PHILIP S. MELITA
 Date Signed: 1/21/15
 ARIZONA U.S.A.
 Expires: 6-30-15

SITE INFORMATION
 PHO BUCHANAN
 318 E BROWN RD.
 MESA, AZ 85203

MARICOPA COUNTY
 VZW PROJ# 20141075607



SHEET TITLE

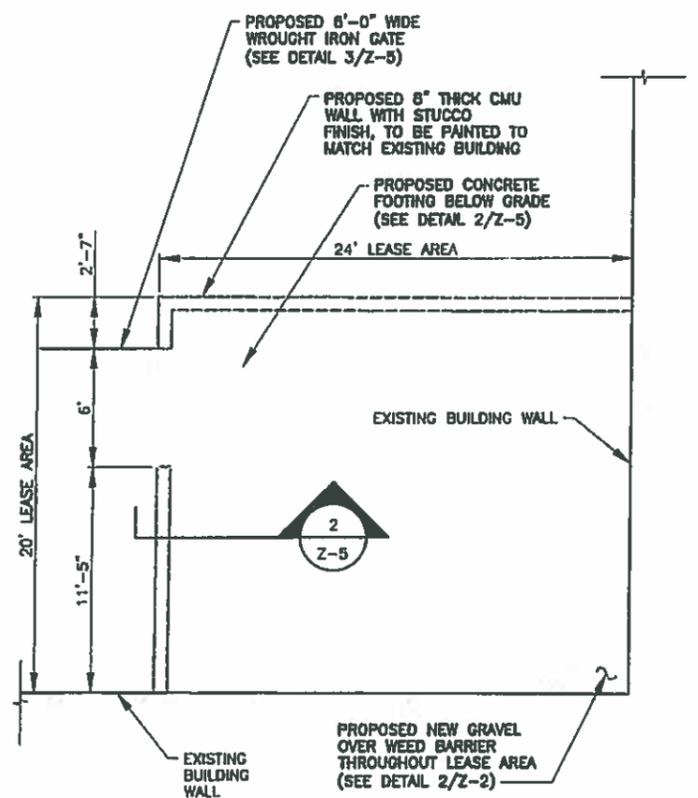
COMPOUND DETAILS

SHEET NUMBER

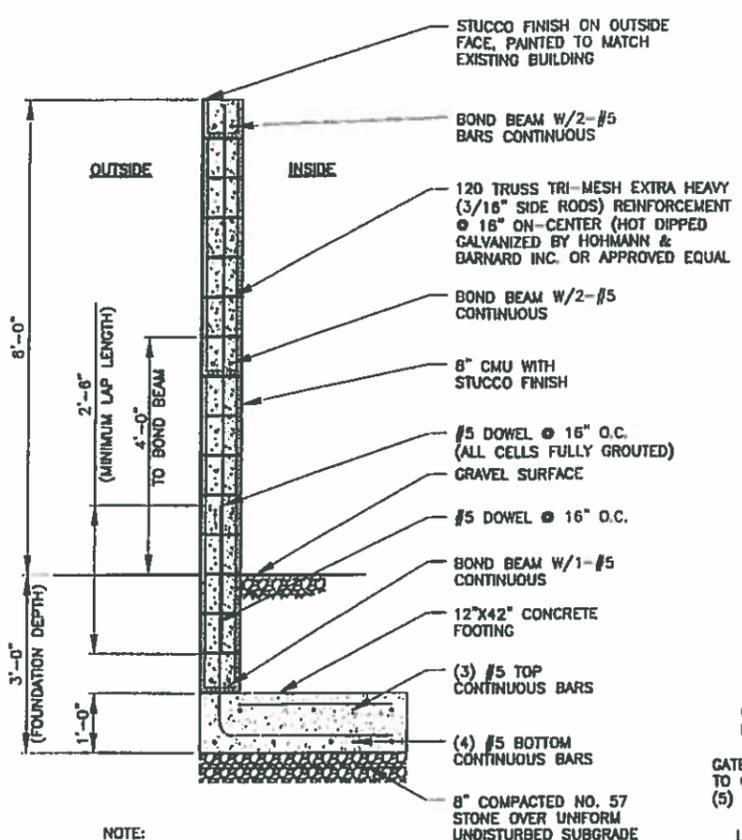
Z-5

- ### MASONRY NOTES
- CONTRACTOR DESIGN AND CONSTRUCTION OF MASONRY WORK SHALL CONFORM TO ACI STANDARDS "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530 AND "SPECIFICATION FOR MASONRY STRUCTURES" ACI 530.1.
 - MORTAR SHALL CONFORM TO ASTM C270 "MORTAR FOR UNIT MASONRY", TYPE M OR S.
 - CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90 "LOAD BEARING CONCRETE MASONRY UNITS", TYPE I, GRADE N. COMPRESSIVE STRENGTH OF MASONRY (F'm) SHALL NOT BE LESS THAN 1,500 PSI.
 - MASONRY GROUT SHALL CONFORM TO ASTM C476 "GROUT FOR MASONRY", AND INSTALLED IN 48" LIFTS OR LESS. GROUT STRENGTH SHALL BE MINIMUM 2000 PSI (ALL CELLS FULLY GROUTED).
 - ALL MASONRY UNITS SHALL BE PLACED IN RUNNING BOND.
 - REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, "DEFORMED AND PLAIN BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT", GRADE 60.
 - JOINT REINFORCEMENTS SHALL COMPLY WITH ASTM A 951. THE MAXIMUM SPACING OF CROSSWIRES IN LADDER-TYPE JOINT REINFORCEMENT AND POINT OF CONNECTION OF CROSS WIRES TO LONGITUDINAL WIRES OF TRUSS-TYPE REINFORCEMENT SHALL BE 16 INCHES.
 - 3' COVER FOR ALL REBAR IN FOOTING (TYPICAL).
 - CONTRACTOR TO HAVE MASONRY WALL INSPECTED PER IBC 2009 SECTION 1704.5 SPECIAL INSPECTIONS.

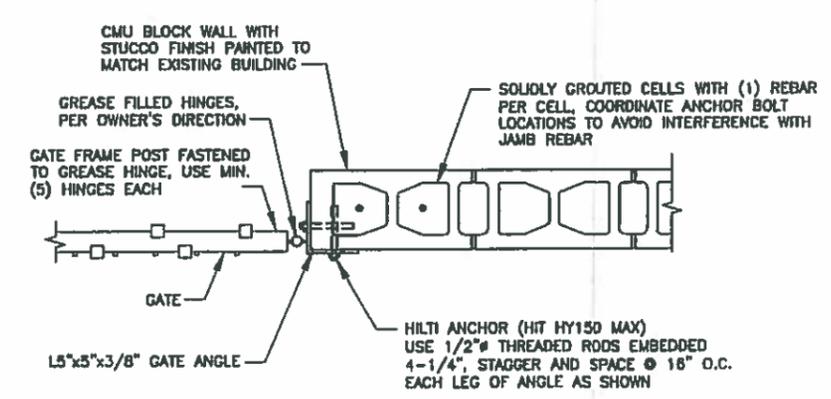
- ### DEPTH OF FOOTING NOTES
- CONTRACTOR TO NOTIFY ENGINEER CONCERNING ANY DISCREPANCIES.



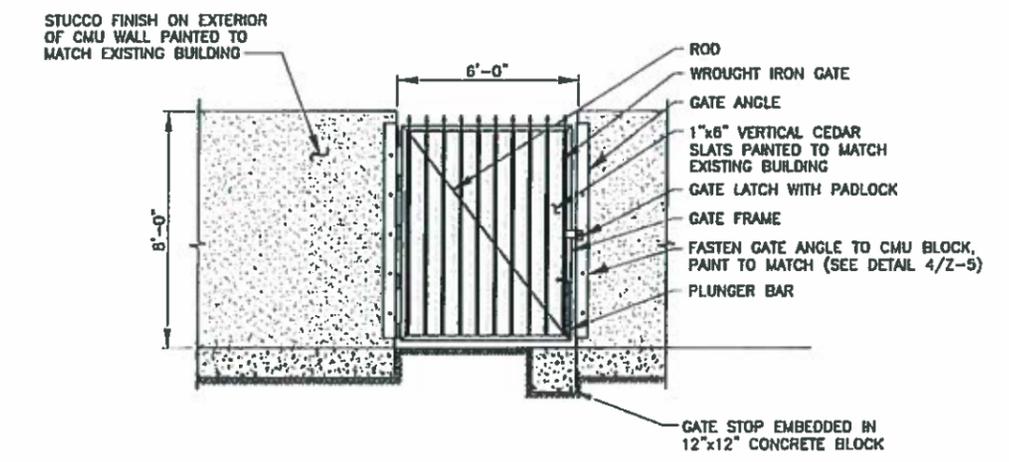
1 MASONRY WALL PLAN
 SCALE: 1/4" = 1'-0"



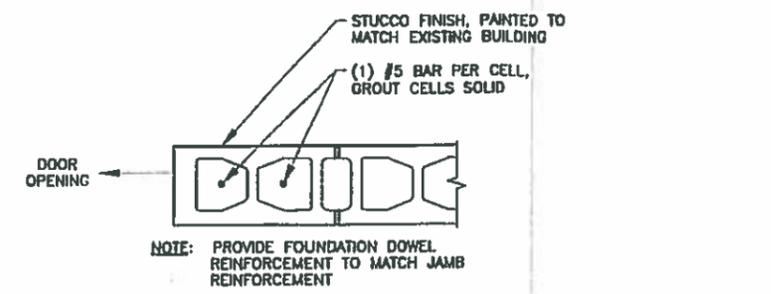
2 MASONRY WALL DETAIL
 SCALE: 3/4" = 1'-0"



4 HINGE DETAIL
 SCALE: 3/4" = 1'-0"



3 WROUGHT IRON GATE DETAIL
 SCALE: N.T.S.



5 DOOR JAMB DETAIL
 SCALE: 3/4" = 1'-0"

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GENERAL NOTES

1. LENGTHS GIVEN ON THIS CHART ARE ESTIMATED FROM AVAILABLE INFORMATION.
2. TYPES AND SIZES OF THE ANTENNA CABLES ARE BASED ON THE ESTIMATED LENGTH OF THE CABLES. CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES.
3. CONTRACTOR TO PROVIDE AS BUILTS FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION.
4. CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES.
5. ALL NEW ANTENNA AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MECHANICAL DECLINATION.

NEW VERIZON WIRELESS ANTENNA SCHEDULE

ATTACH LEVEL (COR)	AZIMUTHS (DEG, TN)	ANTENNA TYPE	ANTENNA QUANTITY	COAX (QUANTITY) SIZE (NOMINAL)	ESTIMATED COAX CABLE LENGTH	MOUNT TYPE
50'-0"	0°	8' PANEL ANTENNA	4 (PROP)	(2) 1-5/8" HYBRIFLEX	~63'-0"	INSTALLED ON PROPOSED 10' T-MOUNTS
	120°	8' PANEL ANTENNA	4 (PROP)			
	250°	8' PANEL ANTENNA	4 (PROP)			

- NOTES:**
1. CONTRACTOR TO INSTALL DUPLEXERS IN SHELTER AND ON TOWER AS REQUIRED BY SMR (IF APPLICABLE).

GENERAL ANTENNA NOTES

1. CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
4. EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
5. CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
6. CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYDOWN AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYDOWN AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6' HIGH CHAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. LAYDOWN AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
7. THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEANS AND METHODS CHOSEN BY THE ERECTOR.
8. NEW EQUIPMENT COMPOUND SHALL BE COVERED WITH 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE).



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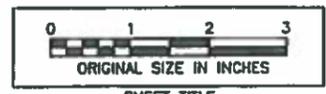
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SITE INFORMATION

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318 E BROWN RD.
MESA, AZ 85203

MARICOPA COUNTY
VZW PROJ# 20141075607

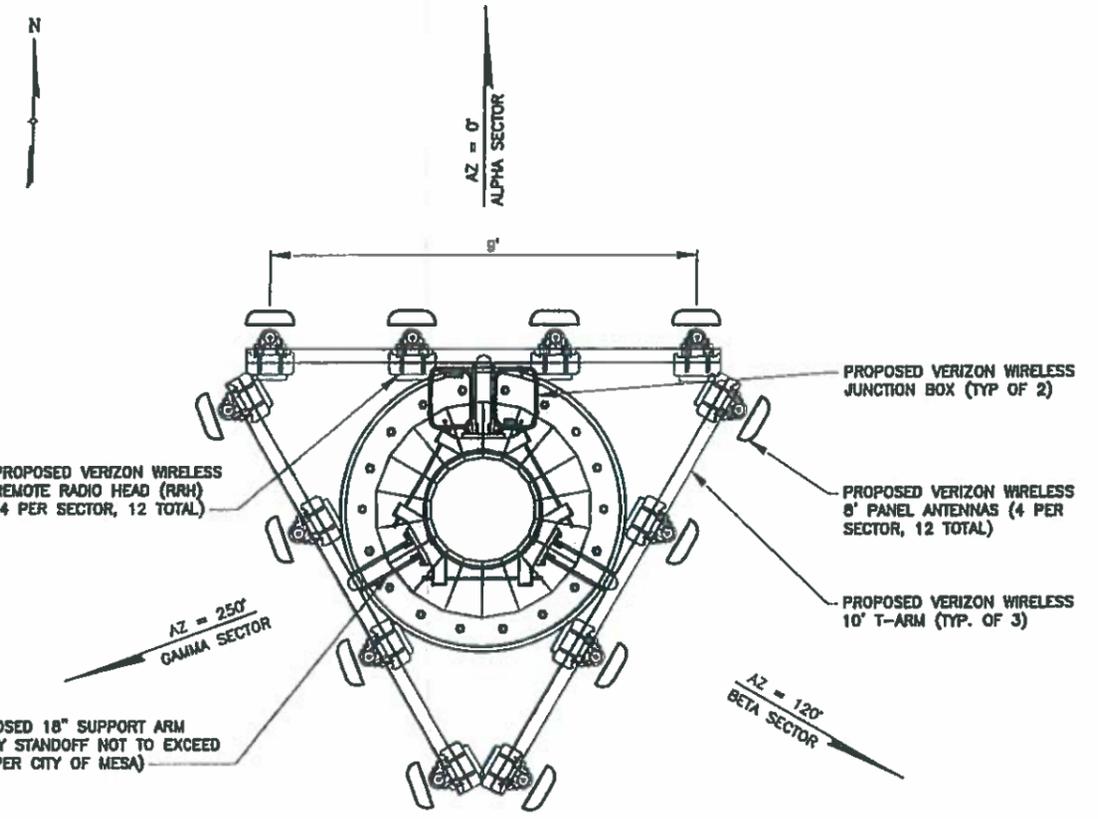


SHEET TITLE

ANTENNA INFORMATION

SHEET NUMBER

RF-1



1 PROPOSED ANTENNA ORIENTATION @ 50'
RF-1 SCALE: N.T.S.

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VERIZON WIRELESS PROJECT # 20141075607 VERIZON WIRELESS SITE: PHO BUCHANAN

ORDINANCE REQUIREMENTS:

Appendix "A":

Zoning Ordinance, Section 11-35-5 – Location, Design, and Operation Requirements

The following requirements apply to all wireless communications facilities that are not exempt from regulation under this Chapter unless the decision-making authority approves a Special Use Permit pursuant to Chapter 70, Conditional Use Permits.

- A. *Location Preferences.* The preferred locations for wireless communication facilities are in the following order:
1. On existing non-residential structures such as buildings, communication towers, or utility facilities located more than 300 feet from a residential zone, without modification to the structures.
 2. On existing signal, power, light or similar kinds of permanent poles located more than 300 feet from a residential zone.
 3. Co-located with existing wireless telecommunication facilities that conform to the requirements of this Ordinance.
 4. Limited, General and Heavy Industrial Districts sites more than 300-feet from a residential zone.
 5. Camouflaged, stealth, or building-mounted facilities in Limited and General Commercial Districts or in Planned Employment Park Districts.
 6. Camouflaged, stealth or building-mounted facilities on non-residential structures, including monopoles, in any Agricultural or Residential District.
- B. *Design Preferences.* The preferred design approaches for new wireless communication facilities are in the following order:
1. Building or structure mounted antennas designed and sited to be completely concealed from view or not readily visible because of integration into design of non-residential buildings or structures erected and approved for use other than as wireless telecommunications support. Examples of antennas completely integrated into the structure include existing parapet replacements, bell towers, steeples, clock towers and cupolas.
 2. Building or structure mounted antennas set back from roof edge, concealed and not visible from the public right-of way or from surrounding residential properties or minor faux-structural alterations. Examples include faux penthouses and parapet additions.
 3. Building or structure mounted antennas below roof-line (façade mount, pole mount) visible from public right-of-way but artistically integrated into the existing structure and painted to match existing structure.
 4. Freestanding camouflaged structures visible from public right-of-way and from surrounding residential properties. Examples include steeples, sculptures and clock towers.
 5. Building or structure mounted antennas above the roof-line visible from public right-of-way or from surrounding residential properties behind frequency-transparent panels.
 6. Freestanding stealth tree, such as monopalm.
 7. Freestanding monopoles or other antenna towers.
- C. *Location of Facilities.* Wireless telecommunication facilities shall be located where the existing topography, vegetation, buildings or other structures provide the greatest amount of screening and in compliance with the following requirements.
1. No new facility shall be sited on or above a ridgeline.
 2. Within Residential and Mixed Use Districts, no new freestanding antenna structure, including towers, lattice towers, and monopoles, shall be located within 1,000 feet of another freestanding facility unless mounting on a building or co-location on an existing pole or tower is not feasible and techniques have been used to camouflage, screen, or otherwise minimize the visual impact of the facility to the extent feasible.

3. Within Commercial and Employment Districts, new freestanding antenna structures, including towers, lattice towers, and monopoles, may be located within 1,000 feet of another freestanding facility, provided a stealth or camouflaged design is used.
 4. Ground-mounted wireless telecommunication facilities shall be located in close proximity to existing above-ground utilities, such as permanent electrical towers, light poles, trees of comparable heights, and in areas where they will not detract from the appearance of the City.
 5. Facilities may only be located on a property zoned for a residential or agriculture use if the antennas, antenna structures, and all related equipment can be sited to comply with the setback and separation requirements of this Chapter. Exceptions of up to 30% of the setback and up to 75% of the separation requirements may be considered as part of a Special Use Permit request when the application includes stealth or camouflaged facilities.
- D. *Height of Facilities.* The height limitations for each zoning district applicable to buildings and structures shall apply to all towers and antennas that are not exempt from regulation except as provided in this Chapter. The height of building-mounted antennas shall include the height of that portion of the building on which the antenna is mounted. In determining the height of portable "crank-up" or similar towers whose height is adjustable, the height of the tower shall be the maximum height to which it is capable of being raised.
1. Roof-mounted or facade-mounted antennas proposed on an existing building, or on a tower, pole or other structure shall not extend or project more than 15 feet above the existing height of the building or structure.
 2. Antenna support equipment for stand-alone facilities (not attached to a building) shall be screened by a minimum 6-foot high masonry wall unless placed within a fully enclosed building. When placed in a building, the building design shall be no taller than one (1) story or 15 feet in height with elevations designed and constructed in a manner compatible with building designs typically found in the area.
 3. Antenna support equipment that is roof mounted shall meet the screening requirements specified in Section 11-30-9 of this Ordinance.
- E. *Required Separation and Setbacks.* Antenna structures and antennas that are not exempt from regulation under this Chapter shall be setback from property lines and separated from other antenna structures in compliance with the following requirements.
1. Antenna structures other than alternative antenna structures must be set back from any property in residential use a distance equal to the twice the height of the structure. Alternative antenna structures shall be setback from residential uses a distance equal to the height of the structure plus one (1)-foot.
 2. Antenna structures, including alternative antenna structures, must be set back from public right-of-way a distance equal to the height of the structure plus one foot.
 3. In Non-Residential Districts, all free-standing antenna structures, except for alternative tower structures, must be at least 1,000 foot feet from another free-standing antenna structure, unless appropriate camouflage or stealth techniques have been used to minimize the visual impact of the facility to the extent feasible and mounting on a building or co-location on an existing facility is not feasible.
 4. All wireless communications facilities and related equipment shall comply with the required building setbacks for the zoning district in which the facility is located. However, in no instance shall the facility (including antennae and equipment) be located closer than 5 feet to any property line. Exception: Antenna support equipment that is not placed within enclosed buildings provided the surrounding security wall complies with the maximum fence height requirements as found in Section 11-30-4, Fences and Freestanding Walls.

- F. *Design Standards.* Antennas, antenna support structures, and related equipment shall be located, designed and screened to blend with the existing natural or built surroundings and existing supporting structures.
1. Facilities that are not camouflage or stealth shall close mount all panel antennas.
 2. Stealth or camouflaged facilities shall not have antenna mounts that extend beyond the outside edge of the materials used to provide the stealth or camouflage design.
 3. When freestanding, non-stealth tower elements are used, antennas and support structures, where utilized, shall be monopole type.
 4. Monopole support structures shall not exceed 4 feet in diameter unless technical evidence is provided showing that a larger diameter is necessary to attain the proposed tower height and that the proposed tower height is necessary.
 5. Wireless telecommunications facility support structures and antennas shall be a non-glossy color and/or exterior finish so as to minimize visual impacts from surrounding properties. Example: galvanized steel for freestanding, non-stealth facilities; fiberglass artificial bark cladding for stealth tree-like facilities.
 6. All facilities shall be designed and located to minimize their visibility to the greatest extent feasible. All wireless telecommunications facilities proposed for locations where they would be readily visible from the public right-of-way or from the habitable living areas of residential units within 100 feet shall incorporate appropriate techniques to disguise the facility and/or blend into the surrounding environment, to the extent feasible. Facilities shall be compatible in scale and integrated architecturally with the design of surrounding buildings or the natural setting.
 7. No telecommunications antenna or ancillary support equipment shall be located within a front or corner side setback except for facilities that are completely placed within sub-grade vaults no higher than the maximum height of a fence within a street or front setback, pursuant to Section 11-30-4, Fences and Freestanding Walls.
 8. Support structures and site areas for wireless telecommunications antenna shall be designed and of adequate size to allow at least one additional wireless service provider to co-locate on the structure. Stealth facilities are exempted from this requirement.
 9. Towers shall not be artificially lighted unless required by the FAA or other applicable government authority. All objects affecting navigable airspace must comply with Federal Aviation Regulation Section 77 and must be in conformance with the current restrictions for land within one mile of a runway.
 10. All proposed fencing shall be constructed of masonry, and provide decorative texture, color and design in a manner compatible with the adjacent buildings and properties within the surrounding area and shall be designed to limit graffiti.
 11. Within the Desert Uplands area, as defined on page 33 in Section 9-6-5(A) of the Mesa City Code, Desert Uplands design standards shall apply, including compatibility of stealth and camouflage facilities with the list of approved landscape plant materials.
- G. *Required Signs.* A permanent, weather-proof identification sign, approximately 16 inches by 32 inches in size, must be placed on the gate of the fence surrounding the facility or, if there is no fence, on the facility itself. The sign must identify the facility operator(s), provide the operator's address, and specify a 24-hour telephone number for reaching the operator or an agent authorized to provide 24/7 response to emergency situations.
- H. *Required Landscaping.* Sites with antennas, antenna support structures, and related equipment shall be landscaped with a buffer of plant materials that effectively screens views of the base of support structures and equipment facilities from adjacent residential property or from any public right-of-way, path or trail.
1. The standard buffer shall consist of a continuous landscaped strip with a minimum radius of 4 feet around the perimeter of the installation.

2. Existing mature tree growth and natural land forms on the site shall be preserved to the maximum extent possible. In some cases, towers sited on large lots, natural vegetation around the property perimeter may serve as a sufficient buffer.
 3. Street trees and other landscaping may be required for telecommunications facilities proposed on lots lacking street frontage landscaping.
 4. As determined by the context of the site and design preference proposed, additional landscaping, such as secondary plantings of trees similar in appearance to the stealth design of the telecommunications facility, may be conditioned as part of the approval to mitigate the visual impact of the facility.
- I. **Operation and Maintenance Standards.** All wireless communications facilities shall at all times comply with the following operation and maintenance standards.
1. Wireless telecommunications facilities and related equipment, including lighting, fences, shields, cabinets, and poles, shall be maintained in good repair, free from trash, debris, litter, graffiti and other forms of vandalism, and any damage from any cause shall be repaired as soon as reasonably possible so as to minimize occurrences of dangerous conditions or visual blight. Graffiti shall be removed from any facility or equipment as soon as practicable, and in no instance more than 48 hours from the time of notification by the City.
 2. The owner or operator of a facility shall be responsible for maintaining landscaping in accordance with the approved landscape plan and for replacing any damaged or dead trees, foliage, or other landscaping elements shown on the approved plan. Amendments or modifications to the landscape plan shall be submitted to the Zoning Administrator for approval.
 3. Each facility shall be operated in a manner that will minimize noise impacts to surrounding residents and persons using nearby parks, trails, and similar recreation areas.
 - a. Except for emergency repairs, testing and maintenance activities that will be audible beyond the property line shall only occur between the hours of 7:00 a.m. and 7:00 p.m. on Monday through Friday, excluding holidays.
 - b. All air conditioning units and any other equipment that may emit noise that would be audible from beyond the property line shall be enclosed or equipped with noise attenuation devices to the extent necessary to ensure compliance with applicable noise limitations in Title 6, Chapter 12 of the Mesa City Code.
 - c. Backup generators shall only be operated during periods of power outages or for testing. Any testing of the backup generators should occur during daylight hours.
 - d. For the protection of emergency response personnel, each telecommunications facility shall have an on-site emergency "kill switch" to de-energize all RF-related circuitry and components at the site. For collocation facilities, a single "kill switch" shall be installed that will de-energize all carriers at the facility in the event of an emergency.

Zoning Ordinance, Section 11-70-5 – Special Use Permit:

- A. **Special Use Permit (SUP).** A SUP is a discretionary permit issued by the Zoning Administrator or Board of Adjustment.
- B. **Uses Subject to Special Use Permits.** Uses requiring a SUP are established in the use tables in Chapters 4 through 11.
- C. **Permit Requirements.** Permit requirements for some uses requiring a SUP are provided in Chapter 31, Standards for Specific Uses and Activities.
- D. **Permit Application and Procedures.** The procedures for review and consideration of a SUP are as provided in the Chapter 67, Common Procedures, except a citizen participation plan and report is not required.

- E. ***Required Findings.*** A SUP shall only be granted if the approving body determines that the project as submitted or modified conforms to all of the following criteria. If it is determined that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established in the record.
1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
 2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;
 3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City; and
 4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.
- F. ***Revocation of Special Use Permits.*** A Special Use Permit granted pursuant to this Chapter may be suspended, revoked, or modified by the Zoning Administrator, after holding a public hearing to determine whether any condition, stipulation, or term of the approval of the Use Permit has been violated. At least 30-days notice shall be provided prior to the public hearing, and all of the noticing and hearing requirements of Chapter 67 shall apply.